



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 7/13/2015

TO: _____

FROM: Schani Siong (805-781-4374 or ssiong@co.slo.ca.us)
South County Team / Development Review

PROJECT DESCRIPTION: DRC2015-00003 SALMON – Proposed minor use permit to construct a single family residence of 5,698 sf with an attached garage of 1,098 sf and storage space of 174 sf. Site location is 1666 Paseo de Caballo, San Luis Obispo. APN: 073-333-003

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00003

SALMON DAVID M

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit Tree Permit Minor Use Permit
 Conditional Use Permit/Development Plan Plot Plan
 Curb, Gutter & Sidewalk Waiver Other Site Plan
 Surface Mining/Reclamation Plan Zoning Clearance
 Amendment to approved land use permit Variance

MINOR USE PERMIT

NEW SFR (5,698 SQFT) WITH ATTACHED GARAGE (1898 SQFT) AND STORAGE SPACE SLOSLO/ SLOSLO

RR SRA

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name David Salmon Daytime Phone 805-785-0158
Mailing Address 1777 Paseo de Caballo, SLO CA Zip Code 93405
Email Address: davidsc@ccc.org

Applicant Name Same as owner Daytime Phone _____
Mailing Address _____ Zip Code _____
Email Address: _____

Agent Name Peter Danciar Daytime Phone 805-704-5142
Mailing Address 1750 Prefumo, Cyn. Rd #46, SLO Zip Code 93405
Email Address: peter@danciar.com

PROPERTY INFORMATION

Total Size of Site: 57,704.7 (1.3 acres) Assessor Parcel Number(s): 073-333-003

Legal Description: LOT 2 IN TRACT # 2292 CITY SLO BK 20 PG 80

Address of the project (if known): 1666 Paseo de Caballo

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Paseo de Caballo, Hwy 1, Santa Rosa GATE CODE #0377

Describe current uses, existing structures, and other improvements and vegetation on the property:

Vacant lot with no trees or shrubs

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): 5,698 sq ft single family residence with attached 1,898 sq ft garage and storage space (174 sq ft)

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature David M. Salmon

Date 7/7/2015

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): N/A

Describe existing and future access to the proposed project site: EXISTING ACCESS IS FROM CORNER CUT, PROPOSED ACCESS IS FROM ACCESS/DRIVEWAY EASEMENT FROM ADJACENT LOT 1 (OPEN SPACE)

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: OPEN SPACE
East: VACANT LOT

South: OPEN SPACE
West: OPEN SPACE

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 5,130 sq. feet 8.43 % Landscaping: 49,611.26 sq. feet 81.47 %

Paving: 6,152.39 sq. feet 10.10 %

Other (specify) _____

Total area of all paving and structures: 11,282.44 sq. feet acres

Total area of grading or removal of ground cover: 33,765 sq. feet acres

Number of parking spaces proposed: 7 (4 covered) Height of tallest structure: 13'-10 3/4"

Number of trees to be removed: 0 Type: _____

Setbacks: Front 30' Right 30' Left 30' Back 30'

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: Rancho Caballo Mutual Water Co.

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CAL PIPE

For commercial/industrial projects answer the following:

Total outdoor use area: N/A sq. feet acres

Total floor area of all structures including upper stories: N/A sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3

Total floor area of all structures including upper stories, but not garages and carports: 5,872.50 sq. feet

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 0.05 acres
Moderate slopes of 10-30%: 1.00 acres
Steep slopes over 30%: 0.27 acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
if yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
if yes, please explain: _____
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Hwy 1

Water Supply Information

- 1. What type of water supply is proposed?
 Individual well Shared well Community water system
- 2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
- 3. What is the expected daily water demand associated with the project? 28 GPM
- 4. How many service connections will be required? 1
- 5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
- 6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
- 7. Does water meet the Health Agency's quality requirements? REFER TO #8
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
- 8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other on going data submitted to County from water company

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

- 1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
- 2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
- 3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
- 4. Has a piezometer test been completed?
 Yes No
- 5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

- 1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
- 2. What is the amount of proposed flow? _____ G.P.D.
- 3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: San Luis Garbage Co.
- 3. Where is the waste disposal storage in relation to buildings? in garage & in an enclosure
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: San Luis Obispo Unified School District
- 2. Location of nearest police station: Santa Rosa & Walnut
- 3. Location of nearest fire station: Foothill & Natn Chorro
- 4. Location of nearest public transit stop: Calif Men's Colony
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? 2 feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
cattle grazing
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information N/A

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees? Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): N/A
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: HIGH INSULATION, PHOTOVOLTAIC SYSTEM, SMART HOUSE TECH. WATER HARVESTING
*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
WATER HARVESTING, PHOTOVOLTAIC ARRAY TO OFFSET POWER USE

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property?

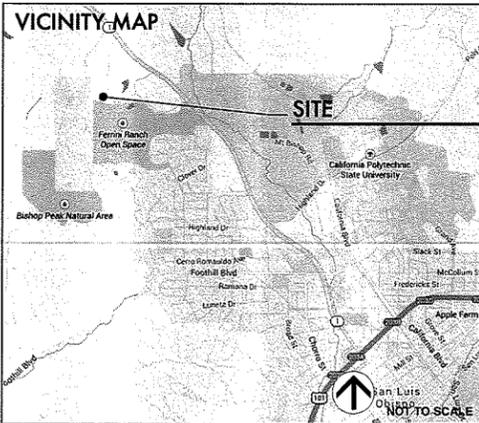
Yes No

If yes, please describe and provide "ED" number(s): TRACT 2292

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): N/A

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



SALMON RESIDENCE

1666 PASEO DE CABALLO SAN LUIS OBISPO, CA 93405

NEW SINGLE FAMILY RESIDENCE

DANCIART
ARCHITECTURE

1750 PUEBLO BLVD #146
CALISTOGA, CA 94504
TEL: 707.251.4747
WWW.DANCIART.COM



These drawings are instruments of service prepared by Peter DanCIART, AIA. All designs and other information on the drawings are for use on the specified project and shall not be used otherwise without the written permission of Peter DanCIART, AIA.

SALMON RESIDENCE
1666 PASEO DE CABALLO
SAN LUIS OBISPO, CA 93405
APN: 073-333-003

ABBREVIATIONS

A	AIR CONDITIONING	N	NEW
A.F.F.	ABOVE FINISH FLOOR	N.G.	NATURAL GRADE
ALT.	ALTERNATE	N.I.C.	NOT IN CONTRACT
AMT.	AMOUNT	NTS	NOT TO SCALE
APPROX.	APPROXIMATE		
AVG.	AVERAGE		
B	BOARD	O	ON CENTER
BD.	BETWEEN	O.C.	OUTSIDE DIAMETER
BLDG.	BUILDING	OPNG.	OPENING
BLK. / BLKG.	BLOCK / BLOCKING	ORIG.	ORIGINAL
C	CUBIC FEET PER MINUTE	OZ.	OUNCE
CHG.	CHANGE	P	PERPENDICULAR
CLR.	CLEAR/CLEARANCE	PL.	PLATE
CLG.	CLEARANCE	P.LAM.	PLASTIC LAMINATE
C.M.U.	CONCRETE MASONRY UNIT	PLY.WD.	PLYWOOD
COL.	COLUMN	PR.	PAIR
CONC.	CONCRETE	PROJ.	PROJECT
CONSTR.	CONSTRUCTION	PS.F.	POUNDS PER SQUARE FOOT
C.O.T.G.	CLEAN OUT TO GRADE	PS.F.	POUNDS PER SQUARE INCH
CTR.	CENTER	P.V.M.T.	PAVEMENT
CU. FT.	CUBIC FOOT	P.T.D.F.	PRESSURE TREATED DOUG FIR
CU. IN.	CUBIC INCH	Q	QUART
CU. YD.	CUBIC YARD	QTY.	QUANTITY
D	DOUBLE	R	RISER
DEG.	DEGREE	RAD.	RADIUS
DEPT.	DEPTH	RD.	ROAD
DIAG.	DIAGONAL	REF.	REFRIGERATOR
DIA.	DIAMETER	REINF.	REINFORCEMENT
DIM.	DIMENSION	REQ.	REQUIRED
DIV.	DIVISION	R.O.	ROUGH OPENING
D.S.	DOWNSPOUT / DOWNSPOUT	R.O.	ROUGH OPENING
DW.	DUMBWATER / DOWNSPOUT	R.T.S.	REFER TO STRUCTURAL
E	EXISTING	S	SCHEDULE
EA.	ELECTRIC	S.C.	SOLID CORE
ELEC.	ELECTRIC	SECT.	SECTION
ELEV.	ELEVATION / ELEVATOR	SHWR.	SHOWER
ENCL.	ENCLOSURE	SNG CYL DB	SINGLE CYLINDER DEADBOLT
EQUIP.	EQUIPMENT	SHT	SHEET
EXIST.	EXISTING	SIMM.	SIMILAR
EXT.	EXTERIOR	SPEC(S).	SPECIFICATION(S)
F	FLOOR DRAIN	SQ.	SQUARE
F.B.O.	FURNISHED BY OWNER	SQ. FT.	SQUARE FEET
F.G.	FIRE HYDRANT	S.S.	STAINLESS STEEL
F.H.	FIRE HYDRANT	ST.	STREET
FIN.	FINISH	STD.	STANDARD
FLR.	FLOOR	STL.	STEEL
FLUOR.	FLUORESCENT	STR.	STRUCTURE
F.O.C.	FACE OF CONCRETE	SYMBL.	SYMBOL
F.O.F.	FACE OF FINISH	T	TREAD
F.O.M.	FACE OF MASONRY	T.O.C	TOP OF CONCRETE/CURB
F.O.S.	FACE OF STUD	T.O.C.B.	TOP OF CATCH BASIN
FS.	FINISH SURFACE	TEL.	TELEPHONE
FT.	FOOTING	TEMO.	TEMPERATURE
FTG.	FOOTING	T&G	TONGUE AND GROOVE
G	GAUGE	THK.	THICK
GAL.	GALLON	TOILET	TOILET
GALV.	GALVANIZED	T.O.P	TOP OF PAVEMENT
GYP.	GYPSONUM	T.O.S.	TOP OF SLAB
H	HOSE BIBB	T.O.W.	TOP OF WALL
H.B.	HEADER	TV	TELEVISION
HRDW.	HARDWARE	TYP.	TYPICAL
HORIZ.	HORIZONTAL	U	UNFINISHED
HP.	HORSE POWER	UNFIN.	UNFINISHED
HT.	HEIGHT	U.N.O.	UNLESS NOTED OTHERWISE
I.D.	INSIDE DIAMETER	UR.	URINAL
IN.	INCH	V	VENT
INFO.	INFORMATION	V.C.T.	VINYL COMPOSITION TILE
INSUL.	INSULATION	VENT.	VENTILATE, VENTILATING
INT.	INTERIOR	VERT.	VERTICAL
J	JANITOR	V.G.D.F.	VERTICAL GRAIN DOUG FIR
JCT.	JUNCTION	V.F.	VENT IN FIELD
JT.	JOINT	V.T.R.	VENT THRU ROOF
K	KITCHEN	W	WATER CLOSET
KIT.	KITCHEN	WC.	WOOD
L	LAVATORY	WH.	WATER HEATER
LAB.	LAVATORY	WI.	WROUGHT IRON
L.F.	LINEAL FOOT	WOM.	WOMEN
LN.	LINEAR	W.P.	WATERPROOFING
LT.	LIGHT	WAINSCOT	WAINSCOT
LT.WT.	LIGHT WEIGHT	W/	WITH
M	MAXIMUM	W/O	WITHOUT
MAX.	MAXIMUM	WY.	WATER VALVE
M.B.	MACHINE BOLT	ACRONYMS	
M.C.	MEDICINE CABINET	A.N.S.I.	AMERICAN NATIONAL STANDARDS INSTITUTE
MED.	MEDICAL	A.S.T.M.	AMERICAN SOCIETY FOR TESTING AND MATERIALS
MED.	MEDIUM	C.B.C.	CALIFORNIA BUILDING CODE
MEZZ.	MEZZANINE	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
MFR. / MFRG.	MANUFACTURER	N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION
MIN.	MINIMUM	O.S.H.P.D.	OCCUPATIONAL SAFETY AND HEALTH ACT
MISC.	MISCELLANEOUS	U.F.C.	UNIFORM FIRE CODE
MTL.	METAL	W.I.C.	WOODWORK INSTITUTE OF CALIFORNIA



GEOLOGICAL REPORT

GEOTECHNICAL REPORT: JOB # SLO8898-1
GEOSOLUTIONS, INC.
220 HIGH STREET
SAN LUIS OBISPO, CA 93401

GEOTECHNICAL REPORT

SOILS REPORT: JOB # SLO8898-2
GEOSOLUTIONS, INC.
220 HIGH STREET
SAN LUIS OBISPO, CA 93401

MAINTENANCE STATEMENT

THIS PROJECT DOES NOT ADDRESS ANY SHORT OR LONG TERM MAINTENANCE REQUIREMENTS FOR THE MATERIALS, FINISHES, AND/OR SURFACES SPECIFIED, DETAILED AND INDICATED IN THESE DRAWINGS AND SPECIFICATIONS. IT IS THE RESPONSIBILITY OF OTHERS TO EITHER PROVIDE THIS INFORMATION OR PROVIDE THE NAMES AND RESOURCES FOR THIS ISSUE. FURTHERMORE, THESE PLANS HAVE NOT BEEN DEVELOPED TO ADDRESS ANY PRIORITY OR DETERMINATION OF ANY MAINTENANCE PROGRAM OR PROCESS, OTHER THAN THE INFORMATION SUPPLIED BY OTHERS, THE OWNER AND THEIR AGENTS.

HAZAROUS MATERIALS STATEMENT

THE ARCHITECT IS NOT RESPONSIBLE FOR THE DETERMINATION OR REMOVAL METHODS OF ANY HAZARDOUS MATERIALS.

DEFERRED SUBMITTALS

- FIRE ALARM AND HEAT DETECTION SYSTEM

AGENCIES & UTILITIES

COUNTY BUILDING COUNTY GOVERNMENT CENTER SAN LUIS OBISPO, CA 93401 805-781-5602	COUNTY PLANNING COUNTY GOVERNMENT CENTER SAN LUIS OBISPO, CA 93401 805-781-5600	COUNTY GENERAL SERVICES COUNTY GOV'T CENTER SAN LUIS OBISPO, CA 93401 805-781-5200	COUNTY SHERIFF'S DEPT. 1505 KANSAS AVE. SAN LUIS OBISPO, CA 93401 805-781-4550	PACIFIC BELL 196 SUBURBAN ROAD SAN LUIS OBISPO, CA 93401 805-546-7003	UNDERGROUND SERVICES THE GAS COMPANY 833 MARSH STREET SAN LUIS OBISPO, CA 93401 1-800-642-2444	PG & E 408 FIGUERA STREET SAN LUIS OBISPO, CA 93401 805-546-5210	CDF 635 SANTA ROSA SAN LUIS OBISPO, CA 93405 805-943-4244	CHARTER COMMUNICATIONS 270 BRIDGE STREET SAN LUIS OBISPO, CA 93401 805-544-2888
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CODE COMPLIANCE

CODES: ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:
2013 CALIFORNIA BUILDING CODE (CBC)
2013 CALIFORNIA RESIDENTIAL CODE (CRC)
2013 CALIFORNIA MECHANICAL CODE (CMC)
2013 CALIFORNIA PLUMBING CODE (CPC)
2013 CALIFORNIA ELECTRICAL CODE (CEC)
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)
TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE
NFPA NATIONAL FIRE CODES
ORDINANCES OF THE COUNTY OF SAN LUIS OBISPO
ALL OTHER CODES ADOPTED BY THE AGENCIES HAVING JURISDICTION OVER THIS PROJECT

PROJECT DIRECTORY

OWNER DAVID AND DIANA SALMON SAN LUIS OBISPO, CA 93405 CONTACT: DAVID SALMON PH: 805-785-0158	ARCHITECT DANCIART ARCHITECTURE 1750 PUEBLO CANYON ROAD SAN LUIS OBISPO, CA 93405 CONTACT: PETER DANCIART, AIA, LEED AP PH: 805-704-5142 E-MAIL: PETER@DANCIART.COM	INTERIOR DESIGNER dC2 - DESIGN COLLABORATIVE 1540 MARSH STREET #110 SAN LUIS OBISPO, CA 93401 CONTACT: MICHELE MURPHIN-FANNING PH: 805-658-0003 E-MAIL: MICHELE@dC2slo.com
STRUCTURAL ENGINEER SMITH STRUCTURAL GROUP 811 EL CAPTAIN DRIVE STE. 240 SAN LUIS OBISPO, CA 93405 CONTACT: LEE ENGELMEIER, PE PH: 805-439-2110 X 102 E-MAIL: LEE@SMITHSTRUCTURAL.COM	LANDSCAPE DESIGNER GARDENS BY GABRIEL 1540 MARSH STREET #110 MORRO BAY, CA 934 CONTACT: GABRIEL FRANK PH: 805-215-0511 E-MAIL: INFO@GARDENSBYGABRIEL.COM	TITLE 24 IN BALANCE GREEN CONSULTING 100 CROSS STREET SUITE 204 SAN LUIS OBISPO, CA 93401 CONTACT: JENNIFER RENNICK, CEA, CEPE PH: 805-423-9359 E-MAIL: JENNIFER@INBALANCEGREEN.COM

SHEET INDEX

T-1.0	TITLE SHEET
SITE/CIVIL	
C-1.0	SITE PLAN / SITE SECTION - HWY 1
C-1.1	CIVIL GENERAL NOTES & SHEET INDEX
C-2.0	PRELIMINARY GRADING & DRAINAGE - DRIVEWAY & PROFILE
C-3.0	PRELIMINARY GRADING & DRAINAGE - RESIDENCE GROUNDS
C-4.0	PRELIMINARY GRADING & DRAINAGE - ORCHARD & COURT
C-5.0	PRELIMINARY GRADING & DRAINAGE - CONST. DTLS. & SECTIONS
ARCHITECTURAL	
A-1.0	DIMENSION PLAN - FIRST FLOOR
A-1.1	DIMENSION PLAN - SECOND FLOOR
A-1.2	DIMENSION PLAN - THIRD FLOOR
A-1.3	DIMENSION PLAN - FOURTH FLOOR
A-2.0	FLOOR PLAN - FIRST FLOOR
A-2.1	FLOOR PLAN - SECOND FLOOR
A-2.2	FLOOR PLAN - THIRD FLOOR
A-2.3	FLOOR PLAN - FOURTH FLOOR
A-7.0	ROOF PLAN
A-8.0	SECTIONS A & B
A-8.1	SECTIONS C & D
A-8.2	SECTIONS - CROSS
A-9.0	ELEVATIONS - EAST & SOUTH
A-9.1	ELEVATIONS - WEST & NORTH
LANDSCAPE	
L-1.0	HARDSCAPE PLAN
L-2.0	LANDSCAPE PLAN
TOTAL SHEETS: 23	

PROJECT STATISTICS

LOCATION:	1666 PASEO DE CABALLO SAN LUIS OBISPO, CALIFORNIA
ZONE:	RESIDENTIAL RURAL - R-SLO
LEGAL DESCRIPTION:	LOT 2 IN TRACT NO. 2292 IN THE COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA AS RECORDED IN BOOK 20 OF MAPSS AT PAGE 80.
APN:	073-333-003
LOT AREA:	57,704.7 SQ. FT. (1.33 ACRES)
EASEMENT AREA:	3,189 SQ. FT. (.073 ACRES)
GROSS AREA:	60,893.7 SQ. FT. (1.4 ACRES)
MAX. LOT COVERAGE:	45% MAXIMUM LOT COVERAGE BASED ON GROSS AREA
ACTUAL BLDG. COVERAGE:	5,130.50SQ.FT (8.43% FOOTPRINT COVERAGE)
ACTUAL LANDSCAPE COVERAGE:	49,611.26 SQ.FT. (81.47% LANDSCAPE COVERAGE)
ACTUAL HARDSCAPE COVERAGE:	6,152.39 SQ.FT. (10.10% HARDSCAPE COVERAGE)
BUILDING SUMMARY	
USE:	SINGLE FAMILY RESIDENCE & GARAGE
OCCUPANCY:	R-3, U
CONSTRUCTION:	TYPE V-N SPRINKLERED
NUMBER OF STORIES:	FOUR
BUILDING AREA:	LOWER LEVEL: 238.70 SQ. FT. GUEST LEVEL: 1,477.80 SQ. FT. MAIN LEVEL: 2,678.80 SQ. FT. OFFICE LEVEL: 814.60 SQ. FT. FUNICULAR: 487.20 SQ. FT.
TOTAL CONDITIONED SPACE:	5,698.10 SQ. FT.
ATTACHED 4-CAR GARAGE:	1,098.00 SQ. FT.
STORAGE / MECHANICAL:	174.40 SQ. FT.
ROOF HEIGHT COMPLIANCE	
HEIGHT RESTRICTION:	35'
BUILDING HEIGHT CALCULATION-RESIDENCE:	HIGHEST N.G. ± LOWEST N.G. = AVERAGE (E) GRADE 157.00' ± 131.50' = 144.25' + 35.00' = 179.25'
MAXIMUM BUILDING HEIGHT:	178.50' 157.0' + 13.89' = 170.89'
ACTUAL HEIGHT:	170.89' TO TOP OF ROOF SHTG. 170.89' ± 179.25' THEREFORE O.K.

PROJECT SCOPE

CONSTRUCTION OF A SINGLE FAMILY RESIDENCE AND ATTACHED 4 CAR GARAGE WITH ASSOCIATED SITE IMPROVEMENTS

15 JUN 15
PLANNING DEPT. SUBMITTAL
PROJECT NUMBER
1403
SHEET NAME
TITLE SHEET
SHEET NUMBER
T-1.0

SITE PLAN REFERENCE NOTES:

- 1 DASHED LINE INDICATES LINE BUILDABLE AREA - 30' SETBACK
- 2 DASHED LINE INDICATES ROOF OVER HANG OR WINDOW POP-OUT, PER PLAN
- 3 LINE INDICATES BUILDING FOOTPRINT
- 4 LINE OF 100' CREEK SETBACK TO SOLID WASTE SYSTEM
- 5 SHADED AREA INDICATES ACCESS AND DRAINAGE EASEMENT FROM OPEN SPACE LOT 14
- 6 (N) RANCH TYPE 6' TALL DEER FENCING TO SURROUND PERIMETER OF PROPERTY PER THE 'DESIGN STANDARDS FOR TRACT 2292, BUNNELL RANCH
- 7 (N) SPLIT RAIL ROUGH HEWN RANCH TYPE FENCING W/ HOT WIRE OFFSET 3' ALONG STREET FRONTAGE OF PROPERTY PER THE 'DESIGN STANDARDS FOR TRACT 2292, BUNNELL RANCH
- 8 (N) 4' CATTLE GRATE AND 8' DEER GRATE PER THE 'DESIGN STANDARDS FOR TRACT 2292, BUNNELL RANCH
- 9 (N) ENTRY TRELIS WITH 6' TALL IRON GATE AND CONCRETE COLUMNS, PER THE 'DESIGN STANDARDS FOR TRACT 2292, BUNNELL RANCH - REFER TO L SHEETS FOR ADD'L INFO.
- 10 P.G. & E. VAULT
- 11 PAC BELL VAULT
- 12 (E) UTILITY STUBS
- 13 (E) GAS LINE STUB, (N) GAS METER
- 14 LOCATION OF EXISTING WATER P.O.C. / WATER METER - FIELD VERIFY
- 15 400 AMP MAIN ELECTRICAL PANEL & METER
- 16 NEW 2" CONFORMING GAS LINE, WRAP @ UNDERGROUND LOCATIONS
- 17 NEW 2" WATER SERVICE IN APPROVED BACK FILLED TRENCH. VERIFY CONNECTION POINT AND EXISTING WATER METER LOCATION
- 18 NEW 2" Ø CONDUIT (U.G.) TO ELECTRICAL POWER IN APPROVED BACKFILLED TRENCH. COORDINATE W/ UTILITY COMPANY
- 19 NEW 2" Ø CONDUIT (U.G.) TO TELEPHONE SERVICE P.O.C. IN APPROVED BACKFILLED TRENCH. COORDINATE W/ TELEPHONE COMPANY
- 20 NEW 4" VCP SEWER 1/4" PER FOOT MINIMUM SLOPE, MINIMUM DEPTH 3'-0" BELOW DRIVEWAY (WHERE OCCURS), VERIFY DEPTH OF SEWER LATERAL MAY NEED TO BE RELOCATED.
- 21 1200 GAL. SEPTIC TANK
- 22 DISTRIBUTION BOX (CONCRETE PRE-FAB)
- 23 30" X 40" LEACH LINE TRENCH, TYPICAL OF (2).
- 24 100% SEPTIC SYSTEM EXPANSION AREA
- 25 NEW 3" ABS GRAYWATER TIGHTLINE, CAPPED FOR FUTURE USE. REFER TO LANDSCAPE PLANS FOR ADD'L INFO.
- 26 COLORED CONCRETE DRIVEWAY, SMOOTH FINISH. REFER TO PLAN FOR CONTROL JOINT PLACEMENT.
- 27 COLORED CONCRETE PATIO, SMOOTH FINISH. REFER TO PLAN FOR CONTROL JOINT PLACEMENT.
- 28 EXTERIOR GAS FIREPLACE
- 29 WATER FEATURE, REFER TO LANDSCAPE SHEETS FOR ADD'L INFO.
- 30 RETAINING WALL - REFER TO A-SHEETS & L-SHEETS FOR FINISH
- 31 RETAINING WALL - GABION; FRONT FACE DECORATIVE ROCK FROM SITE EXCAVATION AS AVAILABLE, PER CIVIL SHEETS
- 32 ROOF DECK TERRACE, PER PLAN
- 33 42" A.F.F. GUARDRAIL, PER PLAN
- 34 PLANTER
- 35 CATCH BASIN, REFER TO CIVIL SHEETS
- 36 ROCK LINED SWALE, REFER TO CIVIL SHEETS
- 37 DRAINAGE SWALE, REFER TO CIVIL SHEETS
- 38 AREA DRAIN, REFER TO CIVIL SHEETS
- 39 DRAIN LINE, REFER TO CIVIL SHEETS
- 40 CULVERT WITH RIP-RAP REFER TO CIVIL SHEETS FOR ADD'L INFO.
- 41 DECORATIVE DRIVEWAY LIGHT @ 16" O.C. TYP. BEGA MODEL# 8730 OR APPROVED EQUAL
- 42 DECORATIVE STEP LIGHT. BEGA MODEL# 1323 OR APPROVED EQUAL
- 43 LANDSCAPE STEPS AND LANDINGS CONCRETE STEPS AND FLAGSTONE LANDINGS, REFER TO LANDSCAPE PLANS FOR ADD'L INFO.
- 44 LANDSCAPE FLAGSTONE PATH (3/4" - 2 TON SIZE), REFER TO LANDSCAPE PLANS FOR ADD'L INFO.
- 45 LANDSCAPING, REFER TO LANDSCAPE SHEETS FOR ADD'L INFO.
- 46 TREE, REFER TO LANDSCAPE SHEETS FOR ADD'L INFO.
- 47 10,000 GAL. WATER CISTERN WITH WOOD DECK ON TOP W/ REMOVABLE ACCESS HATCH
- 48 12' X 60' BOCCIE BALL COURT, REFER TO L SHEETS FOR ADD'L INFO.
- 49 WOOD TRELIS W/ CAST CONCRETE COLUMNS, REFER TO L SHEETS FOR ADD'L INFO.
- 50 HARDSCAPE, REFER TO L SHEETS FOR ADD'L INFO.
- 51 PLANTER BOWL, REFER TO L SHEETS FOR ADD'L INFO.
- 52 GRAVEL PATH, REFER TO L SHEETS FOR ADD'L INFO.

