



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land – Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 8/25/2015

TO: _____

FROM: Cody Scheel (805-781-5157 or cscheel@co.slo.ca.us)
South County Team / Development Review

PROJECT DESCRIPTION: DRC2015-00029 RUDACK – Proposed minor use permit for a new 2,687 sf single family residence with an attached 906 sf guest suite, and a 1,133 sf attached garage. Site location is Perfumo Canyon Rd, north of Serpentine Ln, San Luis Obispo.
APN: 076-043-004.

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00029

RUDACK LES K

MINOR USE PERMIT

NEW 2,687 S.F. SFR WITH ATTACHED 906 S.F. GUEST SUITE., 1,133 S.F. ATTACHED SLOSLO/ SLOSLO

GS RL

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit Tree Permit Minor Use Permit
 Conditional Use Permit/Development Plan Plot Plan
 Curb, Gutter & Sidewalk Waiver Other Site Plan
 Surface Mining/Reclamation Plan Zoning Clearance
 Amendment to approved land use permit Variance

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name LES K. RUDACK Daytime Phone (810) 923-3885
Mailing Address 3101 S. OCEAN DRIVE, #2104, HOLLYWOOD, FL Zip Code 33019
Email Address: lrudack77@gmail.com

Applicant Name SAME AS LANDOWNER Daytime Phone _____
Mailing Address _____ Zip Code _____
Email Address: _____

Agent Name LES GOODWIN Daytime Phone (805) 459-0114
Mailing Address 2131 BLUE HERON VIEW, LOS OSOS, CA Zip Code 93402
Email Address: les@goodwinCGI.com

PROPERTY INFORMATION

Total Size of Site: 4.62 ACRES Assessor Parcel Number(s): 076-043-004

Legal Description: _____

Address of the project (if known): NOT YET ASSIGNED

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: VACANT LOT OFF PEFUMO CANYON ROAD JUST BEFORE SERPENTINE LANE.

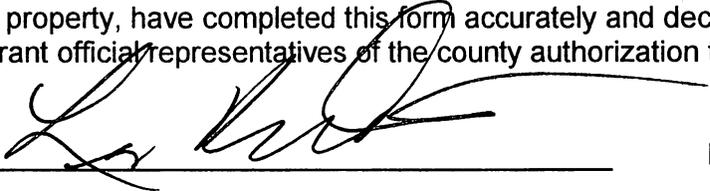
Describe current uses, existing structures, and other improvements and vegetation on the property:
VACANT LAND

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): NEW 2,687 S.F. SFR W/ ATTACHED 906 S.F. GUEST SUITE. 1,133 SF ATTACHED GARAGES.

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature 

Date 8-17-15

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): NONE

Describe existing and future access to the proposed project site: EXISTING DRIVEWAY OFF PREPUNO CANYON RD. PROPOSED SEPARATE IN /OUT DRIVEWAY FOR ASSISTING W/ VISIBILITY / SITE ACCESS.

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: RL - CATTLE GRAZING South: RL - SINGLE-FAMILY RESIDENCES
East: RL - CATTLE GRAZING West: RL - SINGLE-FAMILY RESIDENCES

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 3,657 sq. feet 1.82 % Landscaping: 1,000 sq. feet 0.49 %

Paving: 5,500 sq. feet 2.73 %

Other (specify) _____

Total area of all paving and structures: 9,200 sq. feet acres

Total area of grading or removal of ground cover: 39,220 sq. feet acres

Number of parking spaces proposed: 3 Height of tallest structure: _____

Number of trees to be removed: 0 Type: _____

Setbacks: Front 75' Right 130' Left 125' Back 140'

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CDF

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: _____ acres
Moderate slopes of 10-30%: **4.62**  _____ acres
Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: **THERE'S AN EXISTING ROAD TO AN EXISTING WELL.**
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: **THE PROJECT WILL BE VISIBLE FROM PUEFUMO CANYON ROAD WITHIN THE IMMEDIATE VICINITY.**

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial – Explain _____
3. What is the expected daily water demand associated with the project? 2 PERSON FAMILY
4. How many service connections will be required? ONE, & ELECTRICITY
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: WELL
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours 5 G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? 500 feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used: N/A

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: N/A
- 3. Where is the waste disposal storage in relation to buildings? AT FRONT OF STRUCTURE NEAR
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No DRIVEWAY.

Community Service Information

- 1. Name of School District: SAN LUIS COASTAL
- 2. Location of nearest police station: 20 MINUTE + RESPONSE ZONE
- 3. Location of nearest fire station: " " "
- 4. Location of nearest public transit stop: 2 MILES
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
VACANT LAND - NO KNOWN PREVIOUS USE
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information RL ZONE (RURAL LAND)

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: ROCKY SOIL, STEEP SLOPES.

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): NONE
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: NONE IDENTIFIED AT THIS TIME.

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
NO ADDITIONAL MEASURES THAT EXCEED STATE AND COUNTY REQUIREMENTS ARE CURRENTLY PROPOSED.