NOTE:
ALL WET AND DRY UTILITY LINE LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD PRIOR TO ANY WORK ON UTILITIES, AS REQUIRED.

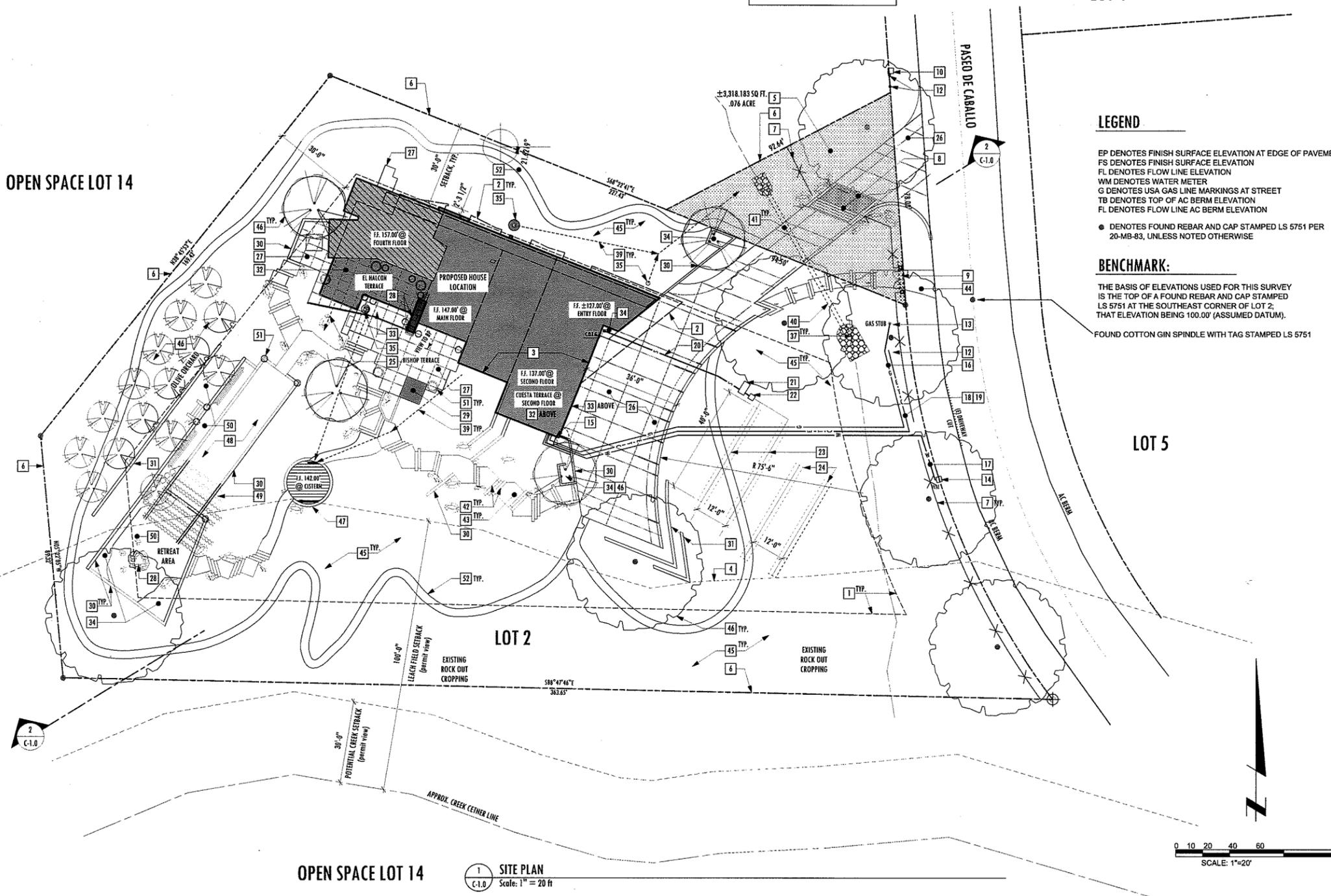
TRACT 2292 PER 20-MB-83

OPEN SPACE LOT 14

NOTE: NEAREST FIRE HYDRANT IS LOCATED ±230' NORTH ON PASEO DE CABALLO FROM NORTH EAST PROPERTY CORNER.

LOT 4

OPEN SPACE LOT 14



LEGEND

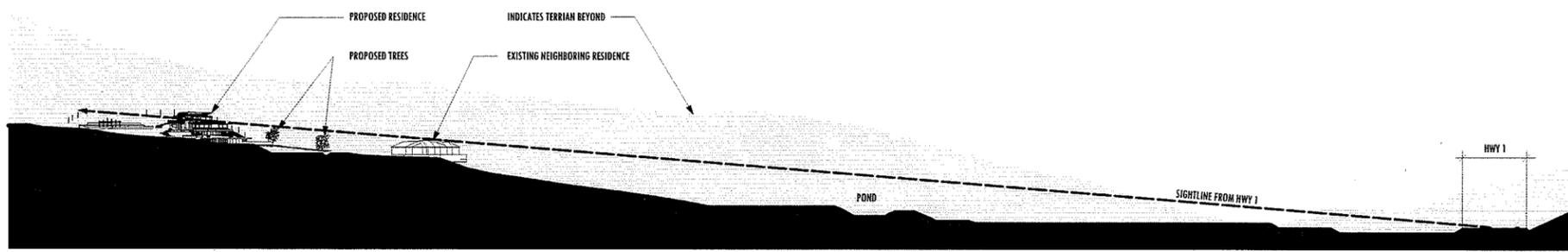
- EP DENOTES FINISH SURFACE ELEVATION AT EDGE OF PAVEMENT
- FS DENOTES FINISH SURFACE ELEVATION
- FL DENOTES FLOW LINE ELEVATION
- WM DENOTES WATER METER
- G DENOTES USA GAS LINE MARKINGS AT STREET
- TB DENOTES TOP OF AC BERM ELEVATION
- FL DENOTES FLOW LINE AC BERM ELEVATION
- DENOTES FOUND REBAR AND CAP STAMPED LS 5751 PER 20-MB-83, UNLESS NOTED OTHERWISE

BENCHMARK:

THE BASIS OF ELEVATIONS USED FOR THIS SURVEY IS THE TOP OF A FOUND REBAR AND CAP STAMPED LS 5751 AT THE SOUTHEAST CORNER OF LOT 2, THAT ELEVATION BEING 100.00' (ASSUMED DATUM).
FOUND COTTON GIN SPINDLE WITH TAG STAMPED LS 5751

LOT 5

1 SITE PLAN
Scale: 1" = 20' ft



2 SITE SECTION
Scale: 1" = 100' ft

SITE PLAN
SCALE:

DANCIART
ARCHITECTURE

1750 PIEDMONT CIRCLE, SUITE 200
SAN LUIS OBISPO, CALIFORNIA 93405
805.764.5147
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SALMON RESIDENCE
1666 PASEO DE CABALLO
SAN LUIS OBISPO, CA 93405
APN: 073-333-003

DATE:

15 JUN 15
PLANNING DEPT. SUBMITTAL
PROJECT NUMBER
1403

SHEET NAME
SITE PLAN

SHEET NUMBER

C-1.0

COUNTY GENERAL NOTES:

NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY PLANNING DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS. THE PLANNING DEPARTMENT SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND THE TIME AND LOCATION SET FOR THE PRECONSTRUCTION CONFERENCE. ANY CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.

FOR ANY CONSTRUCTION PERFORMED THAT IS NOT IN COMPLIANCE WITH PLANS OR PERMITS APPROVED FOR THE PROJECT THE PUBLIC WORKS DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT COUNTY CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH SECTION 22.52.140 [23.10] OF THE LAND USE ORDINANCE.

ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE COUNTY OF SAN LUIS OBISPO PUBLIC IMPROVEMENT STANDARDS AND SPECIFICATIONS, THE STATE SPECIFICATIONS AND THESE PLANS, AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.

STATE SPECIFICATIONS SHALL MEAN THE STANDARD SPECIFICATIONS OF THE BUSINESS AND TRANSPORTATION AGENCY, DEPARTMENT OF TRANSPORTATION, STATE OF CALIFORNIA CURRENTLY IN EFFECT ON THE DATE OF COMMENCEMENT OF WORK. WHERE THE TERMS "STATE" OR "ENGINEER" ARE USED IN THE STATE SPECIFICATIONS, THEY SHALL BE CONSIDERED AS MEANING THE "COUNTY" OR "ENGINEER." WHERE THE TERM "COUNTY" IS USED HEREIN, IT SHALL MEAN EITHER THE SAN LUIS OBISPO COUNTY PUBLIC WORKS DEPARTMENT OF THE SAN LUIS OBISPO COUNTY PLANNING AND BUILDING DEPARTMENT.

THE PROJECT OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND/OR MAINTAINING ALL WEATHER ACCESS AT ALL TIMES TO EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK. ADDITIONALLY, THEY SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING SERVICES, INCLUDING UTILITY, GARBAGE COLLECTION, MAIL DISTRIBUTION, ETC., TO ALL EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK.

ON-SITE HAZARDS TO PUBLIC SAFETY SHALL BE SHIELDED BY CONSTRUCTION FENCING. FENCING SHALL BE MAINTAINED BY THE PROJECT OWNER AND CONTRACTOR UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND OCCUPIED. POTENTIAL HAZARDS HAVE BEEN MITIGATED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN INSTALLED.

AN ENGINEER OF WORK AGREEMENT AND AN ENGINEER CHECKING AND INSPECTION AGREEMENT ARE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED IN WRITING OF ANY CHANGES TO THE ENGINEER OF WORK AGREEMENT. CONSTRUCTION SHALL NOT PROCEED WITHOUT AN ENGINEER OF WORK AGREEMENT.

A COUNTY ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE COUNTY RIGHT-OF-WAY. THE ENCROACHMENT PERMIT MAY ESTABLISH ADDITIONAL UTILITY AND TRAFFIC CONTROL REQUIREMENTS.

THE COUNTY INSPECTOR ACTING ON BEHALF OF THE COUNTY PUBLIC WORKS DEPARTMENT AND THE COUNTY DEPARTMENT OF PLANNING AND BUILDING MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S ENGINEER OF WORK.

FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE COUNTY, IF ENVIRONMENTAL PERMITS FROM THE U.S. ARMY CORPS OF ENGINEERS, THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD/STATE WATER RESOURCES CONTROL BOARD, OR THE CALIFORNIA DEPARTMENT OF FISH & GAME ARE REQUIRED, THE OWNER SHALL:

A. SUBMIT A COPY OF ALL SUCH COMPLETED PERMITS TO THE COUNTY DEPARTMENT OF PUBLIC WORKS, OR

B. DOCUMENT THAT THE REGULATORY AGENCIES HAVE DETERMINED THAT SAID PERMIT IS NOT REQUIRED.

PRIOR TO ACCEPTANCE OF THE COMPLETED IMPROVEMENTS FOR COUNTY MAINTENANCE AND RELEASE OF IMPROVEMENT SECURITY, ANY MITIGATION MONITORING REQUIRED BY SAID PERMITS WILL REMAIN THE RESPONSIBILITY OF THE OWNER.

ALL PROJECTS INVOLVING SITE DISTURBANCE OF ONE ACRE (1.0 AC.) OR GREATER SHALL COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES). THE OWNER SHALL SUBMIT A NOTICE OF INTENT (NOI) TO COMPLY WITH THE GENERAL PERMIT FOR CONSTRUCTION ACTIVITY WITH THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB). THE OWNER SHALL PROVIDE THE COUNTY WITH THE WASTE DISCHARGE IDENTIFICATION NUMBER (WDID) OR WITH VERIFICATION THAT AN EXEMPTION HAS BEEN GRANTED BY THE RWQCB.

WDID# N/A

IT SHALL BE THE OWNER'S RESPONSIBILITY TO OBTAIN ALL PERMITS AND PAY ALL FEES NECESSARY FOR THE CONSTRUCTION OF IMPROVEMENTS SHOWN ON THESE PLANS. THE ENGINEER OR CONTRACTOR WILL NOT BE RESPONSIBLE FOR OBTAINING PERMITS.

THERE ARE UTILITIES THAT EXIST WITHIN AND AROUND THE PROJECT AREA. THE CONTRACTOR SHALL TAKE WHATEVER MEANS ARE NECESSARY TO INSURE THAT THE EXISTING UTILITIES ARE PROTECTED DURING CONSTRUCTION. EACH UTILITY OWNER AND USA SHALL BE CONTACTED PRIOR TO THE START OF CONSTRUCTION.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION ON THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE COUNTY AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.

DEVIATIONS IN THE CONSTRUCTION WORK FROM THE ENGINEER'S DESIGN WITHOUT WRITTEN APPROVAL OF SUCH DEVIATION FROM THE ENGINEER SHALL SERVE TO RELIEVE THE ENGINEER FROM RESPONSIBILITY AND LIABILITY FROM THE RESULTS OF SUCH DEVIATIONS.

INSPECTION BY THE COUNTY OR THEIR AUTHORIZED AGENT SHALL BE REQUESTED BY THE OWNER OR CONTRACTOR IMMEDIATELY PRIOR TO COMMENCING AND IMMEDIATELY AFTER THE COMPLETION OF EACH PHASE OF CONSTRUCTION.

THE OWNER DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF ANY DATA SHOWN ON THE PLANS RELATIVE TO THE LOCATIONS, SIZES, DIMENSIONS, DEPTHS AND CHARACTER OF PIPES, CONDUITS, POLES OR ANY OTHER STRUCTURES OR UTILITIES LOCATED ABOVE OR UNDERGROUND.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "UNDERGROUND SERVICE ALERT" 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO LOCATE ALL EXISTING UTILITIES WITHIN THE PROJECT AREA.

PROJECT GEOTECHNICAL INFORMATION

GEOSOLUTIONS, INC.
220 HIGH STREET
SAN LUIS OBISPO, CA. 93405

PROJECT REPORT:
ENGINEERING GEOLOGY INVESTIGATION
PROPOSED SALMON RESIDENCE
PROJECT SLO08898-1

PROJECT SOILS ENGINEER/GEOLOGIST:
JOHN KAMMER, S.E.G.

CONSTRUCTION NOTES:

ALL GRADING AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND ADOPTED ORDINANCES OF THE COUNTY OF SAN LUIS OBISPO INCLUDING THE UNIFORM BUILDING CODE (CURRENT EDITION), THE CALIFORNIA BUILDING CODE (CURRENT EDITION) AND THE STATE STANDARD SPECIFICATIONS (SEC. 19) AND THESE PLANS AND SPECIFICATIONS.

ALL CONTACT SURFACES BETWEEN ORIGINAL GROUND AND COMPACTED FILL MATERIAL SHALL BE EITHER HORIZONTAL OR VERTICAL (PER SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, CURRENT EDITION).

FILL MATERIAL SHALL BE SPREAD IN LIFTS OF APPROXIMATELY 8 INCHES, MOISTENED OR DRIED TO NEAR OPTIMUM MOISTURE CONTENT AND RECOMPACTED TO THE MINIMUM COMPACTION REQUIREMENTS AS SPECIFIED HEREIN. THE MATERIALS FOR ENGINEERED FILL SHALL BE APPROVED BY A REGISTERED CIVIL ENGINEER. ANY IMPORTED MATERIALS MUST BE APPROVED BEFORE BEING BROUGHT TO THE SITE. THE MATERIALS USED SHALL BE FREE OR ORGANIC MATTER AND OTHER DELETERIOUS MATERIALS.

FIELD DENSITY TESTS SHALL BE MADE UNDER THE DIRECTION OF A REGISTERED CIVIL ENGINEER ON EACH COMPACTED LAYER. AT LEAST ONE (1) TEST SHALL BE MADE FOR EACH FIVE HUNDRED (500) CUBIC YARDS OR A FRACTION THEREOF PLACED WITH A MINIMUM OF TWO (2) TESTS PER LAYER IN ISOLATED AREAS OR AS DIRECTED BY THE COUNTY'S CONSTRUCTION INSPECTOR OR THE CALTRANS ENCROACHMENT PERMIT INSPECTOR.

CLEARING AND GRUBBING SHALL BE PERFORMED FOR ALL PROJECT RELATED WORK AND SHALL CONSIST OF REMOVING AND DISPOSING OF ALL GRASS, TREES, BUSHES, STUMPS, FENCES, AND ANY OTHER OBJECTIONABLE MATERIALS WITHIN THE LIMITS AS INDICATED ON THE PLANS FOR REMOVAL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL STUMPS, ROOTS, SUBSURFACE STRUCTURES AND ANY OBJECTIONABLE MATERIAL TO A DEPTH NECESSARY FOR THE COMPLETE REMOVAL. ALL OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OFF THE PROJECT SITE.

THE CONTRACTOR'S ATTENTION IS DIRECTED TO SECTION 7-1.11 "PRESERVATION OF PROPERTY" AND SECTION 7-1.12 "RESPONSIBILITY FOR DAMAGE" OF THE STATE SPECIFICATIONS. EXISTING SITE IMPROVEMENTS, ON-SITE FACILITIES, UTILITIES, TREES AND PLANTS THAT ARE NOT TO BE REMOVED SHALL BE PROTECTED FROM INJURY OR DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS.

ALL IMPROVEMENTS, GRADING, PAVING AND INSTALLATION OF FACILITIES SHALL BE CONSTRUCTED AS SHOWN ON THESE PLANS AND IN ACCORDANCE WITH THE COUNTY OF SAN LUIS OBISPO STANDARD SPECIFICATIONS AND DRAWINGS WHICH INCLUDE BY REFERENCE THE "STATE SPECIFICATIONS AND STANDARD PLANS" OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION CURRENTLY IN EFFECT AND THE COUNTY OF SAN LUIS OBISPO GRADING AND DRAINAGE REQUIREMENTS.

COMPACTION OF THE SUBGRADE FOR THE CONSTRUCTION OF THE DRIVEWAY STRUCTURAL SECTION SHALL CONFORM TO THE DETAILS ON THE PLANS WHICH INDICATE THAT THE TOP 12-INCHES SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (CALTRANS SEC. 19-5.03) UNLESS NOTED OTHERWISE.

AGGREGATE BASE SHALL BE CALTRANS, CLASS 2 AGGREGATE BASE AND SHALL CONSIST OF CRUSHED AGGREGATES PLACED ON A PREPARED SUBGRADE COURSE IN ACCORDANCE WITH THE STATE STANDARD SPECIFICATIONS AND SHALL MEET THE REQUIREMENTS OF SECTION 26 OF THE STATE SPECIFICATIONS. THE MAXIMUM DEPTH OF A COMPACTED LAYER OF AGGREGATE BASE SHALL BE 6-INCHES.

GRADE TOLERANCES FOR THE FINISHED SURFACE OF THE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 26-1.05 OF THE STATE SPECIFICATIONS.

COMPACTION TESTING FOR ALL EMBANKMENT CONSTRUCTION, SUBGRADE PREPARATION AND AGGREGATE PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE STANDARD SPECIFICATIONS.

ASPHALT CONCRETE (IF REQUIRED) SHALL BE TYPE 'B' 1/2-INCH MAXIMUM, MEDIUM MEETING THE REQUIREMENTS AS SET FORTH IN SECTION 39 OF THE STATE STANDARD SPECIFICATIONS. ASPHALT CEMENT SHALL BE PG 64-10 OR AS DIRECTED BY THE COUNTY INSPECTOR. ASPHALTS SHALL CONFORM TO SECTION 92, "ASPHALTS," OF THE STATE STANDARD SPECIFICATIONS.

AN ASPHALT TACK COAT SHALL BE APPLIED TO ALL VERTICAL MATCH EDGES OF ALL ADJACENT PAVEMENT AND SURFACES TO RECEIVE A SECOND LIFT OF ASPHALT CONCRETE. THE TACK COAT SHALL CONFORM TO THE REQUIREMENTS OF SECTION 94 OF THE STATE STANDARD SPECIFICATIONS FOR SSI OR SSIH. THE TACK COAT SHALL BE FULLY CURED BEFORE PAVING BEGINS.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE PROPER EQUIPMENT IS FURNISHED AND USED TO PLACE, SPREAD AND COMPACT THE ASPHALT CONCRETE SURFACING TO THE REQUIREMENTS SET FORTH IN THESE SPECIFICATIONS AND THE STATE STANDARD SPECIFICATIONS (CALTRANS SEC. 39).

WATERING FOR ALL CONSTRUCTION WORK SHALL CONFORM TO THE PROVISIONS OF SECTION 17 OF THE STATE STANDARD SPECIFICATIONS AND THESE SPECIFICATIONS. THE CONTRACTOR SHALL FURNISH ALL EQUIPMENT NECESSARY TO APPLY WATER AS REQUIRED FOR THE COMPLETION OF THE VARIOUS ITEMS OF WORK INCLUDING DUST CONTROL DURING CONSTRUCTION. WATER SHALL BE APPLIED AT THE LOCATIONS, IN THE AMOUNT AND DURING THE HOURS AS DIRECTED BY THE COUNTY'S AUTHORIZED REPRESENTATIVE.

EARTHWORK QUANTITIES:
EXCAVATION: 1,410 CU. YD.
EMBANKMENT: 1,023 CU. YD.

THE QUANTITIES LISTED ARE "IN-PLACE" VOLUMES AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE INTO ACCOUNT LOSSES DUE TO SHRINKAGE, SOIL LOSS IN CLEARING AND GRUBBING AND SOIL LOSSES IN OTHER CONSTRUCTION OPERATIONS.