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: _____
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): BUILDING PERMIT

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

THE RUDACK RESIDENCE

00000 PREFUMO CANYON ROAD SAN LUIS OBISPO, CALIFORNIA



CODE ANALYSIS

ALL WORK SHALL BE IN CONFORMANCE WITH:
 2013 CALIFORNIA RESIDENTIAL CODE, TITLE 24 - PART 2.5
 2013 CALIFORNIA ELECTRICAL CODE, TITLE 24 - PART 3
 2013 CALIFORNIA MECHANICAL CODE, TITLE 24 - PART 4
 2013 CALIFORNIA PLUMBING CODE, TITLE 24 - PART 5
 2013 CALIFORNIA ENERGY CODE, TITLE 24 - PART 6
 2013 CALIFORNIA FIRE CODE, TITLE 24 - PART 9
 2013 CALIFORNIA GREEN BUILDING CODE, T 24 - PART 11

OCCUPANCY / OCCUPANCY SEPARATION
 RESIDENCE: GROUP R OCCUPANCY, DIVISION 3
 ATTACHED GARAGE: GROUP U OCCUPANCY, DIVISION 1

- OPENINGS AND PENETRATIONS THROUGH WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL COMPLY WITH C.R.C. SECTION R302.5.
- THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AS REQUIRED BY C.R.C. TABLE R302.6

CONSTRUCTION TYPE
 RESIDENCE: TYPE V-B
 GARAGE: TYPE V-B

FIRE RESISTIVE CONSTRUCTION REQ'S

ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH CHAPTER 7A (WILDLAND-URBAN INTERFACE) OF THE 2013 CALIFORNIA BUILDING CODE. PLEASE SEE SHEET T-3.3 FOR MANDATORY FIRE RESISTIVE CONSTRUCTION REQUIREMENTS.

ENVIRONMENTAL MITIGATION

PLEASE SEE SHEET T-1.1 (CONDITIONS OF APPROVAL) FOR A COMPLETE DESCRIPTION OF PROJECT SPECIFIC ENVIRONMENTAL MITIGATION REQUIREMENTS.

FOUNDATION INSPECTION

PRIOR TO THE CONTRACTOR REQUESTING BUILDING DEPARTMENT FOUNDATION INSPECTION, THE SOILS ENGINEER SHALL ADVISE THE BUILDING OFFICIAL IN WRITING THAT:

- THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT SOILS REPORT.
- THE FOUNDATION EXCAVATION, FORMING AND REINFORCING COMPLY WITH THE RECOMMENDATIONS OF THE PROJECT SOILS REPORT.

FIREBLOCKING REQUIREMENTS

FIREBLOCKING IS REQUIRED AT THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES (SOFFITS, DROP CEILINGS, COVE CEILING).
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL.

FUTURE SOLAR SYSTEM REQUIREMENTS

ALL NEW CONSTRUCTION SHALL PROVIDE A CONDUIT SYSTEM FROM THE MAIN ELECTRICAL PANEL TO AN ACCESSIBLE LOCATION. SAID LOCATION MAY BE EITHER ATTIC SPACE, ROOF STRUCTURE, OR AN AREA ONSITE DESIGNATED FOR FUTURE RENEWABLE ENERGY GENERATION TO ACCOMMODATE A POINT OF CONNECTION ON THE LOAD SIDE OF THE ELECTRICAL SERVICE DISCONNECTING MEANS. **FOR THE PROPOSED 200 AMP SERVICE, A MINIMUM 1" (ONE INCH) CONDUIT SHALL BE PROVIDED. PLEASE SEE PROVIDED SOLAR ENERGY PLANS / SCHEMATICS FOR ADDITIONAL INFORMATION.**

THIRD PARTY VERIFICATION

NEW HOMES GREATER THAN 2,500 S.F. SHALL COMPLETE THIRD PARTY VERIFIED CERTIFICATION TO VERIFY COMPLIANCE WITH THE ATTACHED GREEN POINT RATED CHECKLIST.

CALGREEN SPECIAL INSPECTION

SPECIAL INSPECTION IS REQUIRED FOR SUBSTANTIATING COMPLIANCE WITH CALGREEN BUILDING CODE AND DOCUMENTATION USED TO DEMONSTRATE COMPLIANCE. CALGREEN 4.504.5.1, 702.2 AND 703.1

EROSION & SEDIMENT CONTROL

EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL **PRIOR** TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS WILL BE PROVIDED TO BUILDING & SAFETY AND PUBLIC WORKS FOR THEIR REVIEW PRIOR TO PERMIT ISSUANCE:

- FIRE SPRINKLER SYSTEM DESIGN.

FIRE SPRINKLER SYSTEM

THIS PROJECT WILL REQUIRE A FIRE SUPPRESSION SYSTEM PER NFPA-13D. **DRAWINGS & CALCULATIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.**

WATER SERVICE(S) TO BE SIZED IN ACCORDANCE WITH APPROVED FIRE SPRINKLER PLAN.

PREFABRICATED TRUSSES

THE DESIGN AND MANUFACTURING OF METAL-PLATE-CONNECTED WOOD TRUSSES SHALL COMPLY WITH ANSI / TPI 1 IN ACCORDANCE WITH C.R.C. SECTION R802.10

SOILS REPORT

PLEASE SEE INCLUDED SOILS REPORT # SLO6659-2 AS PREPARED BY GEOSOLUTIONS, INC. ON JULY, 2008 FOR SOILS & FOUNDATION RECOMMENDATIONS.