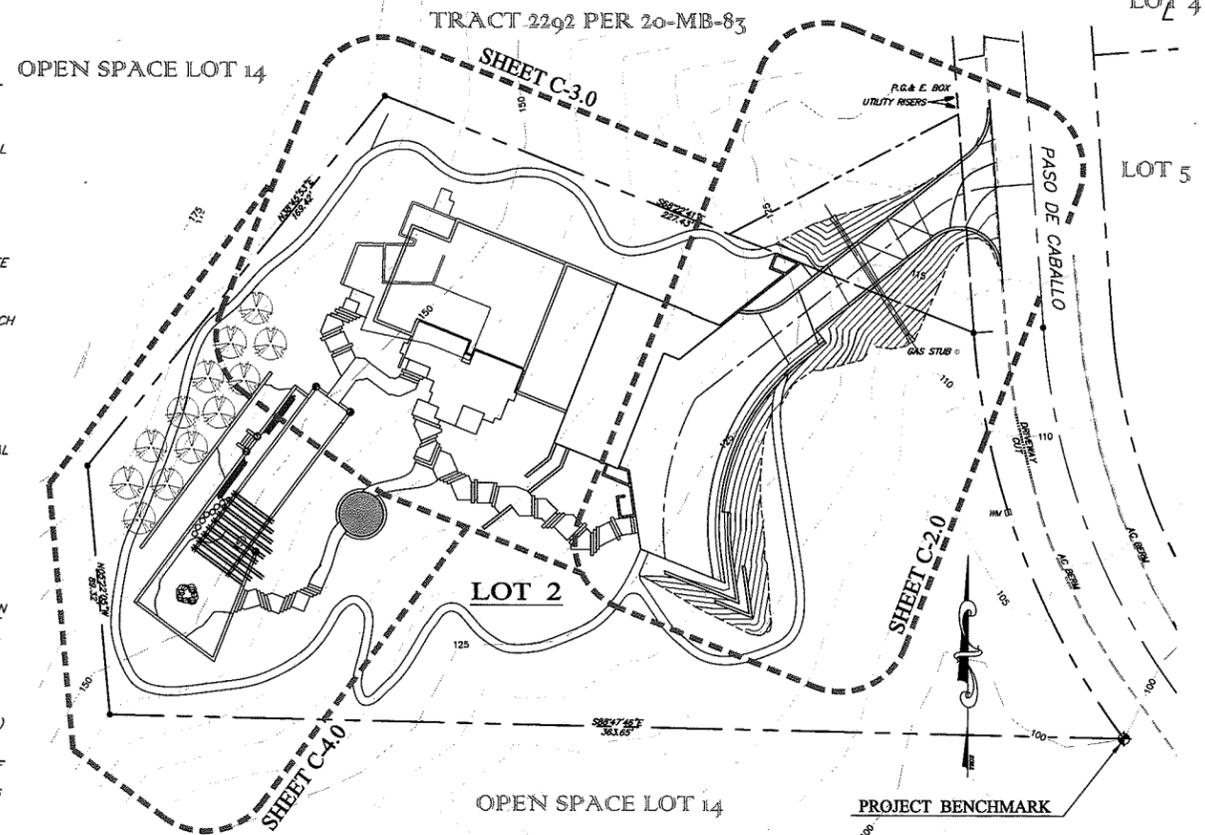
AREA OF DISTURBANCE: 33,765 SQ. FT. (0.78 AC.)

COUNTY ADOPTED CODE ORDINANCES

THESE PLANS HAVE BEEN DESIGNED AND ENGINEERED TO MEET THE CONDITIONS OF THE COUNTY ADOPTED ORDINANCES AND CODE COMPLIANCE LISTED:

CBC-2013 CALIFORNIA BUILDING CODE (2012 IBC), APPENDIX CHAPTER 33, 1997 UBC
CRC-2013 CALIFORNIA RESIDENTIAL CODE (NEW) (2012 IRC)
CPC-2013 CALIFORNIA PLUMBING CODE (2012 IAPMO-UPC)
CMC-2013 CALIFORNIA MECHANICAL CODE (2012 IAPMO-UMC)
CEC-2013 CALIFORNIA ELECTRICAL CODE (2011 NEC)
TITLE 16 COUNTY FIRE ORDINANCE
TITLE 19 COUNTY BUILDING AND CONSTRUCTION ORDINANCE
TITLE 22 COUNTY LAND ORDINANCE
TITLE 23 COUNTY COASTAL ZONE LAND USE ORDINANCE
TITLE 24 2011 CALIFORNIA STATE ENERGY AND ACCESSIBILITY STANDARDS
GRADING UBC APPENDIX CHAPTER 33

OPEN SPACE LOT 14



KEY MAP SHEETS

1" = 30'

PROJECT BENCHMARK

Elevations shown are based on an assumed datum.

On-site T.B.M.: Found Rebar and Cap stamped L.S. 5751
Elevation = 100.00 feet.

Bearings and distances shown are record per TRACT 2292, 20/MB/83 and shown for informational purposes only. No boundary survey was performed in conjunction with this map.

Survey date: July 145, 2003.

PROJECT INFORMATION

OWNER/CONTACT: DAVID & DIANA SALMON
1777 RANCHO DE CABALLO
SAN LUIS OBISPO, CA 93405

PROJECT: PROPOSED RESIDENCE
APN NO: 073-333-003

ENGINEER'S STATEMENT

THESE PLANS HAVE BEEN PREPARED SOLELY FOR USE OF THE PROJECT SCOPE AND SITE SPECIFICALLY IDENTIFIED HEREON AT THE TIME THESE PLANS ARE SIGNED. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR USE OF ANY PART OF THESE PLANS, INCLUDING ANY NOTE OR DETAIL, FOR ANY UNAPPROVED REVISED PROJECT SCOPE, OR FOR ANY OTHER PROJECT AT THIS OR ANY OTHER SITE.

CIVIL SHEET INDEX

- C-1.1 CIVIL GENERAL NOTES & SHEET INDEX
- C-2.0 PRELIMINARY GRADING & DRAINAGE PLAN
PARTIAL PLAN - DRIVEWAY PLAN & PROFILE
- C-3.0 PRELIMINARY GRADING & DRAINAGE PLAN
PARTIAL PLAN - RESIDENCE GROUNDS
- C-4.0 PRELIMINARY GRADING & DRAINAGE PLAN
PARTIAL PLAN - ORCHARD & COURT AREA
- C-5.0 PRELIMINARY GRADING & DRAINAGE PLAN
CONSTRUCTION DETAILS & SECTIONS

LATEST ISSUE VOIDS ALL PREVIOUS DRAWINGS		DATE ISSUED	DATE	NOT FOR CONSTRUCTION
PLANS ISSUED	DATE			
—	09.12.14	X		
PREL. G&D	06.15.15	X		

SCALE NOTED

FILE NO.

SHEET

C-1.1

OF SHEETS



SALMON RESIDENCE 1666 PASEO DE CABALLO LOT 2 - TRACT 2292 - APN 073-333-003 CIVIL GENERAL NOTES & SHEET INDEX		
DESIGN/DRAWN	COUNTY PLAN CHECKER	APPROVED FOR COUNTY REQUIREMENTS
SAK		Development Services Engineer DATE
JOB NO.	COUNTY W.G. NO.	R.C.E. 59537 DATE
14-P001		
CALIFORNIA COORDINATES		
N 230	E 5758	SHEET # C-1.1



SCOTT A. KOPE P.E.
151 JAMES WAY
ARROYO GRANDE, CA
93420 • 805-391-3665

SALMON RESIDENCE
1666 PASEO DE CABALLO
SAN LUIS OBISPO, CA
APN 073-333-003

1750 PUEBLO CYN. RD. #46
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805.704.5147
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DANCIAART
ARCHITECTURE

PRELIMINARY SITE & CONSTRUCTION NOTES

- ① PCC DRIVEWAY - SEE ARCHITECTURAL PLANS FOR SECTION AND REINFORCEMENT SCHEDULE. SEE SHEET C-5.0 FOR TYPICAL SECTION AND EMBANKMENT KEYWAY/ BENCHING REQUIREMENTS ON SLOPING TERRAIN.
- ② PCC MOUNTABLE CURB - SEE PRELIMINARY CONSTRUCTION DETAIL, SHEET C-5.0
- ③ ASPHALT CONCRETE SAWCUT AND RECONSTRUCT PER SAN LUIS OBISPO COUNTY STANDARD PAVEMENT REPAIR PROCEDURES.
- ④ SHORT GABION WALLS - DECORATIVE NATIVE ROCK FILLED BASKETS.
- ⑤ 4' CATTLE GRATE AND 8' DEER GRATE CONSTRUCTED CONSISTENT WITH TRACT 2292 PLAN.
- ⑥ 18" CORRUGATED METAL PIPE CULVERT WITH ENERGY DISSIPATION DEVICES AT ENTRANCE AND EXIT. SEE PIPE PROFILE - SHEET C-5.0
- ⑦ 3' WIDE GRAVEL PATH CONSTRUCTED AT EXISTING GRADE - SEE LANDSCAPE ARCHITECT SHEETS FOR ADDITIONAL INFORMATION.
- ⑧ PATHWAY - CONCRETE STEPS AND FLAGSTONE LANDINGS - SEE LANDSCAPE ARCHITECT SHEETS FOR ADDITIONAL INFORMATION.
- ⑨ APPENDAGE RETAINING WALLS - SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- ⑩ SHORT FEATURE RETAINING WALLS - SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- ⑪ DECORATIVE GRAVEL PATHWAY - SEE LANDSCAPE ARCHITECT SHEETS FOR ADDITIONAL INFORMATION.
- ⑫ OUTSIDE TERRACE/PATIO - VARIOUS CONSTRUCTION MATERIALS - SEE ARCHITECTURAL PLAN SHEETS.
- ⑬ 10,000 GALLON WATER CISTERN WITH WOOD DECK AND INSPECTION HATCH.
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- ⑮ STORM WATER ROOF AND SURFACE CAPTURE AND CONVEYANCES - CATCH BASIN SIZE/DECOR TBD - PVC SCH-40 SITE STORM DRAIN 4 TO 8" DIA. - ELEVATIONS PER PLAN.
- ⑯ DECORATIVE MEANDERING COBBLE SWALES STEPPED IF DESIRED IN STEEPER AREAS.
- ⑰ BOCCIE BALL COURT, TRELLIS AND RETREAT AREA - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- ⑱ OLIVE ORCHARD - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.

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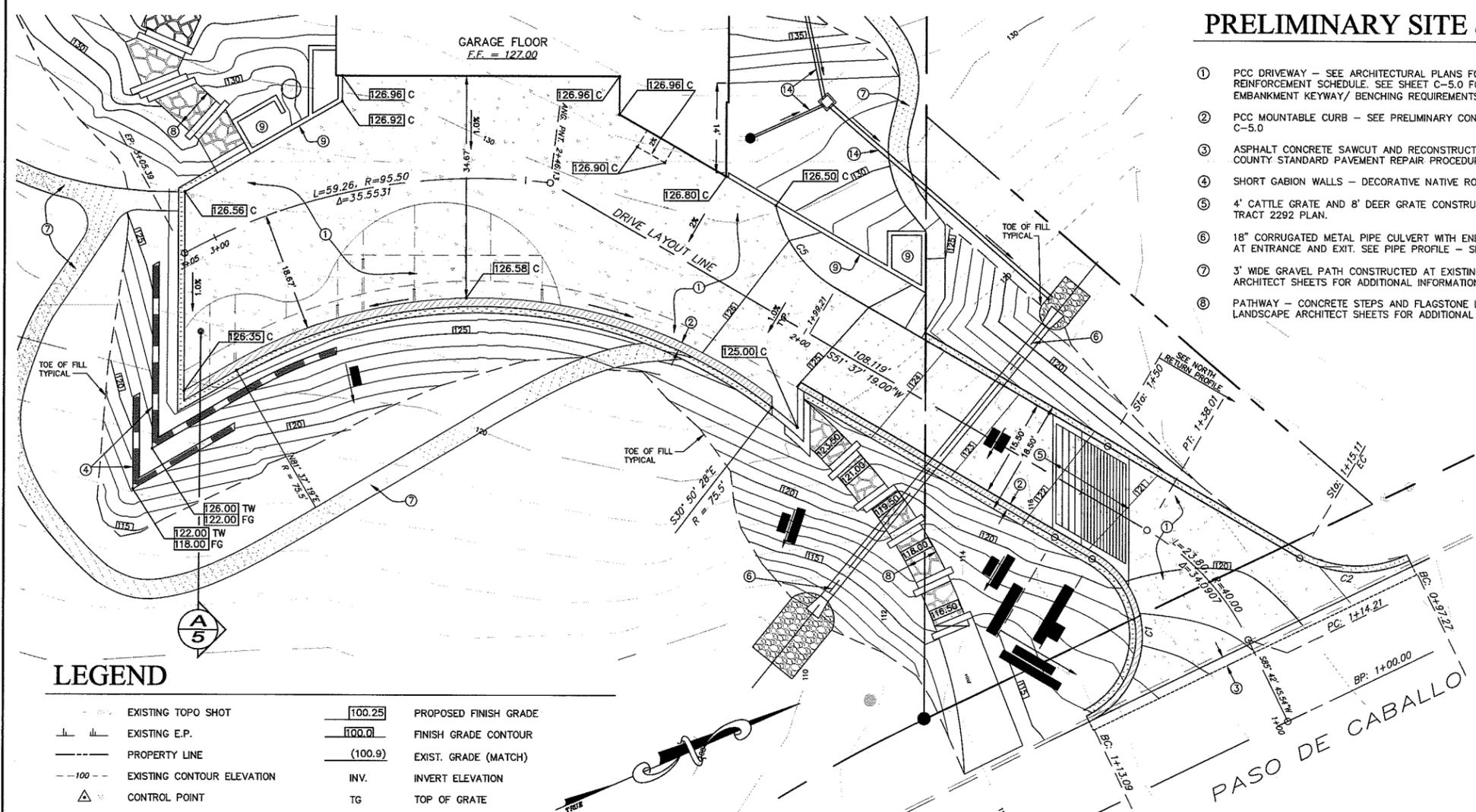
SCOTT A. KOPE P.E.
151 JAMES WAY
ARROYO GRANDE, CA
93420 • 805-391-3663

SALMON RESIDENCE
1666 PASEO DE CABALLO
SAN LUIS OBISPO, CA
APN 073-333-003

LATEST ISSUE VOIDS ALL PREVIOUS DRAWINGS

PLANS ISSUED	DATE	NOT FOR CONSTRUCTION
	09.12.14	X
PREL. G&D	06.15.16	X

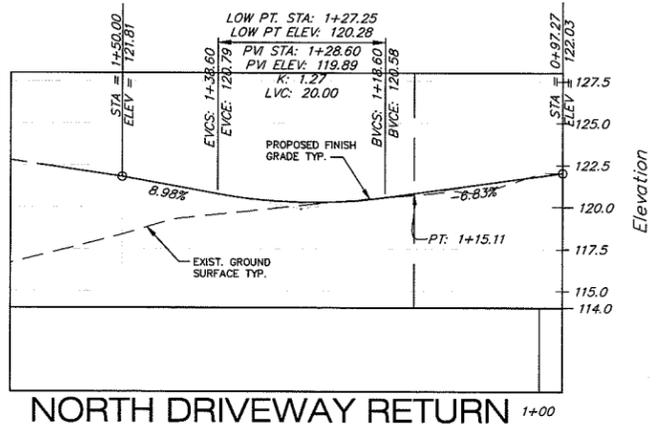
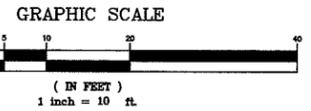
SCALE NOTED
FILE NO.
SHEET
C-2.0
OF SHEETS



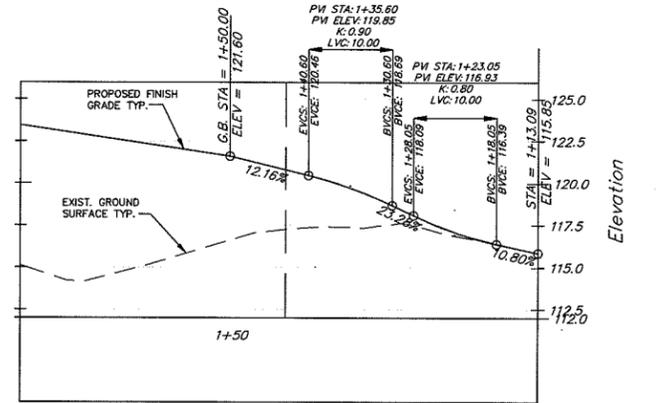
LEGEND

- | | | | |
|--|----------------------------|--|-----------------------|
| | EXISTING TOPO SHOT | | PROPOSED FINISH GRADE |
| | EXISTING E.P. | | FINISH GRADE CONTOUR |
| | PROPERTY LINE | | EXIST. GRADE (MATCH) |
| | EXISTING CONTOUR ELEVATION | | INV. INVERT ELEVATION |
| | CONTROL POINT | | TG TOP OF GRATE |
| | GABION ROCK RETAINING WALL | | P PAVEMENT |
| | EDGE OF PAVEMENT | | C CONCRETE |
| | EXISTING GROUND/GRADE | | GB GRADE BREAK |
| | TOP OF WALL | | |
| | FLOW LINE | | |

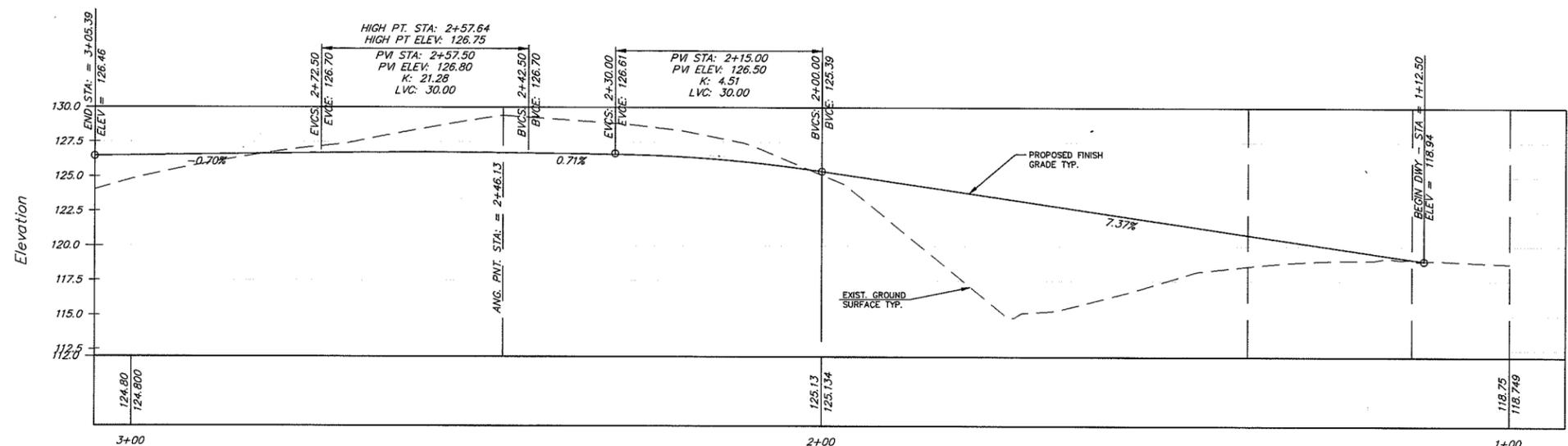
CURVE #	LENGTH	RADIUS	DELTA
C1	32.37	15.00	123.66
C2	18.52	19.00	55.84
C5	16.47	20.00	47.20



NORTH DRIVEWAY RETURN 1+00
SCALES:
1" = 10' HORIZ.
1" = 5' VERT.



SOUTH DRIVEWAY RETURN 1+13
SCALES:
1" = 10' HORIZ.
1" = 5' VERT.



PARTIAL PLAN - DRIVEWAY PLAN AND PROFILE

SCALES:
1" = 10' HORIZ.
1" = 5' VERT.

SALMON RESIDENCE
1666 PASEO DE CABALLO
LOT 2 - TRACT 2292 - APN 073-333-003
PRELIMINARY GRADING AND DRAINAGE

DESIGN/DRAWN SAK	COUNTY PLAN CHECKER	APPROVED FOR COUNTY REQUIREMENTS
JOB NO. 14-P001	COUNTY W.O. NO.	Development Services Engineer DATE
CALIFORNIA COORDINATES N 230	E 5758	R.C.E. 59537 DATE

SHEET # C-2.0



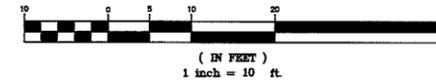
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SALMON RESIDENCE
1666 PASEO DE CABALLO
SAN LUIS OBISPO, CA
APN 073-333-003

LATEST ISSUE VOIDS ALL PREVIOUS DRAWINGS		PLANS ISSUED	DATE ISSUED	FOR CONSTRUCTION
			08.12.14	X
		PREL. G&D	06.15.15	X

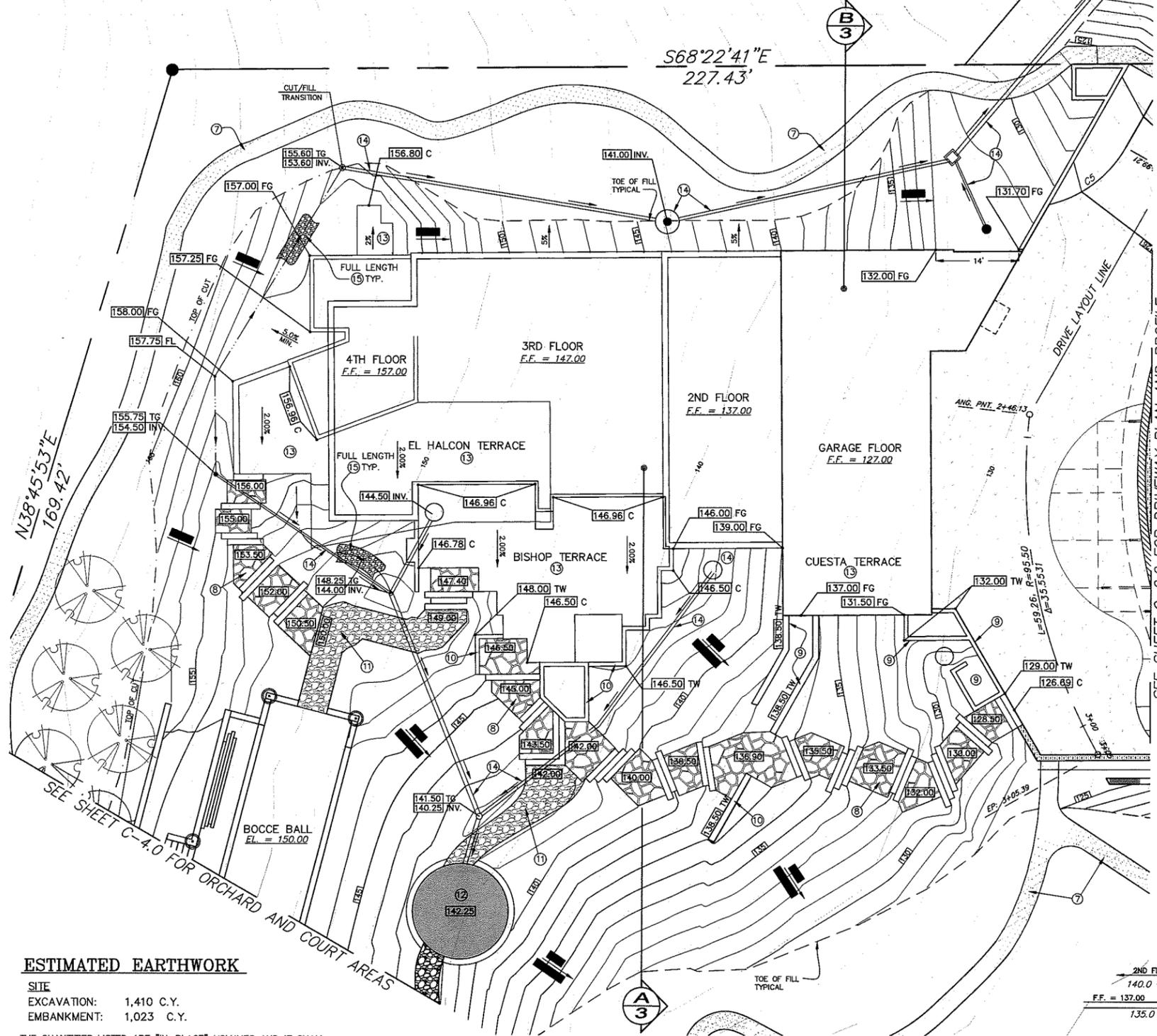
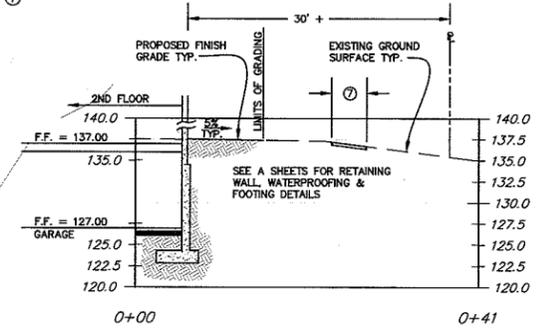
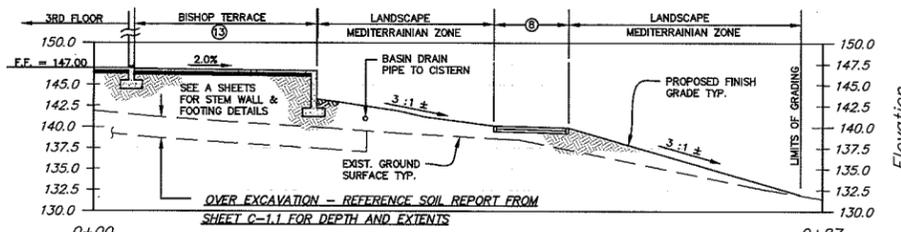
SCALE NOTED
FILE NO.
SHEET
C-3.0
OF SHEETS

GRAPHIC SCALE



PRELIMINARY SITE & CONSTRUCTION NOTES

- ① PCC DRIVEWAY - SEE ARCHITECTURAL PLANS FOR SECTION AND REINFORCEMENT SCHEDULE. SEE SHEET C-5.0 FOR TYPICAL SECTION AND EMBANKMENT KEYWAY/ BENCHING REQUIREMENTS ON SLOPING TERRAIN.
- ② PCC MOUNTABLE CURB - SEE PRELIMINARY CONSTRUCTION DETAIL, SHEET C-5.0
- ③ ASPHALT CONCRETE SAWCUT AND RECONSTRUCT PER SAN LUIS OBISPO COUNTY STANDARD PAVEMENT REPAIR PROCEDURES.
- ④ SHORT GABION WALLS - DECORATIVE NATIVE ROCK FILLED BASKETS.
- ⑤ 4' CATTLE GRATE AND 8' DEER GRATE CONSTRUCTED CONSISTENT WITH TRACT 2292 PLAN.
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- ⑩ SHORT FEATURE RETAINING WALLS - SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
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- ⑰ OLIVE ORCHARD - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.



ESTIMATED EARTHWORK

SITE
EXCAVATION: 1,410 C.Y.
EMBANKMENT: 1,023 C.Y.

THE QUANTITIES LISTED ARE "IN-PLACE" VOLUMES AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE INTO ACCOUNT LOSSES DUE TO SHRINKAGE, SOIL LOSS IN CLEARING AND GRUBBING AND SOIL LOSSES IN OTHER CONSTRUCTION OPERATIONS.

BUILDING OVER-EXCAVATION QUANTITIES NOT INCLUDED.

MAXIMUM HEIGHT OF CUT: ~ 13.5 FT.
MAXIMUM HEIGHT OF FILL: ~ 8.5 FT.
AREA OF DISTURBANCE: ~ 33,765 S.F.

PARTIAL PLAN - RESIDENCE GROUNDS

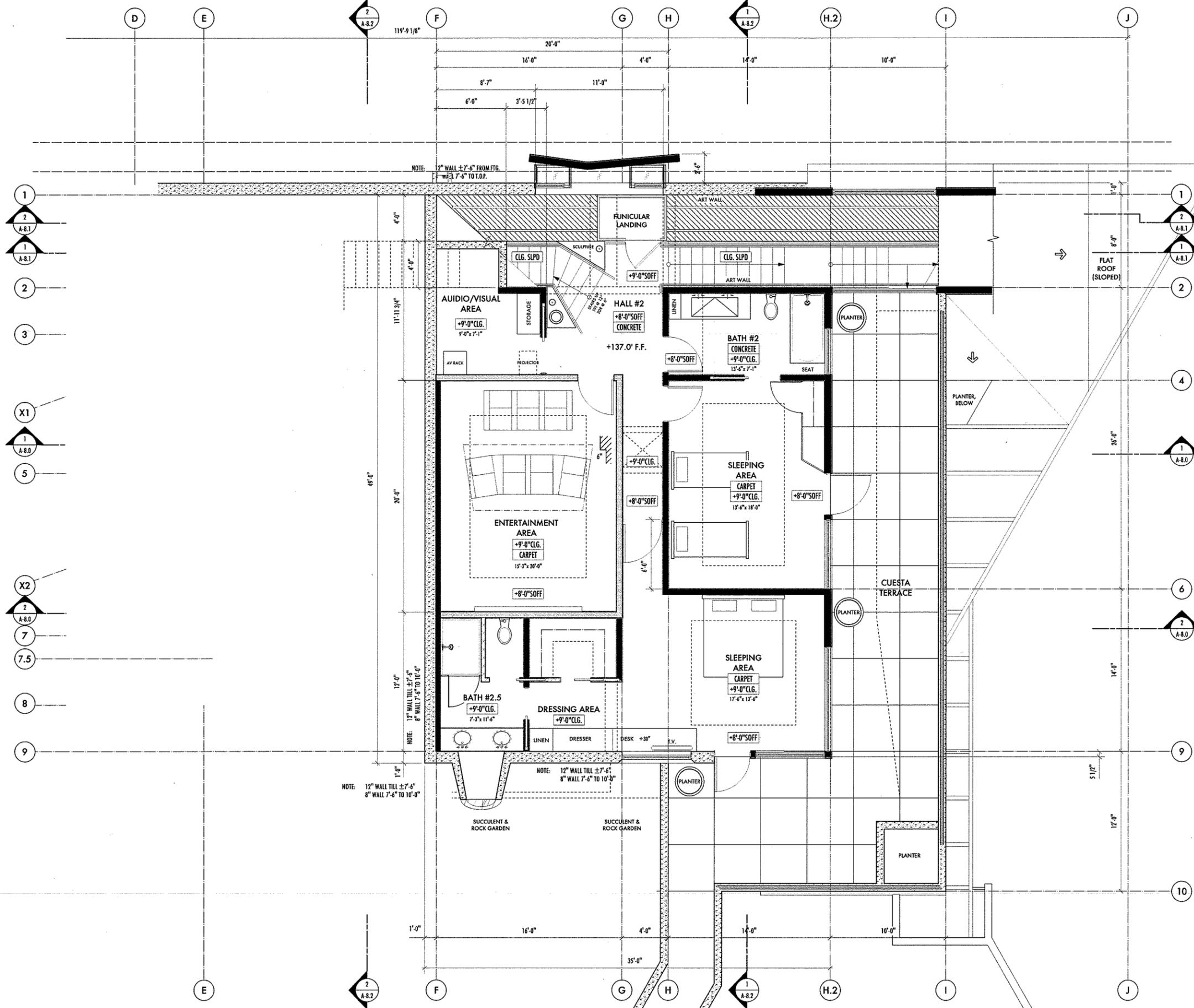
SECTION B
SCALE: HOR. 1"=10'
VERT. 1"= 10'

SALMON RESIDENCE 1666 PASEO DE CABALLO LOT 2 - TRACT 2292 - APN 073-333-003 GRADING AND DRAINAGE - PARTIAL PLAN A		
DESIGN/DRAWN	COUNTY PLAN CHECKER	APPROVED FOR COUNTY REQUIREMENTS
14-P001	COUNTY W.O. NO.	Development Services Engineer DATE
CALIFORNIA COORDINATES N 230	E 5758	R.C.E. 59537 DATE

WALL LEGEND

- (N) 2 X 6 EXTERIOR FRAMING @ 24" O.C.
- (N) 2 X 6 INTERIOR FRAMING @ 24" O.C.
- (N) 2 X 4 STAGGERED FRAMING - @ 24" O.C.
- (N) 2 X 4 INTERIOR FRAMING - @ 24" O.C.
- (N) CONCRETE RETAINING WALL

- 31 - DETAIL NUMBER
- A-10.0 - SHEET NUMBER
- A - WINDOW SYMBOL LETTER, REFER TO WINDOW SCHEDULE, SHEET A-3.0
- 4 - DOOR NUMBER, REFER TO DOOR SCHEDULE, SHEET A-3.0
- B - DESIGNATES THE ELEVATION (INTERIOR OR EXTERIOR) OR SECTION
- 1 - SHEET NUMBER
- A - DESIGNATES THE INTERIOR ELEVATION



DIMENSION PLAN - GUEST LEVEL
SCALE: 1/4" = 1'-0"

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SAN LUIS OBISPO, CA 93405
APN: 073-333-003

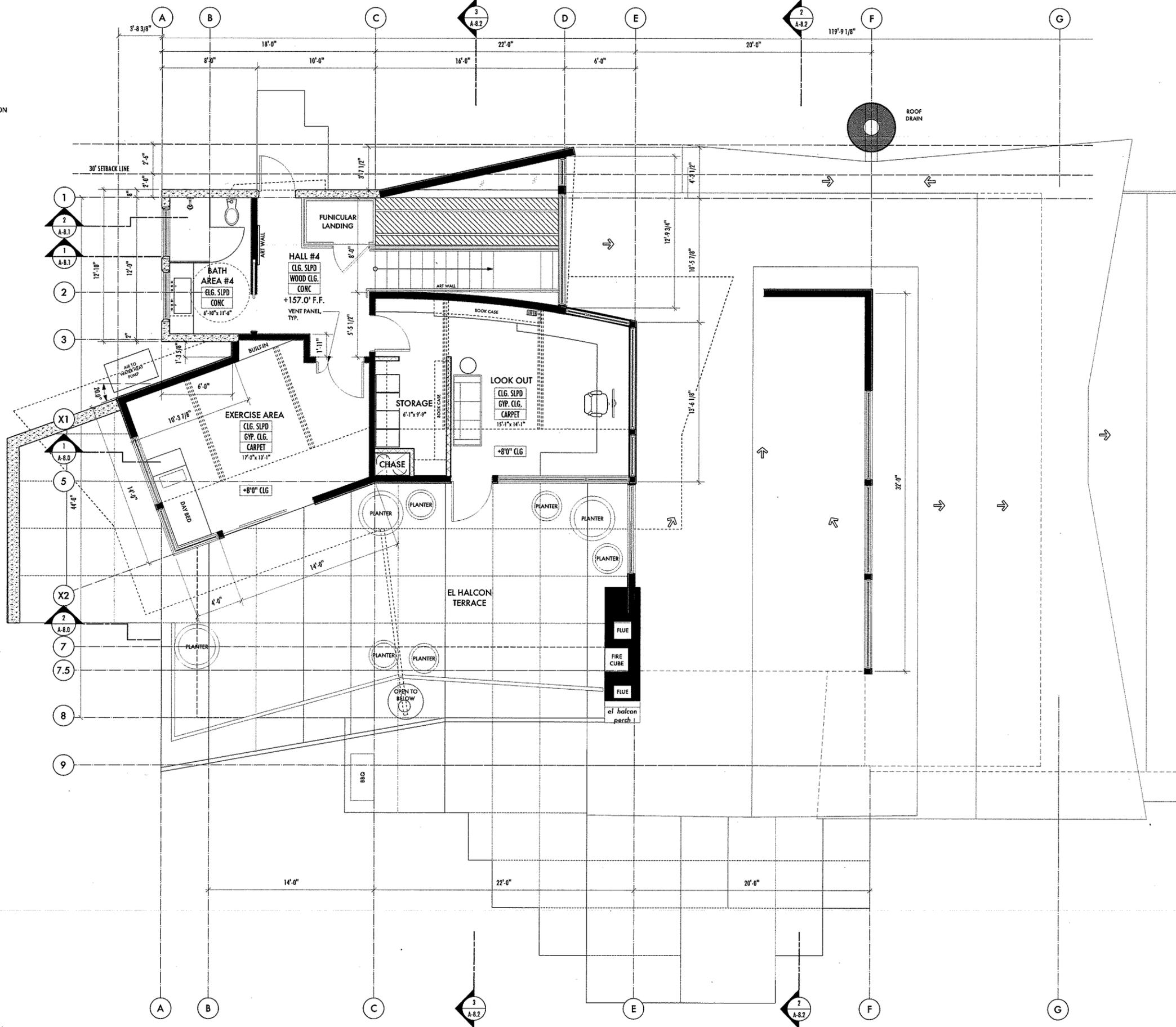
DATE	
15 JUN 15	PLANNING DEPT. SUBMITTAL
PROJECT NUMBER	1403
SHEET NAME	
DIMENSION PLAN - GUEST FLOOR	
SHEET NUMBER	

A-1.1

WALL LEGEND

- (N) 2 X 6 EXTERIOR FRAMING @ 24" O.C.
- (N) 2 X 6 INTERIOR FRAMING @ 24" O.C.
- (N) 2 X 4 STAGGERED FRAMING @ 24" O.C.
- (N) 2 X 4 INTERIOR FRAMING @ 24" O.C.
- (N) CONCRETE RETAINING WALL

- 33 - DETAIL NUMBER
- A-10.8 - SHEET NUMBER
- A - WINDOW SYMBOL LETTER, REFER TO WINDOW SCHEDULE, SHEET A-3.0
- 4 - DOOR NUMBER, REFER TO DOOR SCHEDULE, SHEET A-3.0
- DESIGNATES THE ELEVATION (INTERIOR OR EXTERIOR) OR SECTION
- SHEET NUMBER
- DESIGNATES THE INTERIOR ELEVATION



DIMENSIONAL PLAN - OFFICE LEVEL
SCALE: 1/4" = 1'-0"

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SALMON RESIDENCE
1666 PASEO DE CABALLO
SAN LUIS OBISPO, CA 93405
APN: 073-333-003

DATE	
15 JUN 15	PLANNING DEPT. SUBMITTAL
PROJECT NUMBER	1403
SHEET NAME	
DIMENSION PLAN - OFFICE LEVEL	
SHEET NUMBER	

A-1.3

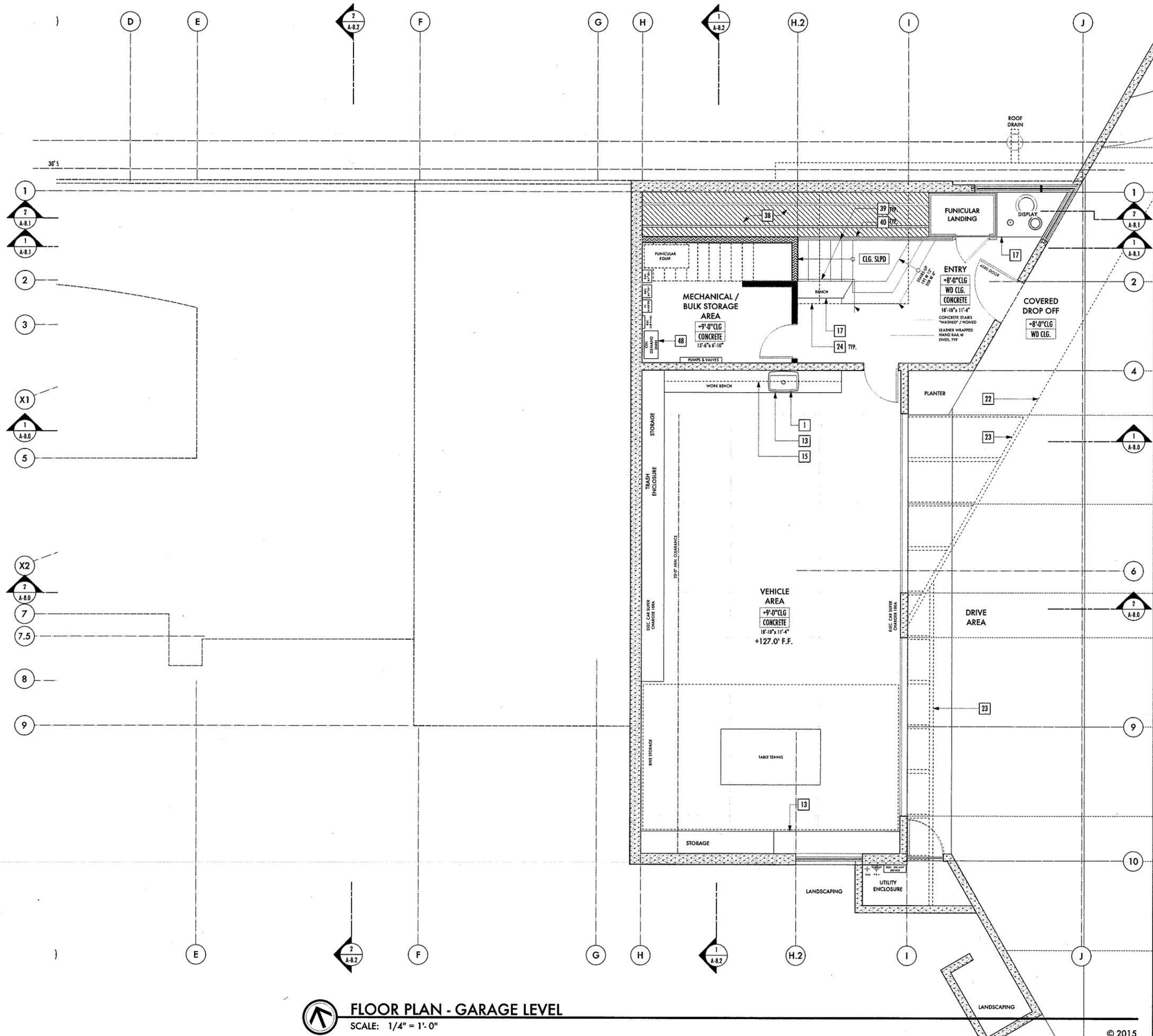
WALL LEGEND

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- (N) 2 X 6 INTERIOR FRAMING @ 24" O.C.
- (N) 2 X 4 STAGGERED FRAMING @ 24" O.C.
- (N) 2 X 4 INTERIOR FRAMING @ 24" O.C.
- (N) CONCRETE RETAINING WALL

- 33 - DETAIL NUMBER
- 4-10.8 - SHEET NUMBER
- DESIGNATES THE ELEVATION (INTERIOR OR EXTERIOR) OR SECTION
- DESIGNATES THE INTERIOR ELEVATION
- WINDOW SYMBOL LETTER, REFER TO WINDOW SCHEDULE, SHEET A-3.0
- DOOR NUMBER, REFER TO DOOR SCHEDULE, SHEET A-3.0

FLOOR PLAN REFERENCE NOTES:

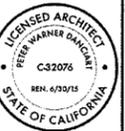
- 1 UTILITY SINK
- 2 PREPARATORY SINK
- 3 DOUBLE KITCHEN SINK W/ GARBAGE DISPOSAL
- 4 DISHWASHER, ENERGY STAR COMPLIANT
- 5 36" REFRIGERATOR, ENERGY STAR COMPLIANT PROVIDE ROUGH PLUMB FOR ICE MAKER IN RECESSED WALL BOX
- 6 REFRIGERATOR - F.B.O., ENERGY STAR COMPLIANT PROVIDE ROUGH PLUMB FOR ICE MAKER IN RECESSED WALL BOX
- 7 WINE REFRIGERATOR, ENERGY STAR COMPLIANT
- 8 CONVECTION OVEN, ENERGY STAR COMPLIANT
- 9 MICROWAVE, ENERGY STAR COMPLIANT
- 10 48" INDUCTION RANGE, ENERGY STAR COMPLIANT
- 11 PANTRY W/ ADJUSTABLE SHELVING
- 12 EXHAUST HOOD - VENT TO ROOF, ENERGY STAR COMPLIANT
- 13 COUNTERTOP & CABINETS +36" A.F.F., REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
- 14 CANTILEVERED COUNTERTOP +36" A.F.F., REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
- 15 DASHED LINE INDICATES UPPER CABINETS
- 16 +30" DESK TOP
- 17 BUILT-IN CABINETRY - REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
- 18 BUILT-IN SHELVING, ABOVE- REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
- 19 CLOTHING RACKS - REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
- 20 DISPLAY NICHE - PER OWNER DIRECTION
- 21 CANTILEVERED CAST CONCRETE HEARTH +18" A.F.F., TYP.
- 22 DASHED LINE INDICATES ROOF ABOVE, PER PLAN
- 23 DASHED LINE INDICATES BEAM ABOVE, PER PLAN
- 24 DASHED LINE INDICATES SOFFIT ABOVE, PER PLAN
- 25 DASHED LINE INDICATES SKYLIGHT ABOVE, PER PLAN
- 26 DASHED LINE INDICATES DAYLIGHT TUBE ABOVE, PER PLAN
- 27 EXTERIOR GAS FIREPLACE, PER SPECIFICATION SHEET
- 28 PRE-MAUNFACTURED FIREPLACE, PER SPECIFICATION SHEET
- 29 PRE-MAUNFACTURED BBQ, BUILT-IN, PER SPECIFICATION SHEET
- 30 MIRROR
- 31 PULL-OUT MIRROR W/ ACCORDIAN ARM,
- 32 LAVATORY SINK, PER PLAN
- 33 DUAL FLUSH TOILET, 1.6/0.9 GAL PER FLUSH MAX. PER 2013 CRC
- 34 TUB / SHOWER WITH WELDED TRAP. WITH MIN.+72" A.F.F. NON-ABSORBANT SURROUND & TEMPERED GLAZING, PER 2013 CRC
- 35 TILED SHOWER WITH SHOWER PAN WITH MIN. +72" A.F.F. NON-ABSORBANT SURROUND & TEMPERED GLAZING, PER 2013 CRC
- 36 CERAMIC SHAMPOO SHELF
- 37 PROVIDE FOR GRAB BAR BLOCKING PER 2013 CRC
- 38 FUNICULAR TRAM WAY - 4' X 6' CARRIAGE, PER PLAN
- 39 1-1/2" Ø H.RAIL, TOP @ +34"-36"-REFER TO HANDRAIL NOTES
- 40 42" A.F.F. GUARD RAIL WITH 3/16" Ø S.S. CABLE RAIL @ 3.5" O.C. W/ 48" O.C. VERT. SUPPORT, PER PLAN, SHALL COMPLY WITH 2013 CRC REQ.S
- 41 SOUNDWALL - STAGGERED 2X4 STUD: PROVIDE INSULATION FOR SOUNDPROOF PERFORMANCE
- 42 SMART HOUSE SERVICE CENTER (PANELS AND COMPUTER STATION)
- 43 WASHER - PROVIDE HOT & COLD WATER AND WASTE
- 44 DRYER - PROVIDE 4" Ø VENT W/ LINT TRAP TO EXTERIOR W/ BOOSTER PUMP. (VENT RUN SHALL COMPLY W/ MFR. AND 2013 CRC)
- 45 50 GAL. HOT WATER STORAGE W/ PAN AND OVERFLOW. INSTALL PRESSURE RELIEF VALVE W/ DRAIN TO EXTERIOR. (INSTALLATION OF WATER HEATER SHALL COMPLY WITH 2013 CRC.)
- 46 ELECTRIC "HOT BOX" HEAT PUMP EQUIP. (INSTALLATION OF EQUIP. SHALL COMPLY W/ 2013 CRC & MANUFACTURER'S SPECIFICATIONS.)
- 47 ELECTRIC AIR TO WATER HEAT PUMP CONDENSOR (INSTALLATION OF EQUIP. SHALL COMPLY W/ 2013 CRC & MANUFACTURER'S SPECIFICATIONS.)
- 48 INSTANTANEOUS HOT WATER HEATER, VENT TO OUTSIDE. (INSTALLATION OF EQUIP. SHALL COMPLY W/ 2013 CRC & MANUFACTURER'S SPECIFICATIONS.)
- 49 CONCRETE PATIO, CONTROL JOINTS PER PLAN- FINISH W/ A SMOOTH BROOM FINISH. SLOPE TO DRAIN
- 50 POLYMER-CEMENTIOUS THREE-COAT WATERPROOF MEMBRANE OVER METAL LATH OVER MIL WP MEMBRANE, TYP. SLOPE 1/4" / FT. & INSTALL PER MFR. SPECIFICATIONS



FLOOR PLAN - GARAGE LEVEL
SCALE: 1/4" = 1'-0"

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SAN LUIS OBISPO, CA 95405
APN: 073-333-003

DATE	DESCRIPTION
15 JUN 15	PLANNING DEPT. SUBMITTAL
1403	PROJECT NUMBER
	SHEET NAME
	FLOOR PLAN - GARAGE LEVEL
	SHEET NUMBER
	A-2.0