A FOLLOW-UP LETTER FROM THE SOILS ENGINEER IS REQUIRED TO BE SUBMITTED PRIOR TO REQUESTING FOUNDATION INSPECTION WHICH STATES THAT THE BUILDING HAS BEEN GRADED AND PREPARED IN ACCORDANCE WITH THE APPROVED

PROPERTY CORNER MONUMENTS

ALL PROPERTY CORNER MONUMENTS SHALL BE IN PLACE AND IDENTIFIED AT THE TIME OF FOUNDATION INSPECTION.

ENCROACHMENT PERMIT REQ'S

A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY OR WITHIN COUNTY EASEMENTS FOR CONNECTIONS TO PUBLIC UTILITIES. WORK REQUIRING AN ENCROACHMENT PERMIT INCLUDES BUT IS NOT LIMITED TO DEMOLITIONS, UTILITIES, CURB, GUTTER, SIDEWALK, DRIVEWAY APPROACHES, SIDEWALK UNDERDRAINS, STREET TREE PLANTING OR PRUNING, CURB RAMPS, STREET PAVING, AND PEDESTRIAN PROTECTION OR CONSTRUCTION STAGING IN THE RIGHT-OF-WAY.

A TRAFFIC AND PEDESTRIAN CONTROL PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ENCROACHMENT PERMIT ISSUANCE.

AS-BUILT PLANS OR "RECORD" DRAWINGS ARE REQUIRED FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY AT THE COMPLETION OF THE PROJECT PER COUNTY STANDARDS AND COUNTY STANDARD SPECIFICATIONS. THESE PLANS SHALL BE RECEIVED AND ACCEPTED PRIOR TO FINAL INSPECTION APPROVALS AND/OR OCCUPANCY OF ANY BUILDING.

ENGINEERING STANDARDS

ALL WORK LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN THE JURISDICTION OF THE UTILITIES AND PUBLIC WORKS DEPARTMENTS SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE ENGINEERING STANDARDS AND STANDARD SPECIFICATION.

PUBLIC IMPROVEMENTS

THE PUBLIC IMPROVEMENTS SHALL BE SUBSTANTIALLY COMPLETE TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR PRIOR TO FINAL INSPECTION APPROVALS AND/OR OCCUPANCY OF ANY BUILDING.

PROJECT SUMMARY

PROJECT DESCRIPTION

CONSTRUCTION OF A NEW 2,687 SQ. FT. SINGLE-FAMILY RESIDENCE WITH ATTACHED 906 SQ. FT. RENTAL UNIT AND 1,133 SQ. FT. GARAGE / STORAGE AREA. ADDITIONAL SITE IMPROVEMENTS CONSIST OF APPROXIMATELY 5,000 C.Y. OF GRADING ON SLOPES EXCEEDING 20%, ADDING A NEW WELL, WATER STORAGE TANK AND SEPTIC SYSTEM.

PROJECT SPECIFICS

SITE LOCATION: 00000 PREFUMO CANYON ROAD SAN LUIS OBISPO, CA 93401

A.P.N.: 076-043-004

ZONING: RL (RURAL LANDS)
 GS (GEOLOGIC STUDY AREA)

FIRE ZONE: VERY HIGH FIRE HAZARD SEVERITY

PROJECT DATA

1ST STORY HABITABLE AREA: 2,170 SQ. FT.
 2ND STORY HABITABLE AREA: 517 SQ. FT.
 2ND STORY GUEST SUITE AREA: 906 SQ. FT.
TOTAL HABITABLE AREA: 3,593 SQ. FT.

1-CAR GARAGE / STORAGE AREA: 318 SQ. FT.
 2-CAR GARAGE / STORAGE AREA: 784 SQ. FT.
 RENTAL STORAGE: 51 SQ. FT.
TOTAL GARAGE / STORAGE AREA: 1,133 SQ. FT.

2ND STORY DECK (UNCOVERED): 97 SQ. FT.
 2ND STORY GUEST DECK (UNCOVERED): 150 SQ. FT.
TOTAL 2ND STORY DECK AREA: 247 SQ. FT.

STRUCTURE FOOTPRINT: 3,657 SQ. FT.
 LOT AREA: 4.62 ACRES
 LOT COVERAGE: 1.82 %

PAVING / HARDSCAPE: 5,500 SQ. FT.
 LOT AREA: 4.62 ACRES
 LOT COVERAGE: 2.73 %

LANDSCAPING: 1,000 SQ. FT.
 LOT AREA: 4.62 ACRES
 LOT COVERAGE: 0.49 %

IMPERVIOUS: 9,200 SQ. FT.
 LOT AREA: 4.62 ACRES
 LOT COVERAGE: 4.57 %

TOTAL SITE DISTURBANCE: 39,220 SQ. FT.
 LOT AREA: 4.62 ACRES
 LOT COVERAGE: 19.49 %

EARTHWORK: (CUT) 3,700 C.Y.
 (FILL) 1,320 C.Y.
 (EXPORT) 2,380 C.Y.

OFF STREET PARKING: 3 SPACES (GARAGE)

NUMBERS OF STORIES: TWO

MAXIMUM ALLOWABLE HEIGHT: 25'-0" (FROM A.N.G.)
 PROPOSED HEIGHT: 20'-6" (FROM A.N.G.)

BUILDING HEIGHT

THE MAXIMUM HEIGHT FOR THIS PROJECT IS 25 FEET (AS MEASURED FROM AVERAGE NATURAL GRADE).

- PRIOR TO ANY SITE DISTURBANCE**, A LICENSED SURVEYOR OR CIVIL ENGINEER SHALL ESTABLISH THE AVERAGE NATURAL AND SET A REFERENCE POINT (BENCHMARK).
- PRIOR TO APPROVAL OF THE FOUNDATION INSPECTION**, THE BENCHMARK SHALL BE INSPECTED BY A BUILDING INSPECTOR PRIOR TO POURING FOOTINGS OR RETAINING WALLS, AS AN ADDED PRECAUTION.
- PRIOR TO APPROVAL OF THE ROOF NAILING INSPECTION**, THE APPLICANT SHALL PROVIDE THE BUILDING INSPECTOR WITH DOCUMENTATION THAT GIVES THE HEIGHT REFERENCE, THE ALLOWABLE HEIGHT AND THE ACTUAL HEIGHT OF THE STRUCTURE. THIS CERTIFICATION SHALL BE PREPARED BY A LICENSED SURVEYOR OR CIVIL ENGINEER.

PROJECT DIRECTORY

OWNER

LES K. RUDACK
 3101 S. OCEAN DRIVE, SUITE 2104
 HOLLYWOOD, FL 33019
 (810) 923-3885

ARCHITECT

GOODWIN DESIGN ARCHITECTS
 1435 BROAD STREET
 SAN LUIS OBISPO, CA 93401
 (805) 543-0606

PLAN EXPEDITOR

LES GOODWIN
 2131 BLUE HERON VIEW LANE
 LOS OSOS, CA 93402
 (805) 528-4041

STRUCTURAL ENGINEER

TAYLOR & SYFAN CONSULTING ENGINEERS, INC.
 684 CLARION COURT
 SAN LUIS OBISPO, CA 93401
 (805) 547-2000

CIVIL ENGINEER

KEITH V. CROWE, P.E.
 P.O. BOX 832
 ATASCADERO, CA 93423
 (805) 464-0975

GEOTECHNICAL ENGINEER

GEOSOLUTIONS, INC.
 220 HIGH STREET
 SAN LUIS OBISPO, CA 93401
 (805) 543-8539

SURVEYOR

DANNY F. HORN
 566 SPRING STREET
 PASO ROBLES, CA 93446
 (805) 239-0355

ENERGY CONSULTANT

CARSTAIRS ENERGY
 P.O. BOX 4736
 SAN LUIS OBISPO, CA 93403
 (805) 904-9048

LANDSCAPE ARCHITECT

GROUND UP, INC.
 P.O. BOX 1583
 PASO ROBLES, CA 93447
 (805) 227-4159

UTILITIES

ELECTRICAL
 PACIFIC GAS & ELECTRIC
 (800) 743-5000

GAS
 THE GAS COMPANY
 (800) 427-2200

TELEPHONE
 AT&T
 (800) 750-2355

CABLE
 CHARTER COMMUNICATIONS
 (805) 544-2688

GARBAGE
 SAN LUIS GARBAGE CO.
 (805) 543-0875

SHEET INDEX

- T-1.0 COVER SHEET
- T M TOPOGRAPHIC MAP
- C-1.0 GRADING TITLE SHEET
- C-2.0 SITE, GRADING AND DRAINAGE PLAN
- C-3.0 CONSTRUCTION DETAILS
- C-4.0 EROSION CONTROL PLAN
- C-5.0 EROSION CONTROL NOTES & DETAILS
- C-6.0 EROSION CONTROL DETAILS
- A-1.1 1ST STORY FLOOR PLAN
- A-1.2 2ND STORY FLOOR PLAN
- A-3.1 ELEVATIONS (SW-SE)
- A-3.2 ELEVATIONS (NW-NE)

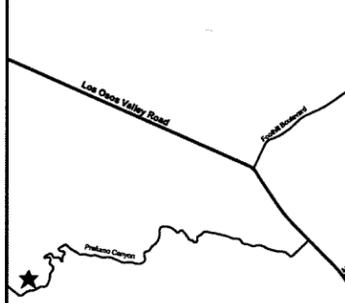
ATTACHMENTS

- SOILS ENGINEERING REPORT
- GEOLOGY INVESTIGATION REPORT
- BOTANICAL REPORT
- PERCOLATION TESTING REPORT
- WELL PUMP TEST
- STORMWATER CONTROL PLAN APPLICATION
- COLOR / MATERIALS BOARD

PLAN / DOCUMENT COORDINATION

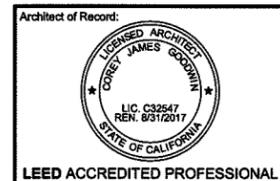
THE ARCHITECT SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING ALL SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING PRIOR TO SUBMITTING TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.