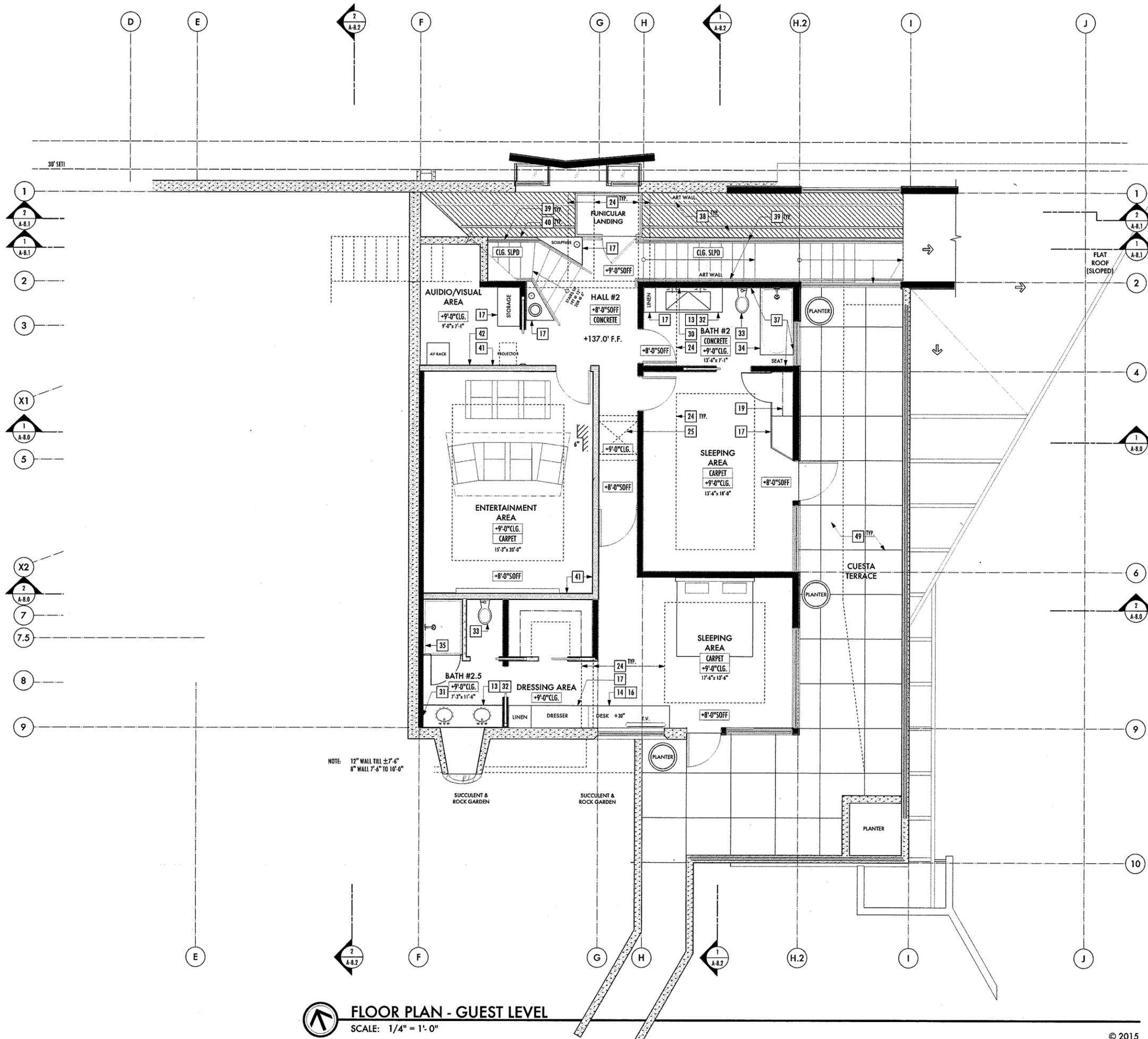
WALL LEGEND

- (N) 2 X 6 EXTERIOR FRAMING @ 24" O.C.
- (N) 2 X 6 INTERIOR FRAMING @ 24" O.C.
- (N) 2 X 4 STAGGERED FRAMING @ 24" O.C.
- (N) 2 X 4 INTERIOR FRAMING @ 24" O.C.
- (N) CONCRETE RETAINING WALL

- 33 DETAIL NUMBER
- 4-10.0 SHEET NUMBER
- A WINDOW SYMBOL LETTER, REFER TO WINDOW SCHEDULE, SHEET A-3.0
- 4 DOOR NUMBER, REFER TO DOOR SCHEDULE, SHEET A-3.0
- B DESIGNATES THE ELEVATION (INTERIOR OR EXTERIOR) OR SECTION
- A-4.4 SHEET NUMBER
- D 1 B DESIGNATES THE INTERIOR ELEVATION

FLOOR PLAN REFERENCE NOTES:

- 1 UTILITY SINK
- 2 PREPARATORY SINK
- 3 DOUBLE KITCHEN SINK W/ GARBAGE DISPOSAL
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- 45 50 GAL. HOT WATER STORAGE W/ PAN AND OVERFLOW. INSTALL PRESSURE RELIEF VALVE W/ DRAIN TO EXTERIOR. (INSTALLATION OF WATER HEATER SHALL COMPLY WITH 2013 CRC.)
- 46 ELECTRIC "HOT BOX" HEAT PUMP EQUIP. (INSTALLATION OF EQUIP. SHALL COMPLY W/ 2013 CRC & MANUFACTURER'S SPECIFICATIONS.)
- 47 ELECTRIC AIR TO WATER HEAT PUMP CONDENSOR (INSTALLATION OF EQUIP. SHALL COMPLY W/ 2013 CRC & MANUFACTURER'S SPECIFICATIONS.)
- 48 INSTANTANEOUS HOT WATER HEATER, VENT TO OUTSIDE. (INSTALLATION OF EQUIP. SHALL COMPLY W/ 2013 CRC & MANUFACTURER'S SPECIFICATIONS.)
- 49 CONCRETE PATIO, CONTROL JOINTS PER PLAN- FINISH W/ A SMOOTH BROOM FINISH. SLOPE TO DRAIN
- 50 POLYMER-CEMENTIOUS THREE-COAT WATERPROOF MEMBRANE ON METAL LATH @ 40 MIL WP MEMBRANE, TYP. SLOPE 1/4" / FT. & INSTALL PER MFR. SPECIFICATIONS



NOTE: 12" WALL TILL ±7'-6"
8" WALL 7'-6" TO 10'-0"

FLOOR PLAN - GUEST LEVEL
SCALE: 1/4" = 1'-0"

DANCIART
ARCHITECTURE

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CALIFORNIA 91605
865.704.5142
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SALMON RESIDENCE
1666 PASEO DE CABALLO
SAN LUIS OBISPO, CA 93405
APN: 073-333-003

DATE	
15 JUN 15	PLANNING DEPT. SUBMITTAL
1403	PROJECT NUMBER
	SHEET NAME
	FLOOR PLAN - GUEST LEVEL
	SHEET NUMBER
	A-2.1

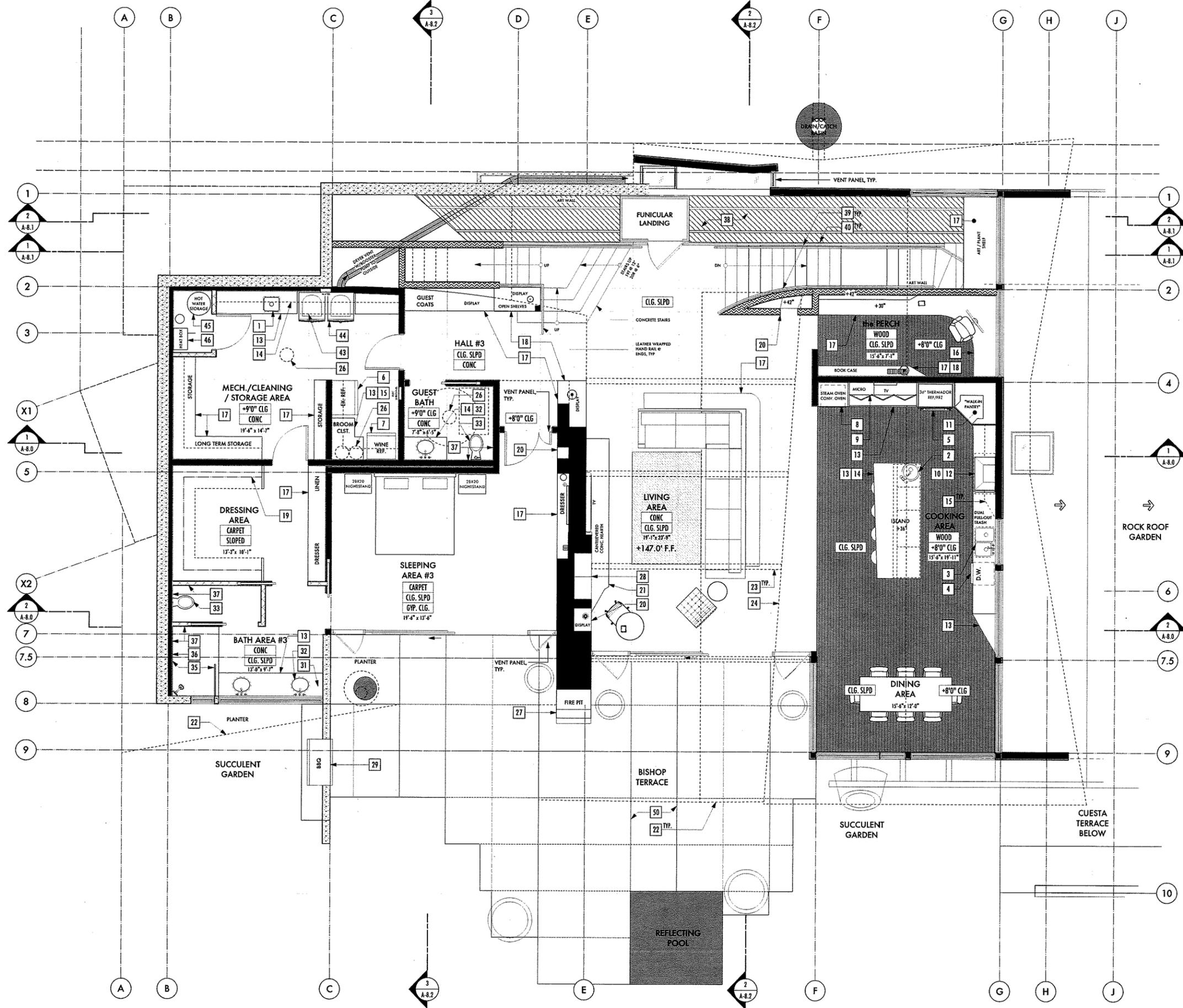
WALL LEGEND

- (N) 2 X 6 EXTERIOR FRAMING @ 24" O.C.
- (N) 2 X 6 INTERIOR FRAMING @ 24" O.C.
- (N) 2 X 4 STAGGERED FRAMING @ 24" O.C.
- (N) 2 X 4 INTERIOR FRAMING @ 24" O.C.
- (N) CONCRETE RETAINING WALL

- 33 - DETAIL NUMBER
- A-10.0 - SHEET NUMBER
- A - WINDOW SYMBOL LETTER, REFER TO WINDOW SCHEDULE, SHEET A-3.0
- 4 - DOOR NUMBER, REFER TO DOOR SCHEDULE, SHEET A-3.0
- B - DESIGNATES THE ELEVATION (INTERIOR OR EXTERIOR) OR SECTION
- 1 - SHEET NUMBER
- A - DESIGNATES THE INTERIOR ELEVATION

FLOOR PLAN REFERENCE NOTES:

- 1 UTILITY SINK
- 2 PREPARATORY SINK
- 3 DOUBLE KITCHEN SINK W/ GARBAGE DISPOSAL
- 4 DISHWASHER, ENERGY STAR COMPLIANT
- 5 36" REFRIGERATOR, ENERGY STAR COMPLIANT PROVIDE ROUGH PLUMBS FOR ICE MAKER IN RECESSED WALL BOX
- 6 REFRIGERATOR - F.B.O., ENERGY STAR COMPLIANT PROVIDE ROUGH PLUMBS FOR ICE MAKER IN RECESSED WALL BOX
- 7 WINE REFRIGERATOR, ENERGY STAR COMPLIANT
- 8 CONVECTION OVEN, ENERGY STAR COMPLIANT
- 9 MICROWAVE, ENERGY STAR COMPLIANT
- 10 48" INDUCTION RANGE, ENERGY STAR COMPLIANT
- 11 PANTRY W/ ADJUSTABLE SHELVING
- 12 EXHAUST HOOD - VENT TO ROOF, ENERGY STAR COMPLIANT
- 13 COUNTERTOP & CABINETS +36" A.F.F., REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
- 14 CANTILEVERED COUNTERTOP +36" A.F.F., REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
- 15 DASHED LINE INDICATES UPPER CABINETS
- 16 +30" DESK TOP
- 17 BUILT-IN CABINETS - REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
- 18 BUILT-IN SHELVING, ABOVE - REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
- 19 CLOTHING RACKS - REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
- 20 DISPLAY NICHE - PER OWNER DIRECTION
- 21 CANTILEVERED CAST CONCRETE HEARTH +18" A.F.F., TYP.
- 22 DASHED LINE INDICATES ROOF ABOVE, PER PLAN
- 23 DASHED LINE INDICATES BEAM ABOVE, PER PLAN
- 24 DASHED LINE INDICATES SOFFIT ABOVE, PER PLAN
- 25 DASHED LINE INDICATES SKYLIGHT ABOVE, PER PLAN
- 26 DASHED LINE INDICATES DAYLIGHT TUBE ABOVE, PER PLAN
- 27 EXTERIOR GAS FIREPLACE, PER SPECIFICATION SHEET
- 28 PRE-MAUNFACTURED FIREPLACE, PER SPECIFICATION SHEET
- 29 PRE-MAUNFACTURED BBQ, BUILT-IN, PER SPECIFICATION SHEET
- 30 MIRROR
- 31 PULL-OUT MIRROR W/ ACCORDIAN ARM,
- 32 LAVATORY SINK, PER PLAN
- 33 DUAL FLUSH TOILET, 1.6/0.9 GAL PER FLUSH MAX. PER 2013 CRC
- 34 TUB / SHOWER WITH WELDED TRAP, WITH MIN. +72" A.F.F. NON-ABSORBANT SURROUND & TEMPERED GLAZING, PER 2013 CRC
- 35 TILED SHOWER WITH SHOWER PAN WITH MIN. +72" A.F.F. NON-ABSORBANT SURROUND & TEMPERED GLAZING, PER 2013 CRC
- 36 CERAMIC SHAMPOO SHELF
- 37 PROVIDE FOR GRAB BAR BLOCKING PER 2013 CRC
- 38 FUNICULAR TRAM WAY - 4' X 6' CARRIAGE, PER PLAN
- 39 1-1/2" Ø H.RAIL, TOP @ +34"-36"-REFER TO HANDRAIL NOTES
- 40 42" A.F.F. GUARD RAIL WITH 3/16" Ø S.S. CABLE RAIL @ 3.5" O.C. W/ 48" O.C. VERT. SUPPORT, PER PLAN, SHALL COMPLY WITH 2013 CRC REQ.S
- 41 SOUNDWALL - STAGGERED 2X4 STUD: PROVIDE INSULATION FOR SOUNDPROOF PERFORMANCE
- 42 SMART HOUSE SERVICE CENTER (PANELS AND COMPUTER STATION)
- 43 WASHER - PROVIDE HOT & COLD WATER AND WASTE
- 44 DRYER - PROVIDE 4" Ø VENT W/ LINT TRAP TO EXTERIOR W/ BOOSTER PUMP. (VENT RUN SHALL COMPLY W/ MFR. AND 2013 CRC)
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- 50 POLYMER-CEMENTIOUS THREE-COAT WATERPROOF MEMBRANE OVER METAL LATH OVER MIL WP MEMBRANE, TYP. SLOPE 1/4" / FT. & INSTALL PER MFR. SPECIFICATIONS



FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

DANCIART
ARCHITECTURE

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SALMON RESIDENCE
1666 PASEO DE CABALLO
SAN LUIS OBISPO, CA 93405
APN: 073-333-003

DATES	
15 JUN 15	PLANNING DEPT. SUBMITTAL
1403	PROJECT NUMBER
	SHEET NAME
	FLOOR PLAN - MAIN LEVEL
	SHEET NUMBER

A-2.2

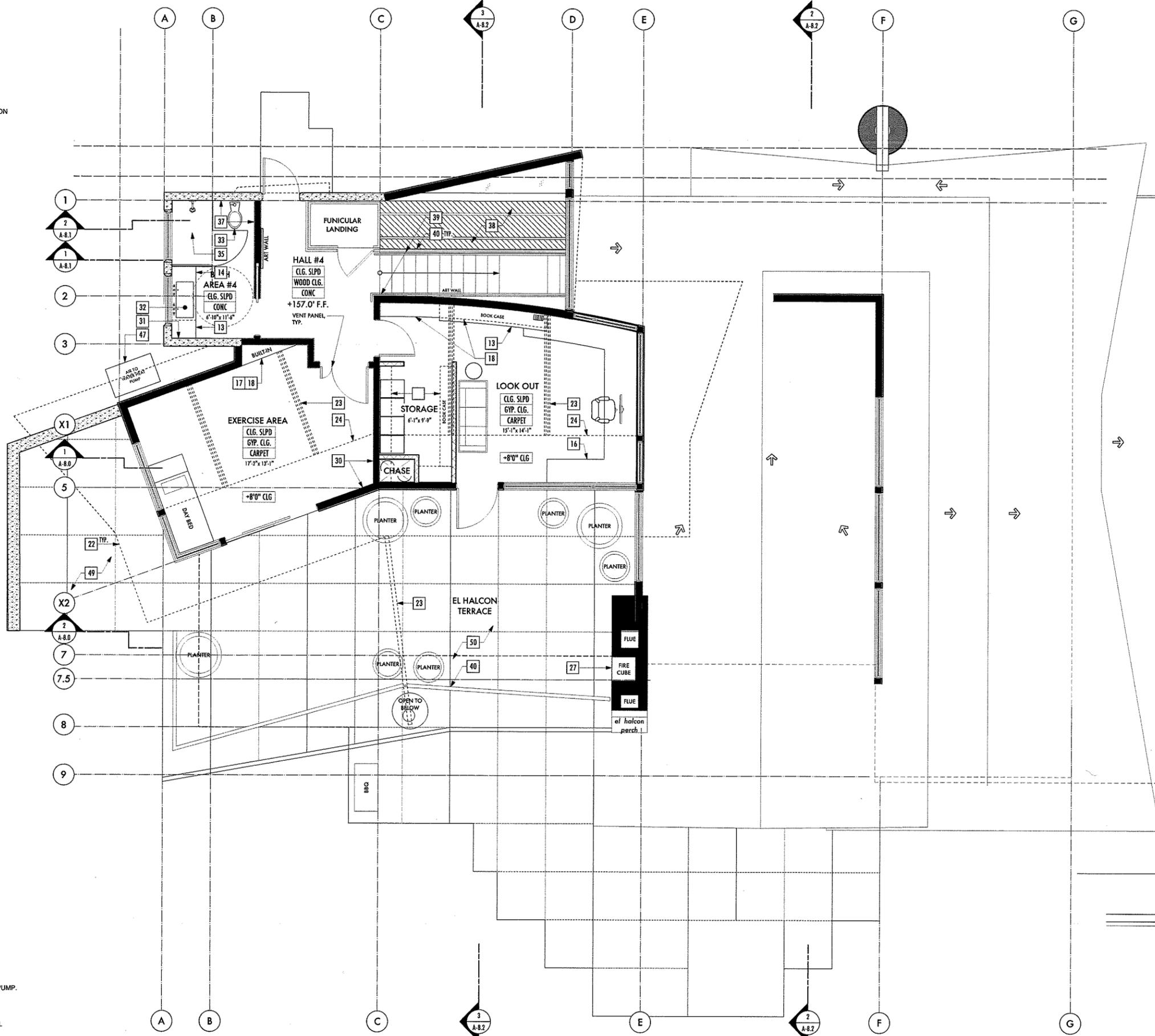
WALL LEGEND

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- 37 DETAIL NUMBER
- A-10.0 SHEET NUMBER
- DESIGNATES THE ELEVATION (INTERIOR OR EXTERIOR) OR SECTION
- DESIGNATES THE INTERIOR ELEVATION
- WINDOW SYMBOL LETTER, REFER TO WINDOW SCHEDULE, SHEET A-3.0
- DOOR NUMBER, REFER TO DOOR SCHEDULE, SHEET A-3.0

FLOOR PLAN REFERENCE NOTES:

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- 15 DASHED LINE INDICATES UPPER CABINETS
- 16 +30" DESK TOP
- 17 BUILT-IN CABINETRY - REFER TO CABINETRY SHOP DRAWINGS FOR INFO.
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- 50 POLYMER-CEMENTIOUS THREE-COAT WATERPROOF MEMBRANE O/METAL LATH O/40 MIL WP MEMBRANE, TYP. SLOPE 1/4" / FT. & INSTALL PER MFR. SPECIFICATIONS



FLOOR PLAN - OFFICE LEVEL
SCALE: 1/4" = 1'-0"

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LICENSED ARCHITECT
PETER WARNER DANCIART
C-32076
EXPIRES 6/30/15
STATE OF CALIFORNIA

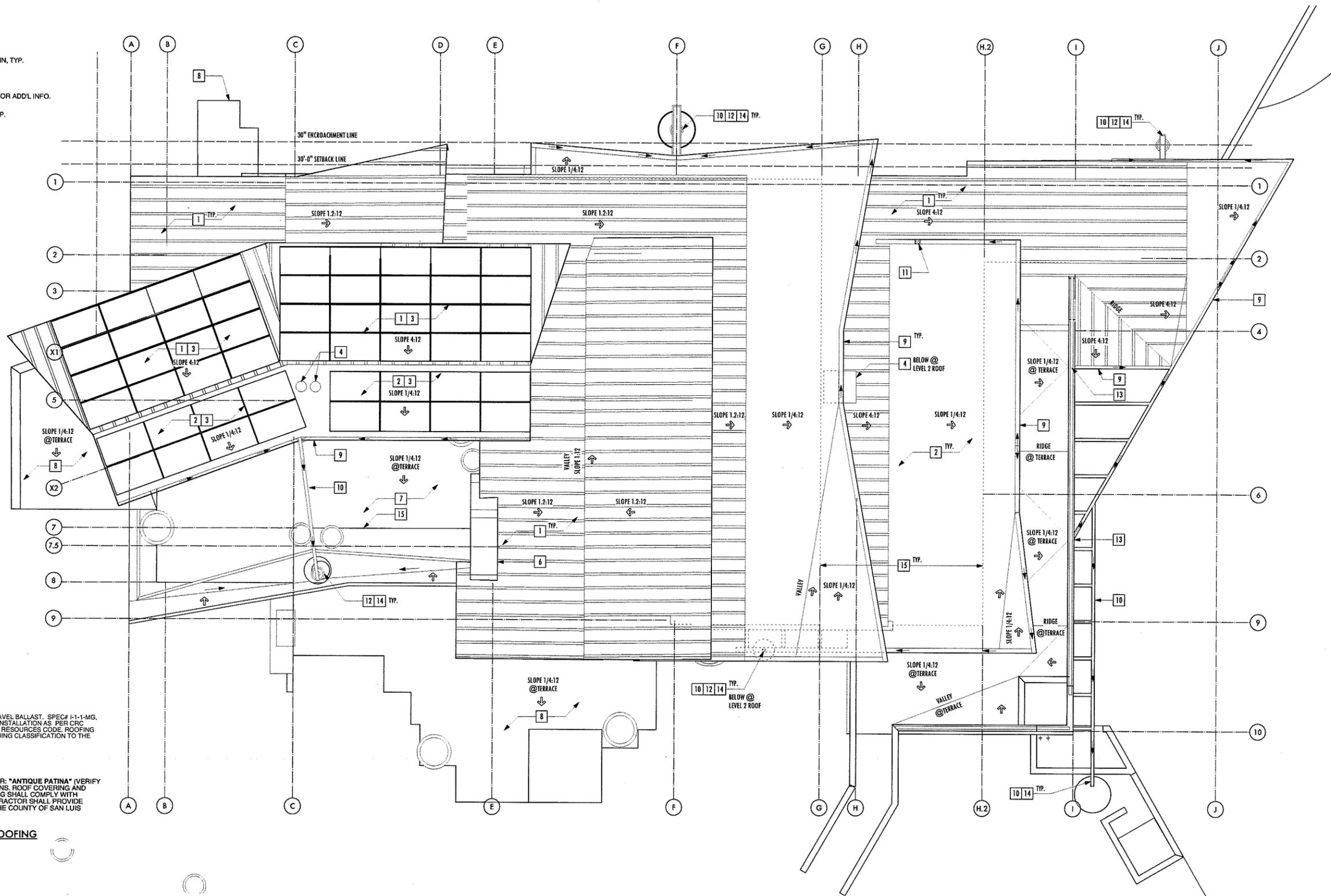
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SALMON RESIDENCE
1666 PASEO DE CABALLO
SAN LUIS OBISPO, CA 93405
APN: 073-333-003

DATE	
15 JUN 15	PLANNING DEPT. SUBMITTAL
1403	PROJECT NUMBER
	SHEET NAME
FLOOR PLAN - OFFICE LEVEL	
	SHEET NUMBER
A-2.3	

ROOF PLAN REFERENCE NOTES

- 1 STANDING SEAM METAL ROOF, INSTALL PER STRICT MANUFACTURER SPECIFICATIONS
- 2 DECORATIVE ROCK BALLAST ROOF W/ 60 MIL PVC CAP SHEET MEMBRANE, INSTALL PER STRICT MANUFACTURER SPECIFICATIONS
- 3 FUTURE (N) PV ARRAY POSSIBLE LOCATION - NOT A PART OF THIS PERMIT - PROVIDE 1" CONDUIT TO PV LOCATIONS IN ATTIC PER 2013 CRC
- 4 SKYLIGHT PER PLAN
- 5 DAYLIGHT TUBE PER PLAN
- 6 CHIMNEY & SPARK ARRESTOR
- 7 ROOF TERRACE PER PLAN
- 8 CONCRETE PATIO PER PLAN
- 9 GSM GUTTER, TYP.
- 10 GSM SCUPPER, TYP.
- 11 GSM DOWNSPOUT, TYP.
- 12 18" Ø COPPER RAIN BOWLS, W/ HEAVY GAUGE CHAIN, TYP.
- 13 WALL SCUPPER, DRAIN INTO GSM SCUPPER, TYP.
- 14 CATCH BASIN, PER PLAN REFER TO CIVIL SHEETS FOR ADD'L INFO.
- 15 DASHED LINE INDICATES BUILDING LINE BELOW, TYP.