VICINITY MAP



Contacts:
STRUCTURAL ENGINEER
 Taylor & Syfan Consulting Engineers, Inc.
 684 Clarion Court
 San Luis Obispo, CA 93401
 (805) 547-2000
GEOTECHNICAL ENGINEER
 GeoSolutions, Inc.
 220 High Street
 San Luis Obispo, CA 93401
 (805) 543-8539

Project Name:
THE RUDACK RESIDENCE
 00000 PREFUMO CANYON ROAD
 SAN LUIS OBISPO, CA
 A.P.N. 076-043-004



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 DO NOT SCALE THESE DRAWINGS.
 The General Contractor shall verify all construction documents, site dimensions and conditions, and all existing utility locations and shall notify Goodwin Design of any discrepancies or inconsistencies prior to starting work.

Revisions:

1	August 17, 2015 (MUP Submittal)
2	
3	
4	
5	

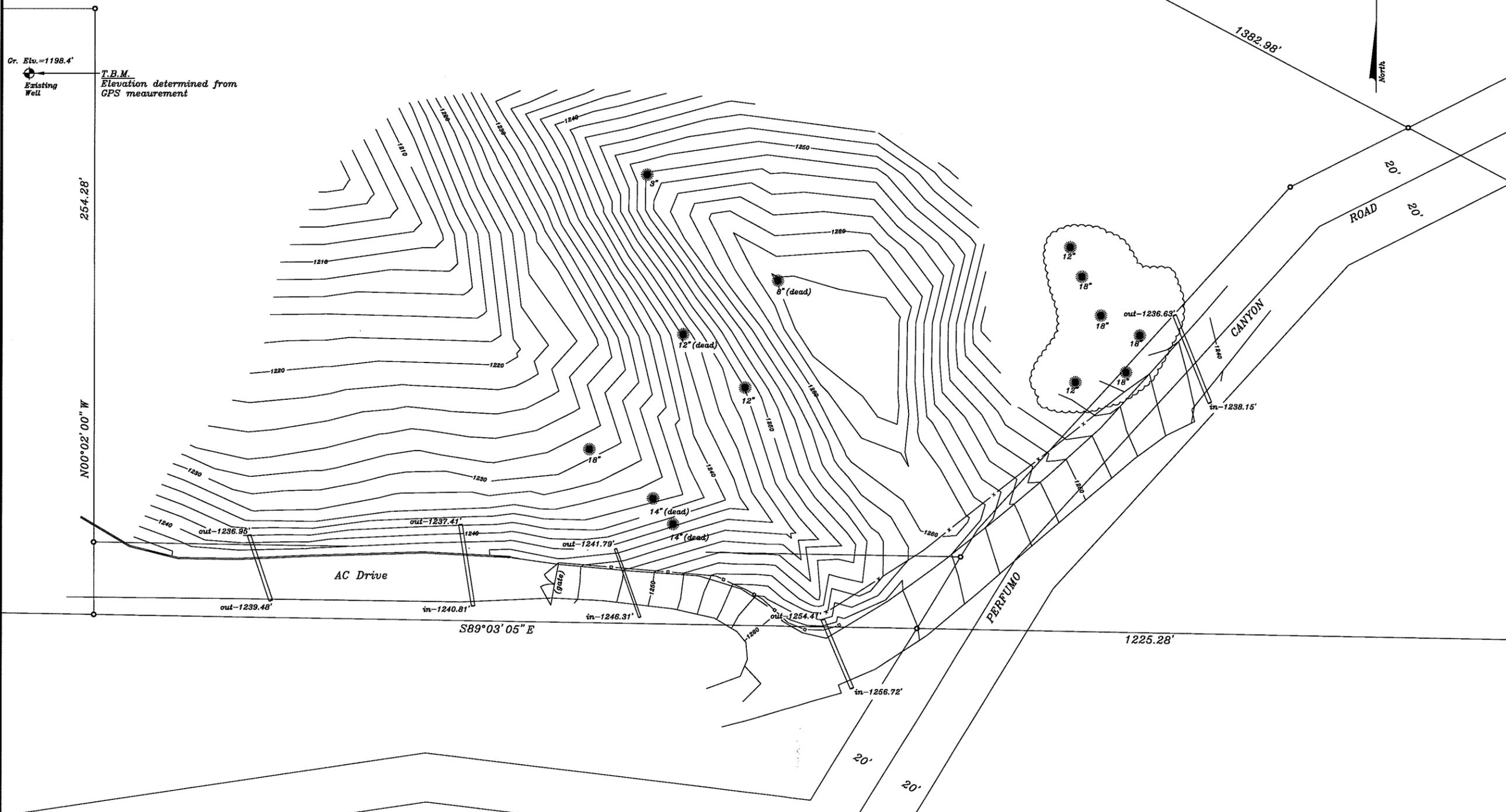
Drawn By: CJG, ARLS, EAG
 Checked By: CJG
 Date: August 17, 2015
 Scale: 1/4" = 1'-0"
 Job No.: 170-01-2014

Sheet Title:
COVER SHEET

Sheet No.:
T-1.0

LEGEND:

- Edge of Existing Pavement
- Centerline of Road
- Existing Barbed Wire Fence
- Existing Wood Fence
- Existing Pine Tree (approx. size noted)



REVISIONS	BY

DANNY F. HORN - Land Surveyor
 566 Spring Street
 Paso Robles, CA. 93446
 Office: (805) 239-0865 Fax: (805) 239-1849

REQUESTED BY:
Les Goodwin
 2131 Blue Heron View Ln
 Los Osos, CA. 93402
 (805) 528-4041

TOPOGRAPHICAL SURVEY
PORTION OF SECTION 2
T31S, R11E
PERFUMO CANYON
 A.P.N. - 076-043-004
 SAN LUIS OBISPO COUNTY, STATE OF CALIFORNIA

DRAWN: D.F.H.	CHECKED: J.A.H.
DATE: Dec. 2007	
SCALE: 1" = 20'	
JOB No: 1409	
SHEET	
1	
OF 1 SHEETS	

Grading and Drainage Notes:

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS SHOWN ON THE PLANS.
- NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY DEPARTMENT (COUNTY). A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE INSPECTOR TO GO OVER THE SPECIAL INSPECTION REPORTING REQUIREMENTS AND VERIFY THE SPECIAL INSPECTIONS ARE APPROVED. THE COUNTY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION. ANY CONSTRUCTION DONE WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE COUNTY WILL BE REJECTED AND WILL BE DONE AT THE CONTRACTOR'S RISK AND EXPENSE. THE ENGINEER OF RECORD TO PROVIDE WRITTEN VERIFICATION THAT THE EROSION/SEDIMENTATION CONTROL DEVICES ARE PROPERLY INSTALLED AND ARE BEING MONITORED BEFORE AND AFTER EACH STORM. OWNER TO CONTRACT WITH ENGINEER OF RECORD TO PROVIDE INSPECTION SERVICES IN ACCORDANCE WITH COUNTY REQUIREMENTS AS DESCRIBED.
- THE INSPECTOR, ACTING ON BEHALF OF THE COUNTY MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S ENGINEER.
- A COUNTY ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK PERFORMED WITHIN THE RIGHT-OF-WAY AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PLACEMENT OF SAFETY DEVICES SUCH AS FENCING, BARRICADES, SAFETY TAPE, ETC., AND SHALL FOLLOW ALL APPLICABLE INDUSTRIAL SAFETY REGULATIONS. THE COUNTY AND ITS OFFICIALS, THE ENGINEER, AND THE OWNER SHALL NOT BE RESPONSIBLE FOR ENFORCING SAFETY REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OR PROPER RESETTING OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS. ANY SURVEY MONUMENTS DESTROYED BY THE CONTRACTOR SHALL BE REPLACED IN ACCORDANCE WITH THE STATE LAND SURVEYORS ACT AT THE CONTRACTOR'S OWN EXPENSE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT "UNDERGROUND SERVICE ALERT" AT 1-800-442-2444 FOR LOCATION OF POWER, GAS, OIL, AND TELEPHONE UNDERGROUND FACILITIES. CONTRACTOR WILL ALSO BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE AGENCY FOR THE LOCATION OF ALL UNDERGROUND FACILITIES.
- THESE PLANS DO NOT AUTHORIZE SITE DISTURBANCE BEYOND THE LIMITS OF GRADING SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMISSION TO ENTER UPON ADJOINING PROPERTY IF NECESSARY TO GRADE PRIOR TO CONSTRUCTION. THE COUNTY ENGINEER DOES NOT AUTHORIZE ENTRY PER THESE APPROVED PLANS.
- ANY DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE DESIGN ENGINEER SHALL BE AT THE CONTRACTOR'S OWN RISK AND EXPENSE.
- NO GRADING SHALL OCCUR WITHIN 2 FEET OF THE PROPERTY LINES EXCEPT AS NECESSARY TO IMPROVE EXISTING CONDITIONS.
- EARTHWORK CUT/2300 CY FILL: 1200 CY NET: 2300 CY EXPORT
MAX CUT DEPTH: 14' MAX FILL DEPTH: 8'
AREA OF DISTURBANCE: 36220 SF
CUT AND FILL QUANTITIES ARE TO BE USED FOR DETERMINING PERMIT FEES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL EARTHWORK QUANTITIES FOR BIDDING PURPOSES. THE ENGINEER DOES NOT, EXPRESSLY OR BY IMPLICATION EXTEND ANY WARRANTY FOR EARTHWORK QUANTITIES. IT IS THE INTENT OF THE OWNER TO HAVE A BALANCED CUT AND FILL. EXCESS EARTHWORK TO BE DISTRIBUTED APPROPRIATELY AND IN ACCORDANCE WITH THE SOILS REPORT QMSITE.
12. THE CONTRACTOR SHALL PROVIDE DUST CONTROL DURING ALL PHASES OF THE WORK IN ACCORDANCE WITH COUNTY ORDINANCES.
- ALL GRADING SHALL BE CONDUCTED IN ACCORDANCE WITH CHAPTER 33 OF THE U.S.C., THE COUNTY GRADING ORDINANCE, AND THE RECOMMENDATIONS OF THE PROJECT SOILS REPORT PREPARED BY GEOSOLUTIONS, INC. ON JULY 26, 2008. PROJECT NUMBER: SLO669-2 & GEOLOGY INVESTIGATION SLO669-4, DATED JULY 18, 2008. SEPTIC DESIGN PER REPORT SLO669-4, DATED MAY 27, 2008
- OWNER SHALL CONTRACT WITH A CERTIFIED SOILS ENGINEER FOR INSPECTION AND COMPACTION TESTING DURING ROUGH AND FINISH GRADING OPERATIONS.
- MATERIAL TO BE USED AS BACK FILL OR EMBANKMENT SHALL BE APPROVED BY THE SOILS ENGINEER AND BE FREE OF OBJECTIONABLE MATERIAL, SUCH AS TREES, STUMPS, ROOTS, LOGS OR OTHERWISE DELETERIOUS MATERIAL. THE CONTRACTOR SHALL FOLLOW THE SITE DEVELOPMENT RECOMMENDATIONS AS NOTED IN THE PROJECT SOILS REPORT.
- COMPACTION TEST SHALL BE MADE ON SUB-GRADE MATERIAL AND MATERIAL PLACED AS SPECIFIED BY THE ENGINEER AND AS OUTLINED IN THE SOILS REPORT. SOIL TESTS SHALL BE MADE PRIOR TO THE PLACING OF STRUCTURAL MATERIAL.
- SOILS TESTS SHALL BE DONE IN ACCORDANCE WITH COUNTY STANDARDS AND SPECIFICATIONS. ALL TESTS MUST BE MADE WITHIN 15 DAYS PRIOR TO PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
- A REGISTERED CIVIL ENGINEER MUST CERTIFY THAT THE IMPROVEMENTS, WHEN COMPLETED, ARE IN ACCORDANCE WITH THE APPROVED PLANS. PRIOR TO THE REQUEST FOR FINAL INSPECTION, AS-BUILT PLANS ARE TO BE PREPARED AFTER CONSTRUCTION IS COMPLETE. THE CIVIL ENGINEER CERTIFYING THE IMPROVEMENTS AND PREPARING AS-BUILT PLANS SHALL BE PRESENT WHEN THE FINAL INSPECTION IS MADE.
- THE DRAINAGE SHOWN PER THIS PLAN SET HAS BEEN VERIFIED TO MEET THE APPROVED DRAINAGE FOR THE TRACT.