ROOFING:

FLAT ROOF MEMBRANE

CLASS "A" "GAF" TPO 60 MIL. MIN. SYSTEM W/ DECORATIVE GRAVEL BALLAST. SPEC 1-1-1-MG. INSTALL PER MANUFACTURERS SPECS. ROOF COVERING AND INSTALLATION AS PER CRC 2013. ALL ROOFING SHALL COMPLY WITH SECTION 4203, PUBLIC RESOURCES CODE. ROOFING CONTRACTOR SHALL PROVIDE CERTIFICATION OF ROOF COVERING CLASSIFICATION TO THE CITY OF SAN LUIS OBISPO PRIOR TO FINAL INSPECTION.

STANDING SEAM METAL ROOF

AEP SPAN STANDING SEAM SYSTEM - CLASS "B" MIN. - COLOR: "ANTIQUE PATINA" (VERIFY W/ OWNER). INSTALL PER MANUFACTURERS SPECIFICATIONS. ROOF COVERING AND INSTALLATION AS PER UBC 3203, TABLE 32-D-2. ALL ROOFING SHALL COMPLY WITH SECTION 4203, PUBLIC RESOURCES CODE. ROOFING CONTRACTOR SHALL PROVIDE CERTIFICATION OF ROOF COVERING CLASSIFICATION TO THE COUNTY OF SAN LUIS OBISPO PRIOR TO FINAL INSPECTION.

UNDERLAYMENT FOR LOW SLOPE METAL ROOFING

SBS PROOF MEMBRANE

SKYLIGHT MANUFACTURER

REFER TO A-3.0 FOR INFORMATION

ATTIC VENT CALCULATIONS

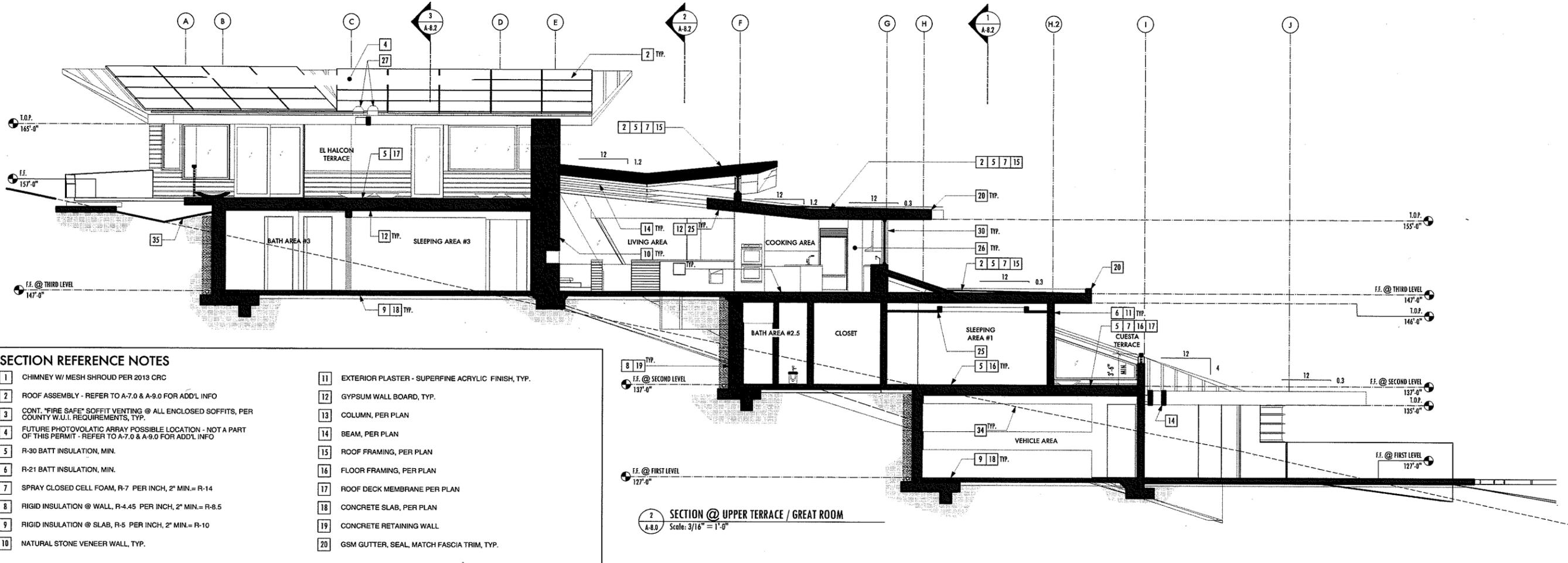
FILL RAFTER SPACES WITH 2" OF CLOSED CELL SPRAY FOAM INSULATION SEALING SPACED FROM AIR MOVEMENT, PER CRC 2013, WHERE OCCURS, TYPICAL.

ROOF PLAN
SCALE: 3/16" = 1'-0"



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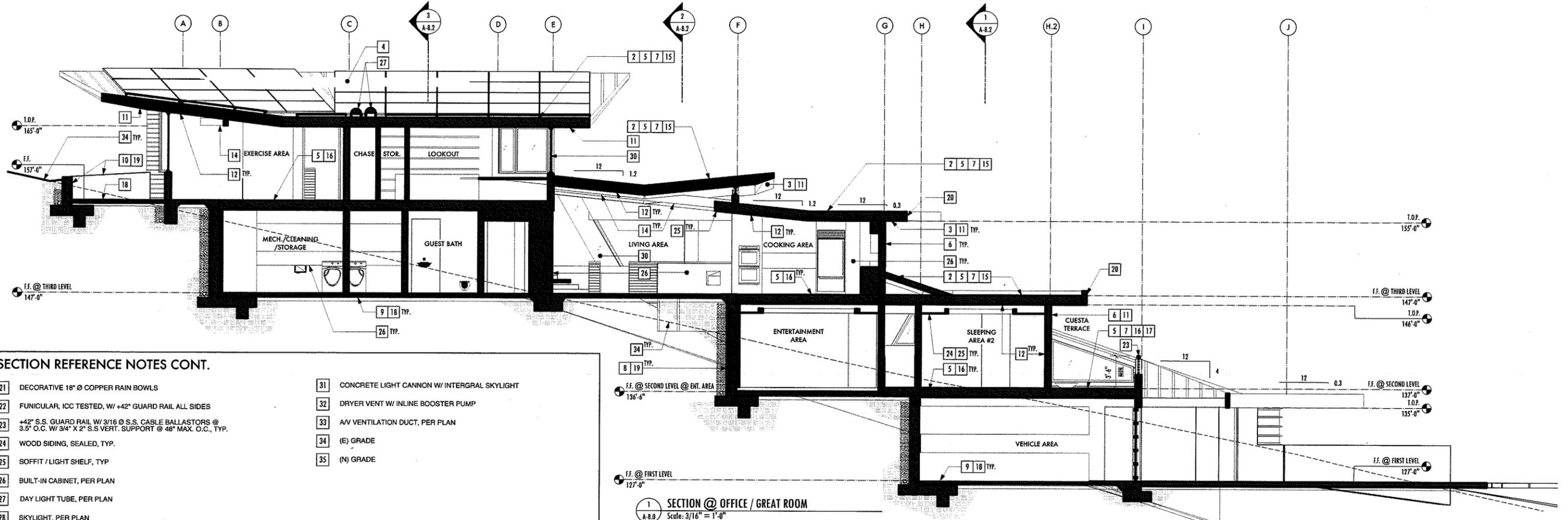
DATES	
15 JUN 15	PLANNING OFF. SUBMITTAL
1403	PROJECT NUMBER
	SHEET NAME
	ROOF PLAN
	SHEET NUMBER



SECTION REFERENCE NOTES

- | | |
|---|--|
| 1 CHIMNEY W/ MESH SHROUD PER 2013 CRC | 11 EXTERIOR PLASTER - SUPERFINE ACRYLIC FINISH, TYP. |
| 2 ROOF ASSEMBLY - REFER TO A-7.0 & A-9.0 FOR ADD'L INFO | 12 GYPSUM WALL BOARD, TYP. |
| 3 CONT. "FIRE SAFE" SOFFIT VENTING @ ALL ENCLOSED SOFFITS, PER COUNTY W.U.I. REQUIREMENTS, TYP. | 13 COLUMN, PER PLAN |
| 4 FUTURE PHOTOVOLTAIC ARRAY POSSIBLE LOCATION - NOT A PART OF THIS PERMIT - REFER TO A-7.0 & A-9.0 FOR ADD'L INFO | 14 BEAM, PER PLAN |
| 5 R-30 BATT INSULATION, MIN. | 15 ROOF FRAMING, PER PLAN |
| 6 R-21 BATT INSULATION, MIN. | 16 FLOOR FRAMING, PER PLAN |
| 7 SPRAY CLOSED CELL FOAM, R-7 PER INCH, 2" MIN.= R-14 | 17 ROOF DECK MEMBRANE PER PLAN |
| 8 RIGID INSULATION @ WALL, R-4.45 PER INCH, 2" MIN.= R-8.5 | 18 CONCRETE SLAB, PER PLAN |
| 9 RIGID INSULATION @ SLAB, R-5 PER INCH, 2" MIN.= R-10 | 19 CONCRETE RETAINING WALL |
| 10 NATURAL STONE VENEER WALL, TYP. | 20 GSM GUTTER, SEAL, MATCH FASCIA TRIM, TYP. |

2 SECTION @ UPPER TERRACE / GREAT ROOM
Scale: 3/16" = 1'-0"



SECTION REFERENCE NOTES CONT.

- | | |
|---|---|
| 21 DECORATIVE 18" Ø COPPER RAIN BOWLS | 31 CONCRETE LIGHT CANNON W/ INTEGRAL SKYLIGHT |
| 22 FUNICULAR, ICC TESTED, W/ +42" GUARD RAIL ALL SIDES | 32 DRYER VENT W/ INLINE BOOSTER PUMP |
| 23 +42" S.S. GUARD RAIL W/ 3/16 Ø S.S. CABLE BALLASTORS @ 3.5" O.C. W/ 3/4" X 2" S.S. VERT. SUPPORT @ 48" MAX. O.C., TYP. | 33 AV VENTILATION DUCT, PER PLAN |
| 24 WOOD SIDING, SEALED, TYP. | 34 (E) GRADE |
| 25 SOFFIT / LIGHT SHELF, TYP | 35 (N) GRADE |
| 26 BUILT-IN CABINET, PER PLAN | |
| 27 DAY LIGHT TUBE, PER PLAN | |
| 28 SKYLIGHT, PER PLAN | |
| 29 DOOR, PER PLAN, TYP. | |
| 30 WINDOW, PER PLAN, TYP. | |

1 SECTION @ OFFICE / GREAT ROOM
Scale: 3/16" = 1'-0"

SECTIONS
SCALE: 3/16" = 1'-0"

DATES

15 JUN 15

PLANNING DEPT. SUBMITTAL

PROJECT NUMBER

1403

SHEET NAME

SECTIONS

SHEET NUMBER

A-8.0



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DATES

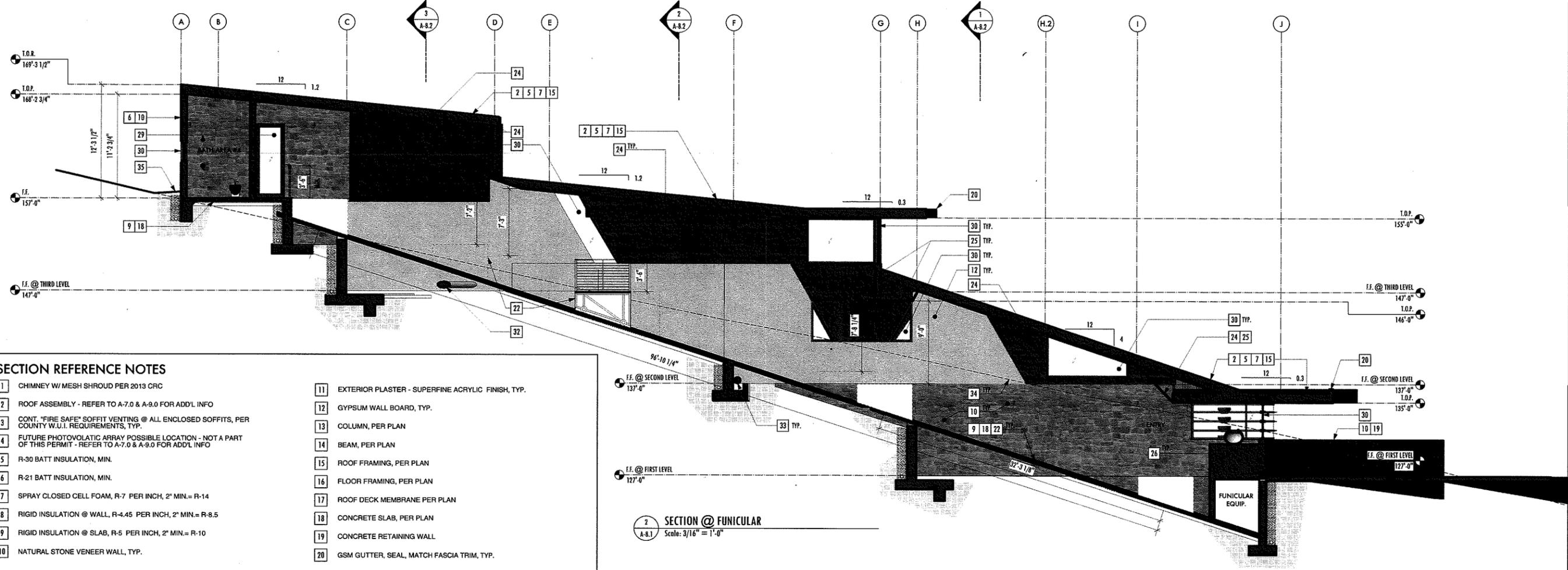
15 JUN 15
PLANNING DEPT. SUBMITTAL
PROJECT NUMBER

1403
SHEET NAME

SECTIONS

SHEET NUMBER

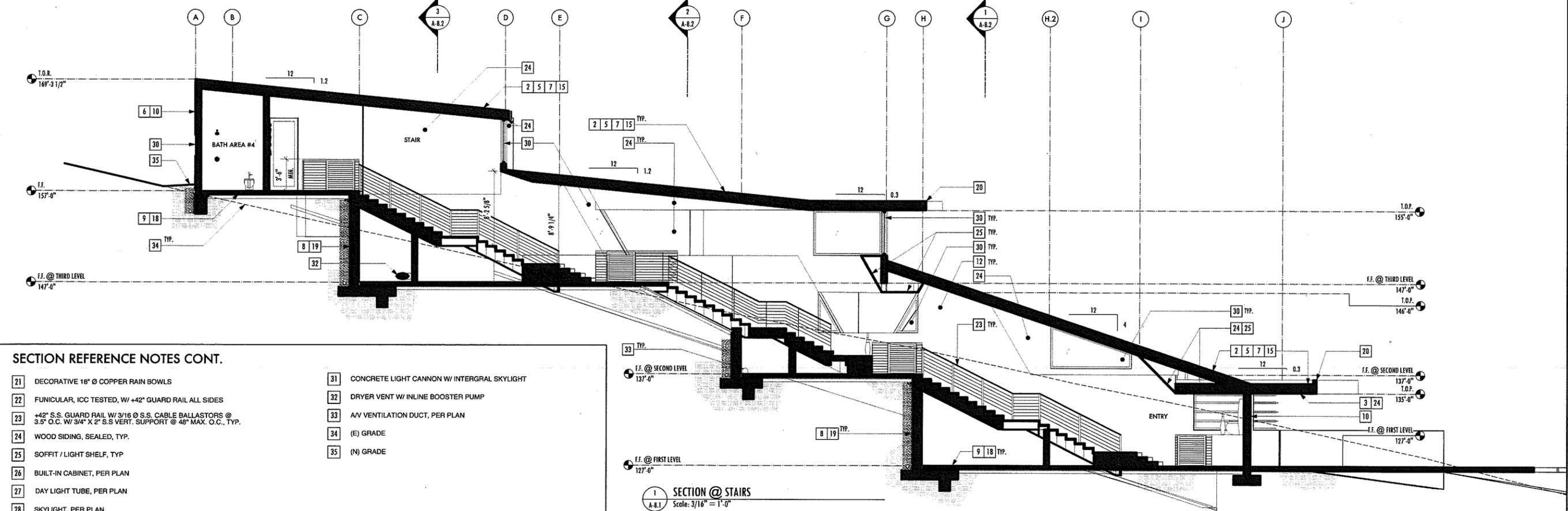
A-8.1



2 SECTION @ FUNICULAR
Scale: 3/16" = 1'-0"

SECTION REFERENCE NOTES

- | | |
|---|--|
| 1 CHIMNEY W/ MESH SHROUD PER 2013 CRC | 11 EXTERIOR PLASTER - SUPERFINE ACRYLIC FINISH, TYP. |
| 2 ROOF ASSEMBLY - REFER TO A-7.0 & A-9.0 FOR ADD'L INFO | 12 GYPSUM WALL BOARD, TYP. |
| 3 CONT. "FIRE SAFE" SOFFIT VENTING @ ALL ENCLOSED SOFFITS, PER COUNTY W.U.I. REQUIREMENTS, TYP. | 13 COLUMN, PER PLAN |
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| 7 SPRAY CLOSED CELL FOAM, R-7 PER INCH, 2" MIN. = R-14 | 17 ROOF DECK MEMBRANE PER PLAN |
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| 9 RIGID INSULATION @ SLAB, R-5 PER INCH, 2" MIN. = R-10 | 19 CONCRETE RETAINING WALL |
| 10 NATURAL STONE VENEER WALL, TYP. | 20 GSM GUTTER, SEAL, MATCH FASCIA TRIM, TYP. |



1 SECTION @ STAIRS
Scale: 3/16" = 1'-0"

SECTIONS
SCALE: 3/16" = 1'-0"

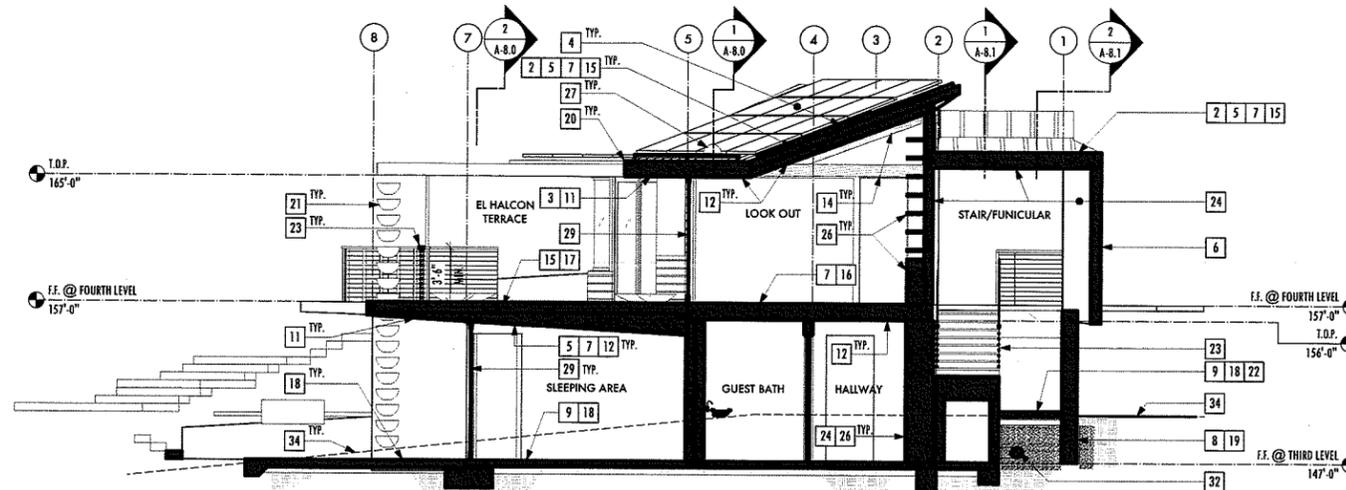
SECTION REFERENCE NOTES CONT.