Schedule of Special Inspections:

- GEOTECHNICAL SPECIAL INSPECTION OF GRADING SHALL BE PROVIDED AS PER SECTION 1704.7 AND TABLE 1704.7 OF THE CBC; THE GEOTECHNICAL SPECIAL INSPECTOR SHOULD BE UNDER THE DIRECTION OF THE SOILS ENGINEER - GEOSOLUTIONS, INC.
- GEOTECHNICAL SPECIAL INSPECTION FOR SITE RETAINING WALLS REQUIRED

Reports Required:

FINAL REPORTS REQUIRED IN ACCORDANCE WITH TABLE 1704.7.
FAD CERTIFICATION AND COMPACTION REPORT REQUIRED - A SOILS OR CIVIL ENGINEER TO DETERMINE GRADING CONFORMS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE.

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT AND MAINTENANCE OF ALL EROSION CONTROL DEVICES AS SPECIFIED BY THE COUNTY ENGINEER. THESE DEVICES SHALL BE IN PLACE PRIOR TO BEGINNING OF WORK. IN THE EVENT THAT THE DEVICES ARE NOT PERMANENTLY IN PLACE THEY SHALL BE PLACED IN THE EVENT A FORECAST FOR RAIN EXCEEDS 30%. AN EMERGENCY CREW SHALL BE AVAILABLE 24 HRS A DAY IN THE EVENT AN EROSION PROBLEM SHOULD OCCUR. A RESPONSIBLE PERSON AND HIS PHONE NUMBER SHALL BE NAMED HERE UPON.
NAME: LES GOODWIN
PHONE NUMBER: CELL 459-0114
- IN THE EVENT THAT DURING GRADING, CONSTRUCTION OR DEVELOPMENT OF THE PROJECT, AN ARCHAEOLOGICAL RESOURCES ARE UNCOVERED, ALL WORK SHALL BE HALTED UNTIL THE COUNTY HAS REVIEWED THE RESOURCES FOR THEIR SIGNIFICANCE. IF HUMAN BURIALS ARE ENCOUNTERED, THE COUNTY CORONER (781-4513) SHALL BE CONTACTED IMMEDIATELY. THE APPLICANT MAY BE REQUIRED TO PROVIDE ARCHAEOLOGICAL STUDIES AND/OR MITIGATION MEASURES.
- ALL GRADING SHALL BE IN COMPLIANCE WITH THE RECOMMENDATIONS CONTAINED IN THE PROJECT SOILS REPORT. THIS REPORT AND ALL ADDENDUMS TO THE REPORT SHALL BE CONSIDERED A PART OF THESE PLANS.
- DURING CONSTRUCTION AND GROUND DISTURBANCE ACTIVITIES, THE APPLICANT SHALL IMPLEMENT ALL OF THE RECOMMENDATIONS INCLUDED IN THE ENGINEERING GEOLOGY REPORT AS WELL AS ANY AMENDMENTS TO SUCH REPORT APPROVED BY THE DEPARTMENT OF PLANNING AND BLDG.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL DURING ALL PHASES OF THE WORK.
- THE GRADING PERMIT HOLDER AND THE OWNER SHALL COMPLY WITH DUST CONTROL MEASURES REQUIRED BY THE COUNTY OF SAN LUIS OBISPO. THE STANDARD DUST CONTROL MEASURES INCLUDE BUT MAY NOT BE LIMITED TO:
A. DUST CONTROL MEASURES CAPABLE OF PREVENTING THE MIGRATION OF DIRT AND DUST OFF-SITE, IN A MANNER ACCEPTABLE TO THE CITY OF MORRO BAY SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL CONSTRUCTION, EARTH MOVING, AND GRADING PHASES OF THE PROJECT. FAILURE TO DO SO WILL RESULT IN THE ISSUANCE OF A "STOP WORK" ORDER WHICH WILL NOT BE RELEASED UNTIL SUCH TIME AS AN ADEQUATE CORRECTIVE ACTION IS IMPLEMENTED.