- | | |
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| 27 DAY LIGHT TUBE, PER PLAN | |
| 28 SKYLIGHT, PER PLAN | |
| 29 DOOR, PER PLAN, TYP. | |
| 30 WINDOW, PER PLAN, TYP. | |

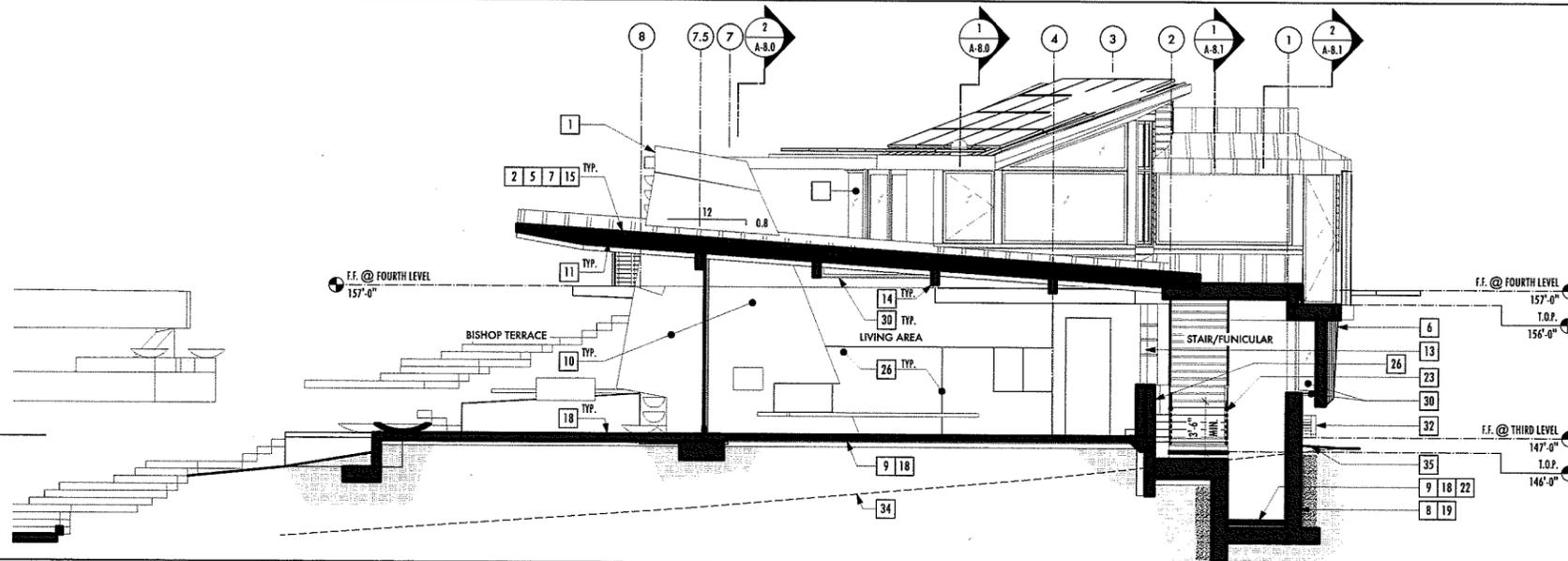
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- 8 RIGID INSULATION @ WALL, R-4.45 PER INCH, 2" MIN.= R-8.5
- 9 RIGID INSULATION @ SLAB, R-5 PER INCH, 2" MIN.= R-10
- 10 NATURAL STONE VENEER WALL, TYP.
- 11 EXTERIOR PLASTER - SUPERFINE ACRYLIC FINISH, TYP.
- 12 GYPSUM WALL BOARD, TYP.
- 13 COLUMN, PER PLAN
- 14 BEAM, PER PLAN
- 15 ROOF FRAMING, PER PLAN
- 16 FLOOR FRAMING, PER PLAN
- 17 ROOF DECK MEMBRANE PER PLAN
- 18 CONCRETE SLAB, PER PLAN
- 19 CONCRETE RETAINING WALL
- 20 GSM GUTTER, SEAL, MATCH FASCIA TRIM, TYP.
- 21 DECORATIVE 18" Ø COPPER RAIN BOWLS
- 22 FUNICULAR, ICC TESTED, W/ +42" GUARD RAIL ALL SIDES
- 23 +42" S.S. GUARD RAIL W/ 3/16" Ø S.S. CABLE BALLASTORS @ 3.5" O.C. W/ 3/4" X 2" S.S. VERT. SUPPORT @ 48" MAX. O.C., TYP.
- 24 WOOD SIDING, SEALED, TYP.
- 25 SOFFIT / LIGHT SHELF, TYP.
- 26 BUILT-IN CABINET, PER PLAN
- 27 DAY LIGHT TUBE, PER PLAN
- 28 SKYLIGHT, PER PLAN
- 29 DOOR, PER PLAN, TYP.
- 30 WINDOW, PER PLAN, TYP.
- 31 CONCRETE LIGHT CANNON W/ INTERGRAL SKYLIGHT
- 32 DRYER VENT W/ INLINE BOOSTER PUMP
- 33 AV VENTILATION DUCT, PER PLAN
- 34 (E) GRADE
- 35 (N) GRADE

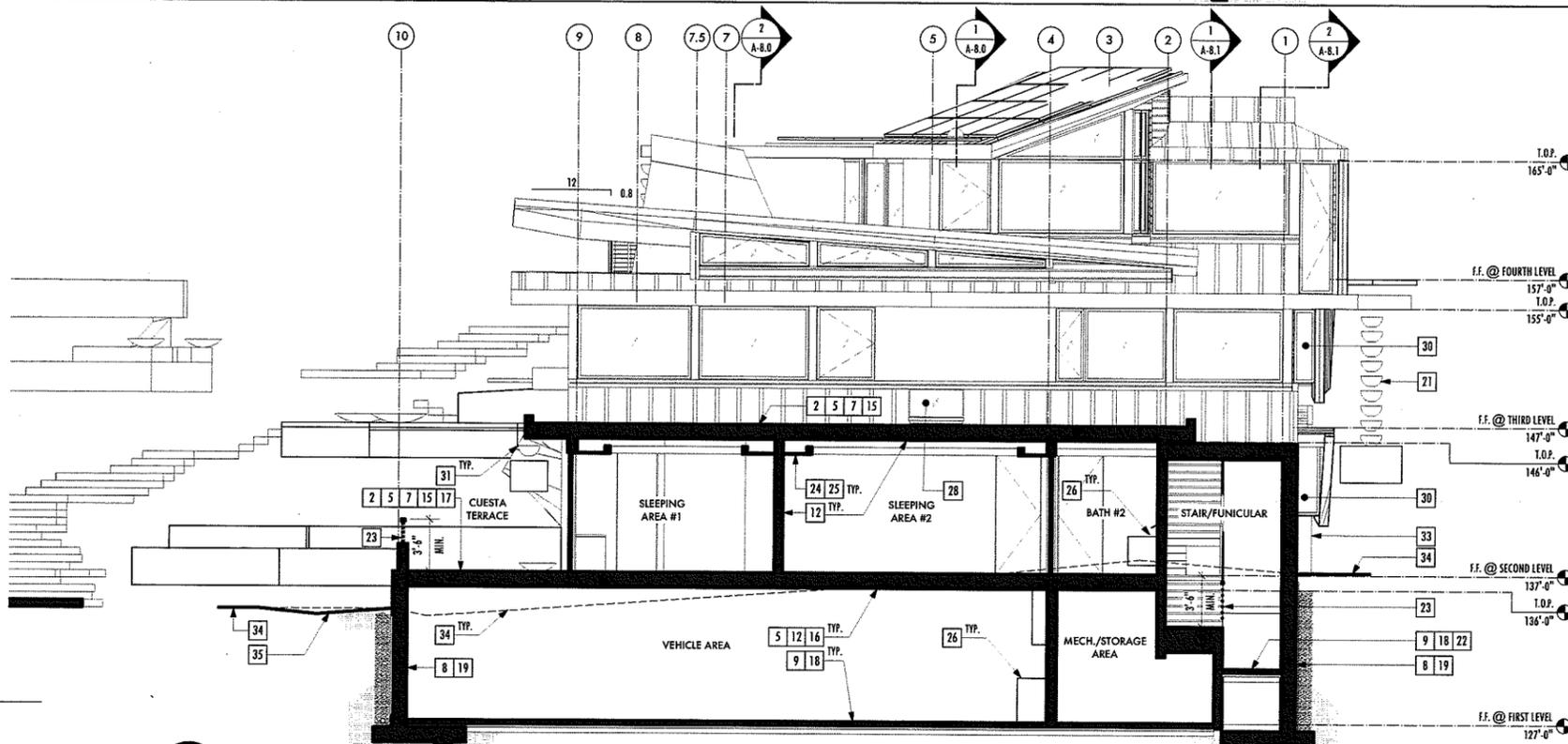
3 SECTION @ SLEEPING AREA / LOOK OUT
Scale: 3/16" = 1'-0"



2 SECTION @ GREAT ROOM
Scale: 3/16" = 1'-0"



1 SECTION @ GUEST ROOMS
Scale: 3/16" = 1'-0"



SECTIONS
SCALE: 3/16" = 1'-0"



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DATE	DESCRIPTION
15 JUN 15	MANAGING ENGINEER SUBMITTAL
1403	PROJECT NUMBER
	SHEET NAME
SECTIONS	
	SHEET NUMBER



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SALMON RESIDENCE
1666 PASEO DE CABALLO
SAN LUIS OBISPO, CA 95405
APN: 073-333-003

DATES

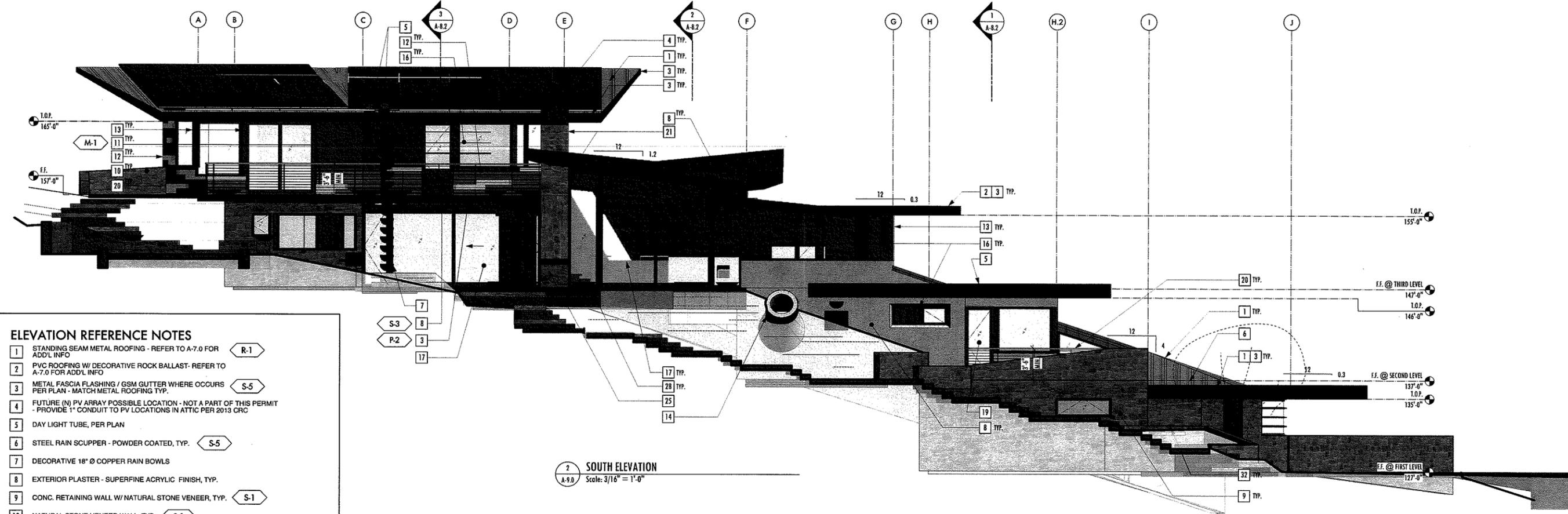
15 JUN 15
PLANNING DEPT. SUBMITTAL
PROJECT NUMBER

1403

EXTERIOR ELEVATIONS

SHEET NUMBER

A-9.0



2 SOUTH ELEVATION
A-9.0 Scale: 3/16" = 1'-0"

ELEVATION REFERENCE NOTES

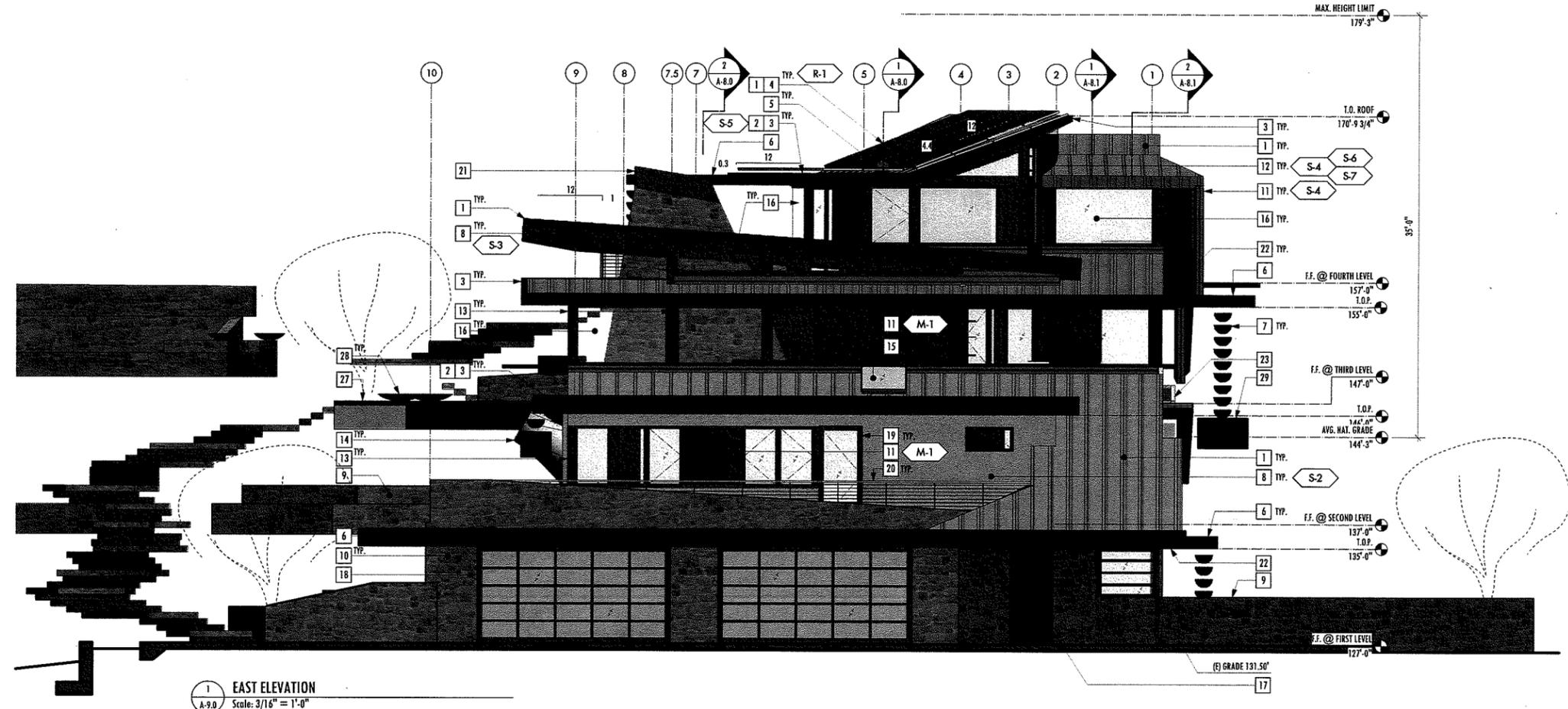
- 1 STANDING SEAM METAL ROOFING - REFER TO A-7.0 FOR ADD'L INFO R-1
- 2 PVC ROOFING W/ DECORATIVE ROCK BALLAST- REFER TO A-7.0 FOR ADD'L INFO
- 3 METAL FASCIA FLASHING / GSM GUTTER WHERE OCCURS PER PLAN - MATCH METAL ROOFING TYP. S-5
- 4 FUTURE (N) PV ARRAY POSSIBLE LOCATION - NOT A PART OF THIS PERMIT - PROVIDE 1" CONDUIT TO PV LOCATIONS IN ATTIC PER 2013 CRC
- 5 DAY LIGHT TUBE, PER PLAN
- 6 STEEL RAIN SCUPPER - POWDER COATED, TYP. S-5
- 7 DECORATIVE 18" Ø COPPER RAIN BOWLS
- 8 EXTERIOR PLASTER - SUPERFINE ACRYLIC FINISH, TYP.
- 9 CONC. RETAINING WALL W/ NATURAL STONE VENEER, TYP. S-1
- 10 NATURAL STONE VENEER WALL, TYP. S-1
- 11 METAL SIDING - FLUSH PANELS W/ 12" EXPOSURE, TYP. S-4
- 12 METAL SIDING - FLUSH PANELS W/ 6" EXPOSURE, TYP. S-4 S-6 S-7
- 13 METAL TRIM @ WINDOW, MATCH WINDOW COLOR, TYP.
- 14 CONCRETE LIGHT CANNON W/ INTERGRAL SKYLIGHT
- 15 WINDOW, PER PLAN, TYP.
- 16 ALUMN. CLAD WOOD WINDOW, PER PLAN, TYP.
- 17 DOOR, PER PLAN, TYP.
- 18 ALUMN. SECTIONAL GARAGE DOOR, PER PLAN, TYP.
- 19 ALUMN. CLAD WOOD DOOR, PER PLAN, TYP.
- 20 +42" HIGH, S.S. GUARD RAIL W/ 1/4" Ø S.S. CABLE BALLASTORS @ 3.5" O.C. W/ 3/4" X 2" S.S. VERT. SUPPORT @ 48" MAX. O.C., TYP.
- 21 CHIMNEY W/ STONE VENEER & SPARK ARRESTOR SHROUD, PER PLAN S-1
- 22 WOOD SIDING / SOFFIT, SEALED, TYP. S-8 P-1
- 23 DRYER VENT W/ INLINE BOOSTER PUMP
- 24 AV VENTILATION DUCT, PER PLAN
- 25 OUTDOOR FIREPLACE, PER PLAN
- 26 LANDSCAPE STAIRS, PER PLAN
- 27 CONCRETE HARDSCAPE, PER PLAN
- 28 CONCRETE PLANTER BOWLS, PER PLAN
- 29 CORTEN STEEL CATCH BASIN, PER PLAN
- 30 DASHED LINE INDICATES FOOTING/ SLAB BEYOND, PER PLAN
- 31 (E) GRADE
- 32 (N) GRADE

EXTERIOR FINISHES:

REFER TO SHEET A-9.1 FOR EXTERIOR FINISH MATERIAL LIST

ROOF HEIGHT COMPLIANCE

REFER TO SHEET A-9.1 & T-1.0 FOR ROOF HEIGHT COMPLIANCE



1 EAST ELEVATION
A-9.0 Scale: 3/16" = 1'-0"

EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"

ELEVATION REFERENCE NOTES

- 1 STANDING SEAM METAL ROOFING - REFER TO A-7.0 FOR ADD'L INFO (R-1)
- 2 PVC ROOFING W/ DECORATIVE ROCK BALLAST- REFER TO A-7.0 FOR ADD'L INFO
- 3 METAL FASCIA FLASHING / GSM GUTTER WHERE OCCURS PER PLAN - MATCH METAL ROOFING TYP. (S-5)
- 4 FUTURE (N) PV ARRAY POSSIBLE LOCATION - NOT A PART OF THIS PERMIT - PROVIDE 1" CONDUIT TO PV LOCATIONS IN ATTIC PER 2013 CRC
- 5 DAY LIGHT TUBE, PER PLAN
- 6 STEEL RAIN SCUPPER - POWDER COATED, TYP. (S-5)
- 7 DECORATIVE 18" Ø COPPER RAIN BOWLS
- 8 EXTERIOR PLASTER - SUPERFINE ACRYLIC FINISH, TYP.
- 9 CONC. RETAINING WALL W/ NATURAL STONE VENEER, TYP. (S-1)
- 10 NATURAL STONE VENEER WALL, TYP. (S-1)
- 11 METAL SIDING - FLUSH PANELS W/ 12" EXPOSURE, TYP. (S-4)
- 12 METAL SIDING - FLUSH PANELS W/ 6" EXPOSURE, TYP. (S-4) (S-6) (S-7)
- 13 METAL TRIM @ WINDOW, MATCH WINDOW COLOR, TYP.
- 14 CONCRETE LIGHT CANNON W/ INTEGRAL SKYLIGHT
- 15 WINDOW, PER PLAN, TYP.
- 16 ALUMN. CLAD WOOD WINDOW, PER PLAN, TYP.
- 17 DOOR, PER PLAN, TYP.
- 18 ALUMN. SECTIONAL GARAGE DOOR, PER PLAN, TYP.
- 19 ALUMN. CLAD WOOD DOOR, PER PLAN, TYP.
- 20 +42" HIGH, S.S. GUARD RAIL W/ 1/4 Ø S.S. CABLE BALLASTORS @ 3.5" O.C. W/ 3/4" X 2" S.S. VERT. SUPPORT @ 48" MAX. O.C., TYP.
- 21 CHIMNEY W/ STONE VENEER & SPARK ARRESTOR SHROUD, PER PLAN (S-1)
- 22 WOOD SIDING / SOFFIT, SEALED, TYP. (S-8) (P-1)
- 23 DRYER VENT W/ INLINE BOOSTER PUMP
- 24 AV VENTILATION DUCT, PER PLAN
- 25 OUTDOOR FIREPLACE, PER PLAN
- 26 LANDSCAPE STAIRS, PER PLAN
- 27 CONCRETE HARDSCAPE, PER PLAN
- 28 CONCRETE PLANTER BOWLS, PER PLAN
- 29 CORTEN STEEL CATCH BASIN, PER PLAN
- 30 DASHED LINE INDICATES FOOTING/ SLAB BEYOND, PER PLAN
- 31 (E) GRADE
- 32 (N) GRADE

EXTERIOR FINISHES:

- ROOFING:** (R-1)
 MANU: AEP SPAN OR ARCHITECT APPROVED EQUAL TYPE/COLOR: STANDING SEAM / ANTIQUE PATINA
- STONE VENEER:** (S-1)
 MANU: SYDNEY PEAK STONE TYPE/COLOR: RUSTIC BLEND WITH GROUT
- STUCCO:** (S-2)
 MANU: MERLEX TYPE/COLOR: CAFE MOCHA (VERIFY) - SUPERFINE ACRYLIC FINISH
- STUCCO:** (S-3)
 MANU: MERLEX TYPE/COLOR: NAVAJO WHITE (VERIFY) - SUPERFINE ACRYLIC FINISH
- METAL SIDING:** (S-4)
 MANU: AEP SPAN OR ARCHITECT APPROVED EQUAL TYPE/COLOR: FLUSH PANEL / WEATHERED COPPER
- METAL SIDING:** (S-5)
 MANU: AEP SPAN OR ARCHITECT APPROVED EQUAL TYPE/COLOR: FLUSH PANEL / METALLIC CHAMPAGNE
- METAL SIDING:** (S-6) 20 - 30% OF FIELD
 MANU: AEP SPAN OR ARCHITECT APPROVED EQUAL TYPE/COLOR: FLUSH PANEL / METALLIC COPPER
- METAL SIDING:** (S-7) 5 - 10% OF FIELD
 MANU: AEP SPAN OR ARCHITECT APPROVED EQUAL TYPE/COLOR: FLUSH PANEL / METALLIC COPPER
- WOOD SIDING:** (S-8)
 MANU: TBD TYPE: WESTERN RED CEDAR - STAINED
- WINDOW/METAL TRIM:** (M-1)
 MANU: KOLBE OR ARCHITECT APPROVED EQUAL TYPE/COLOR: TRIM / MEDIUM ANODIZED BRONZE TO MATCH WINDOW FINISH, TYP.
- PAINT:** (P-1)
 MANU: SIKKENS TYPE/COLOR: UV PROTECTIVE STAIN - MEDIUM BROWN
- PAINT:** (P-2)
 MANU: SHERWIN-WILLIAMS TYPE/COLOR: SW2837 - AURORA BROWN

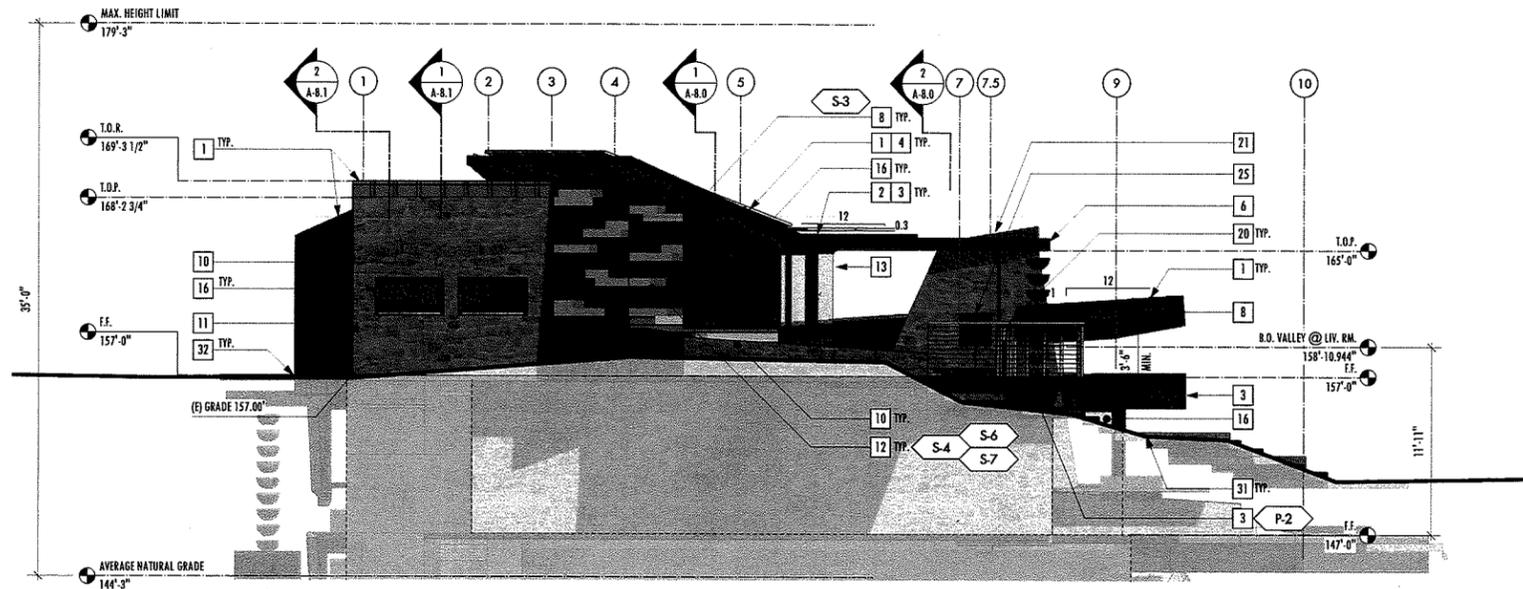
ROOF HEIGHT COMPLIANCE

HEIGHT RESTRICTION: 35'

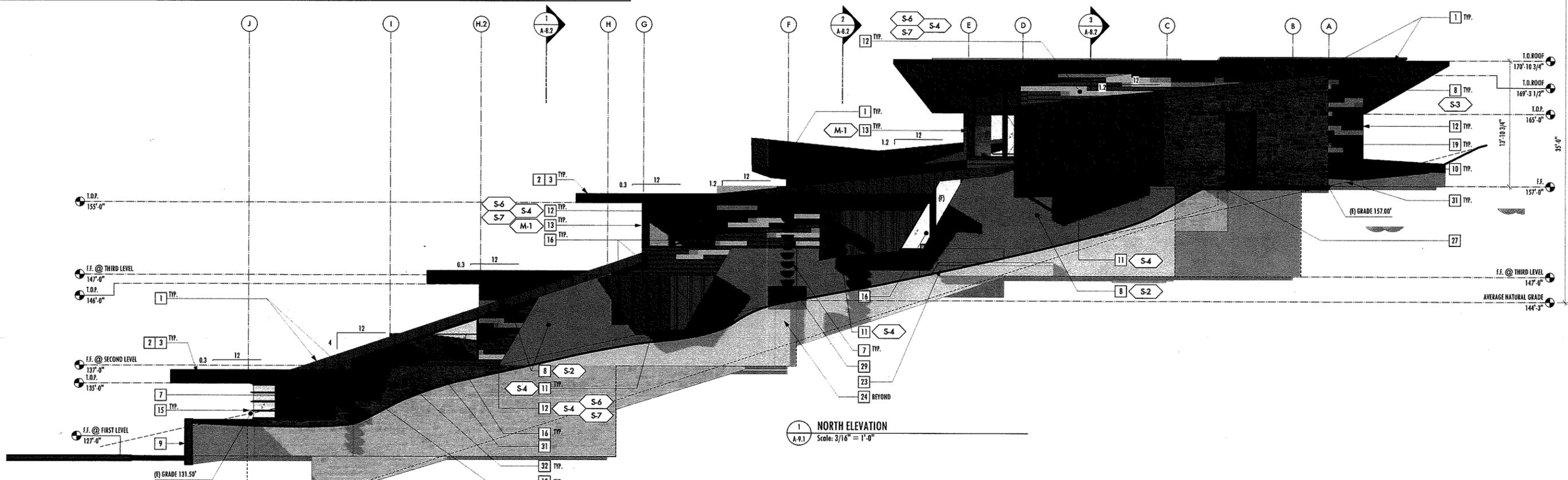
BUILDING HEIGHT CALCULATION-RESIDENCE:
 $\frac{\text{HIGHEST N.G.} + \text{LOWEST N.G.}}{2} = \text{AVERAGE (E) GRADE}$
 $\frac{157.00' + 131.50'}{2} = 144.25' + 35.00' = 179.25'$

MAXIMUM BUILDING HEIGHT: 178.50' 157.0' + 13.89' = 170.89'

ACTUAL HEIGHT: 170.89' TO TOP OF ROOF SHTG. 170.89' ≤ 179.25' THEREFORE O.K.



2 WEST ELEVATION
 Scale: 3/16" = 1'-0"



1 NORTH ELEVATION
 Scale: 3/16" = 1'-0"

EXTERIOR ELEVATIONS
 SCALE: 3/16" = 1'-0"

1750 PUEBLO CTR. RD. #44
 SAN LUIS OBISPO
 CALIFORNIA 93105
 805.704.5147
 INFO@DANCIART.COM
 WWW.DANCIART.COM



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SALMON RESIDENCE
 1666 PASEO DE CABALLO
 SAN LUIS OBISPO, CA 93405
 APN: 073-333-003

DATES

15 JUN 15
 PLANNING DEPT. SUBMITTAL
 PROJECT NUMBER
 1403

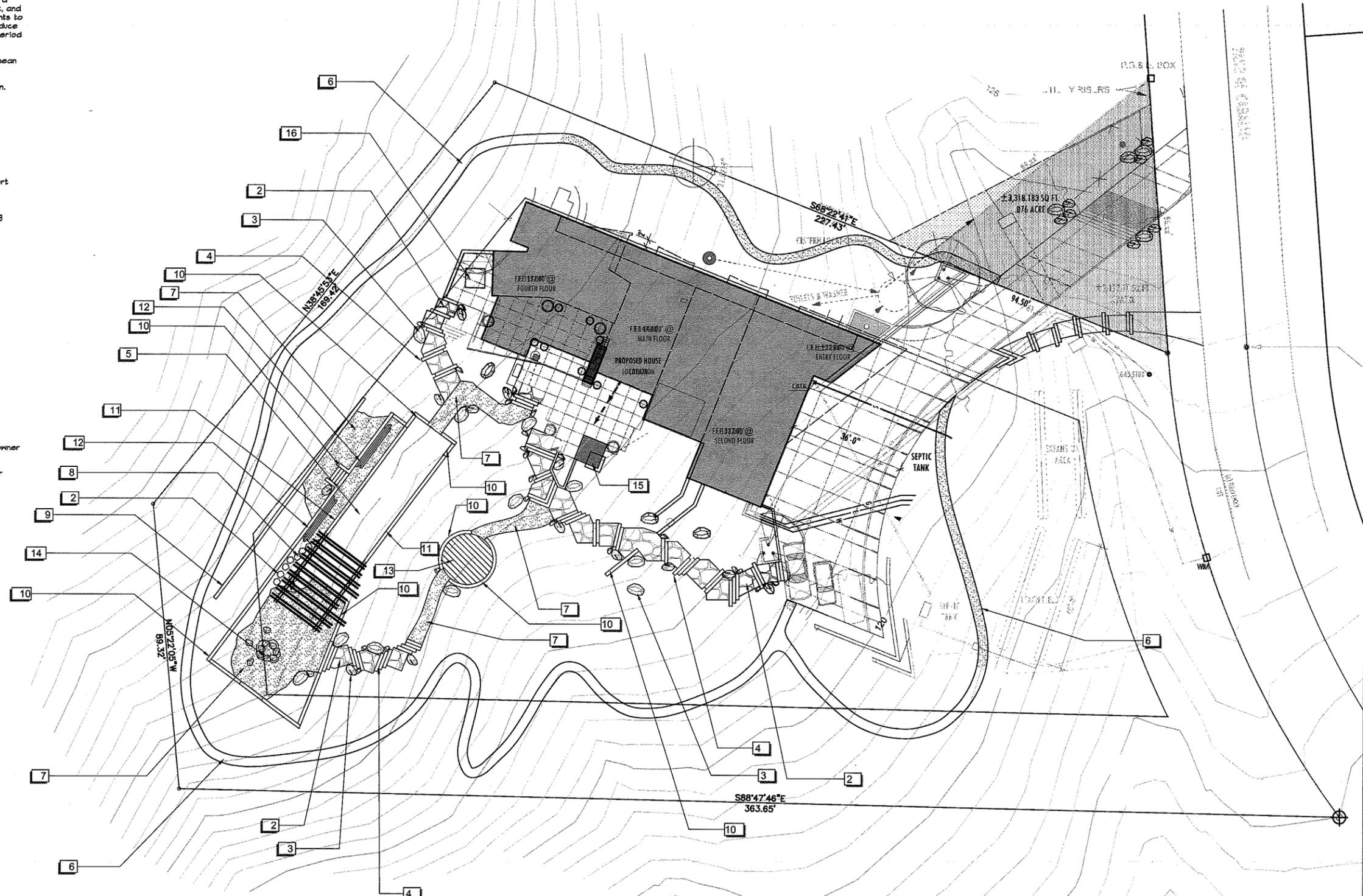
EXTERIOR ELEVATIONS

SHEET NUMBER

A-9.1

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
1	IRRIGATION: All irrigation on site to be low-flow drip irrigation with an automatic timer and rain sensor. Irrigation in the Native Zone will be temporary for a period of up to 2 years during plant establishment, and should be turned off and/or removed to allow plants to naturalize. All other zones will be managed to reduce water consumption after the initial establishment period and should be monitored on a regular basis to determine essential water needs. Supplement Meadow zone and southern Mediterranean zone with greywater system. Note: All plantings are either native or drought tolerant species to help reduce water consumption.	
2	Flagstone pads typ. - Hy Desert Stone to match architecture Step risers Hy desert slabs Field fill with puddle set Hy Desert flagstone	
3	Boulders - Hy Desert boulders Size from 1'-5'	
4	Concrete Steps typ. Concrete color TBD - Should complement Hy Desert stone	
5	Bocce Ball court Crushed rock base with crushed oyster shell playing surface.	
6	Decomposed Granite Path Tan color or crushed blue stone TBD by client	
7	Decorative Gravel B/B Palomino crushed rock	
8	Arbor Structure Mixed materials, see details for more information	
9	Gabion Wall Fill rock TBD	
10	Concrete Wall with Stone Veneer Hy Desert stone to match house	
11	Concrete Wall Color TBD	
12	Wood Bench	
13	Wood Deck Deck over cistern structure. Ipe	
14	Boulder Fire Pit Natural gas fire pit with glass infill, color TBD by owner	
15	Water Feature Infinity edge water feature with Hy Desert stone or concrete TBD See Details for more information	
16	Hot Tub Manufacturer TBD by client	



CONCEPT PLANT SCHEDULE



OAK TREES
Quercus agrifolia / Coast Live Oak Multi-Trunk

OLIVE TREES
Olea europaea / Olive Multi-Trunk

ORNAMENTAL TREES
Agave flexuosa "Afterdark" / Black Peppermint Tree
Arbutus x "Manna" / Arbutus Multi-Trunk
Parkinsonia x "Desert Museum" / Desert Museum Palo Verde



NATIVE ZONE
 Planting in this zone will be all native species to blend existing adjacent oak woodland with project site. Irrigation will be minimal and temporary then abandoned within 2 years after establishment period.
Arbutus menziesii / Pacific Madrone
Arctostaphylos densiflora "Howard McMinn" / Howard McMinn Manzanita
Arctostaphylos pajaroensis / Pajaro Manzanita
Arctostaphylos x "Pacific Mist" / Pacific Mist Manzanita
Baccharis pilularis "Pigeon Point" / Coyote Brush
Ceanothus griseus horizontalis "Yanksee Point" / California Lilac
Ceanothus x "Dark Star" / California Lilac
Ceanothus x "Ray Hartman" / California Lilac
Erigeron giganteus / St. Catherine's Lace
Erigeron grande rubescens / Red Buckwheat
Erigeron latifolium / Coast Buckwheat
Fremontodendron x "Ken Taylor" / Flannel Bush
Galvezia speciosa / Island Bush Snapdragon
Heteromeles arbutifolia / Toyon
Mimulus aurantiacus / Sticky Monkey Flower
Muhlenbergia rigens / Deer Grass
Opuntia basilaris / Beavertail Pricklypear
Salvia clevelandii "Allen Chickering" / Cleveland Sage
Salvia leucophylla "Point Sal" / Purple Leaf Sage
Salvia spathacea / Hummingbird Sage
Salvia x "Allen Chickering" / Sage



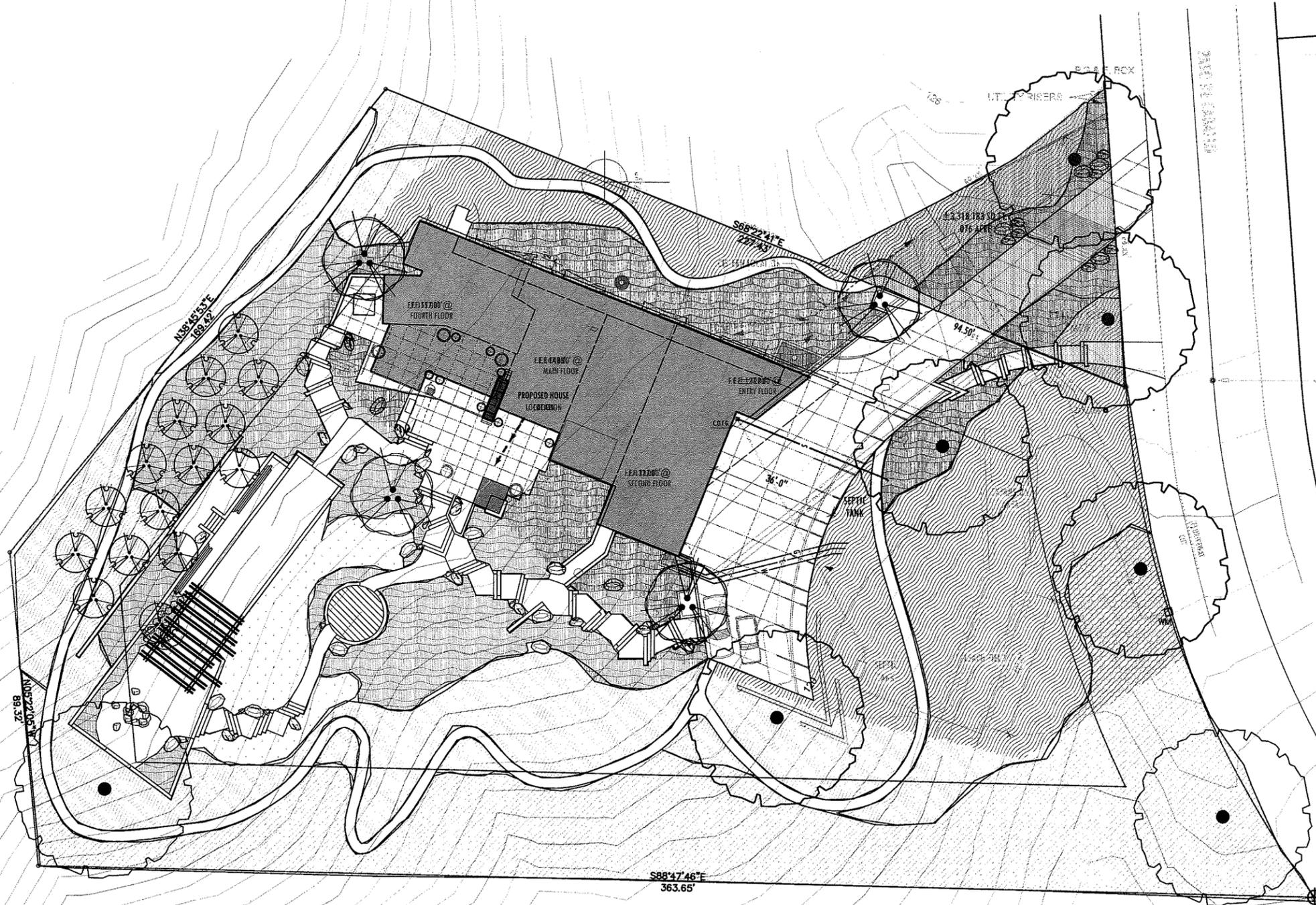
TRANSITION ZONE
 This zone will consist of natives and Mediterranean species to blend the native portion of the garden with the cultivated ornamental garden. Irrigation in this zone will be minimal, low-flow drip irrigation.
Ceanothus x "Dark Star" / California Lilac
Encelia californica / California Encelia
Galvezia speciosa / Island Bush Snapdragon
Leymus condensatus "Canyon Prince" / Native Blue Rye
Nolina parryi / Parry Beargrass
Verbena laevis / Lilac Verbena
Yucca whipplei / Chaparral Yucca
Zauschneria californica "Catalina" / California Fuchsia

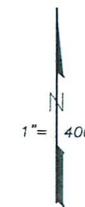


MEDITERRANEAN ZONE
Agave americana / Century Plant
Agave americana "Blue Glow" / Blue Glow Agave
Agave americana "Medio-picta Alba" / Striped Century Plant
Agave attenuata "BoutinBlue" / Blue Foxtail Agave
Agave attenuata "Kara's Stripes" / Agave
Agave desmettiana "Vanegata" / Vanegated Agave
Agave geminiflora / Century Plant
Agave parryi / Parry's Agave
Agave shawii / Coastal Agave
Agave vilmoriniana "Stained Glass" / Stained Glass Octopus Agave
Agave x "Blue Glow" / Blue Glow Agave
Agave x "Joe Hoak" / Joe Hoak Agave
Agave x "Mr Ripple" / Mr Ripple Agave
Agave x "Sharkskin" / Sharkskin Agave
Aloe arborescens "Lutea" / Yellow Torch Aloe
Aloe arborescens "Vanegata" / Vanegated Torch Aloe
Aloe ferox / Bitter Aloe
Aloe marlothii / Aloe
Aloe plicatilis / Fan Aloe
Aloe speciosa / Aloe
Aloe strata / Coral Aloe
Aloe thraskii / Aloe
Aloe vera / Medicinal Aloe
Aloe x "Hercules" / Hercules Aloe
Amoranthos x "Big Red" / Big Red Kangaroo Paw
Amoranthos x "Harmony" / Kangaroo Paw
Carex divulsa / Berkeley Sedge
Carex flacca / Blue Sedge
Carex testacea / Carex
Dudleya brittonii / Dudleya
Dudleya hasselii / Bright Green Dudleya
Euphorbia characias wulfenii "Portuguese Velvet" / Spurge
Euphorbia lambii / Euphorbia
Euphorbia myrsinites / Myrtle Spurge
Euphorbia rigida / Yellow Spurge
Euphorbia brucalli "Sticks on Fire" / Percol Tree
Kalanchoe beharensis / Felt Plant
Kalanchoe thyrsiflora / Paddle Plant
Leucadendron argenteum / Silver Tree
Leucadendron salignum "Blush"
Leucadendron x "Jester" / Jester Conebush
Muhlenbergia capillaris "Pink Cloud" / Pink Muhly
Muhlenbergia lindheimeri / Lindheimer's Muhly
Muhlenbergia rigens / Deer Grass
Senecio cylindricus / Narrow-leaf Chalksticks
Senecio mandraliscae / Blue Finger
Stipa arundinacea / New Zealand Wind Grass
Stipa gigantea / Giant Feather Grass
Tradescantia pallida "Purple Heart" / Purple Queen Spiderwort
Yucca gloriosa "Bright Star" / Yellow Spanish

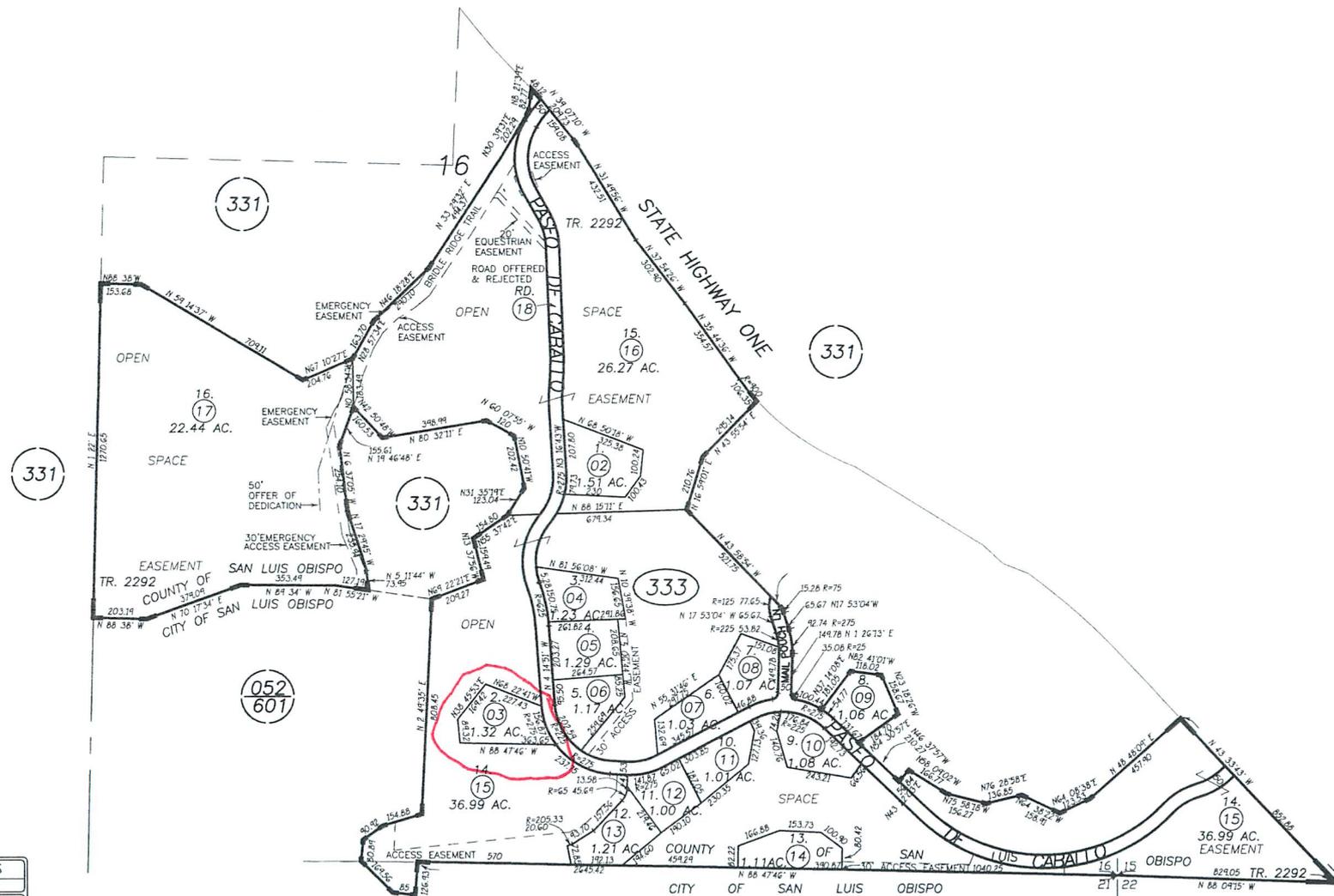


MEADOW ZONE
Achillea millefolium (white yarrow)
Chrysanthemum leucanthemum ox-eye (ox-eye daisy)
Clarkia amoena (farewell to spring)
Coreopsis lanceolata (lance-leaf coreopsis)
Eschscholzia californica (california poppy)
Festuca microstachya (small fescue)
Gallardia pulchella (rock-rose)
Hordeum brachyantherum (california barley)
Lays platyglossa (budytip)
Linum lewisii (blue flax)
Lupinus nanus (sky lupine)
Lupinus succulentus (arroyo lupine)
Melica californica (california melic)
Stipa pulchra (purple needlegrass)

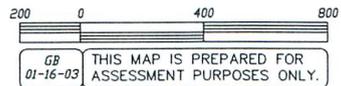




073-331



REVISIONS	
TECH	DATE
GB	01-16-03



TRACT NO. 2292, R.M. Bk. 20 , Pg. 80-85

SAN LUIS OBISPO VICINITY
 ASSESSOR'S MAP, COUNTY OF
 SAN LUIS OBISPO, CA.
 BOOK 073 PAGE 333



San Luis Obispo Planning Area
Planning Area

RR

151



City of
San Luis Obispo

100 m



Parcel Summary Report For Parcel # 073-333-003

7/8/2015
11:49:55AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN SALMON DAVID M
 1777 PASEO DE CABALLO SLO CA 93405-
OWN SALMON DIANA C

Address Information

Status Address
P 01666 PASEO DE CABALLO SLOSLO

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
2292	0000	0002	SLO Planning A	San Luis Obis	RR	SRA		Y	SC	D910214P / D920054P

Parcel Information

Status Description
Active TR 2292 LT 2

Notes

PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A LETTER FROM THE RANCHO CABALLO DESIGN REVIEW COMMITTEE STATING THAT THE PLANS HAVE BEEN REVIEWED AND APPROVED.

Tax Districts

SAN LUIS COASTAL
COUNTY-ZONE NO. 09
NO. 02
AREA NO. 21
SAN LUIS OBISPO JT(27,40)

Case Information

Case Number: Case Status:



Parcel Summary Report For Parcel # 073-333-003

7/8/2015
11:49:55AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

DRC2015-00003 REC Primary Parcel

Description:

NEW SFR (5,698 SQFT) WITH ATTACHED GARAGE (1898 SQFT) AND STORAGE SPACE (1470 SQFT)

S940109L RDD Related Parcel

Description:

LOT LINE ADJUSTMENT OF 4 PARCELS

S970131G CMP Related Parcel

Description:

PUBLIC LOT EXEMPT-TWO LOT (BISHOP PEAK)

S980130N RDD Related Parcel

Description:

BRIDLE RIDGE/MAIL POUCH/PASEO DE CABALLO

S980209U RDD Related Parcel

Description:

16 LOT CLUSTER TRACT MAP