B. DURING THE CLEARING, EARTH MOVING, AND GRADING PHASES OF THE PROJECT WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED IN SUFFICIENT QUANTITIES TO PREVENT DUST FROM LEAVING THE SITE. IN ADDITION, THE ENTIRE AREA OF DISTURBED SOILS SHALL BE WET DOWN DURING THE EARLY MORNING HOURS AND AT THE END OF EACH DAY IN SUCH A MANNER AS TO CREATE A CRUST.
C. AFTER THE COMPLETION OF THE CLEARING, GRADING, OR EXCAVATION PHASE, THE ENTIRE AREA OF DISTURBED SOILS SHALL BE TREATED IMMEDIATELY BY WATERING TO PREVENT WIND PICK-UP OF THE SOIL. THIS MAY BE ACCOMPLISHED BY ONE OF THE FOLLOWING METHODS:
1. THE SEEDING AND OR WATERING OF THE SITE UNTIL SUCH TIME AS THE GROUND COVER HAS TAKEN ROOT.
2. THE SPREADING OF SOIL BINDERS.
3. THE WETTING DOWN OF THE AREA IN SUCH A MANNER AS TO CREATE A CRUST ON THE SURFACE AND THE REPEATED SOAKING OF THE AREA, AS NECESSARY, TO MAINTAIN THE CRUST AND PREVENT SOIL BLOWING.
D. DURING THE CONSTRUCTION PHASE OF THE PROJECT, WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED TO KEEP ALL AREAS OF VEHICULAR MOVEMENT DAMP ENOUGH TO PREVENT DUST RAISED FROM LEAVING THE SITE. AS A MINIMUM, THIS WILL INCLUDE THE WETTING DOWN OF SUCH AREAS IN THE LATE MORNING HOURS AND AT THE CLOSE OF EACH DAY'S ACTIVITIES. INCREASED WATERING WILL BE REQUIRED WHENEVER THE WIND SPEED EXCEEDS 15 MILES PER HOUR.
E. THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING AS NECESSARY TO PREVENT THE TRANSPORT OF DUST OFF-SITE. THIS PERSON'S DUTY SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THE NAME AND TELEPHONE NUMBER OF SUCH PERSON OR PERSONS SHALL BE PROVIDED TO THE COUNTY OF SAN LUIS OBISPO BUILDING DIVISION.
F. ALL EARTH MOVING VEHICLES, HAULING TO AND FROM THE SITE, SHALL BE COVERED WITH A TARP.
- THE OWNER LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HYDROSEEDING OR LANDSCAPING ALL DISTURBED SURFACES OTHER THAN PAVED OR GRAVEL SURFACES, PRIOR TO FINAL INSPECTION. HYDROSEED MIX TO BE "BASIC EROSION CONTROL MIX" SUPPLIED BY S&S SEEDS (800) 684-0436.

SLO CO DEPT. OF PLANNING & BUILDING GRADING GENERAL NOTES:

- APPLICABLE CODES:**
2013 CALIFORNIA BUILDING CODE (2012 IBC WITH 2013 CALIF. AMENDMENTS)
2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24, C.C.R.
2013 CALIFORNIA PLUMBING CODE (2012 UPC WITH 2013 CALIF. AMENDMENTS)
2013 CALIFORNIA MECHANICAL CODE (2012 IMC WITH 2013 CALIF. AMENDMENTS)
2013 CALIFORNIA ELECTRICAL CODE (2011 NEC WITH 2013 CALIF. AMENDMENTS)
2013 CALIFORNIA ENERGY CODE (2013)
2013 CALIFORNIA GREEN BUILDING CODE
2013 CALIFORNIA FIRE CODE (2012 IFC WITH 2013 CALIF. AMENDMENTS)
CCR TITLE 9, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

GRADING & EROSION CONTROL NOTES:

- NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEPARTMENT OF PUBLIC WORKS SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO STARTING OF CONSTRUCTION AND OF THE TIME LOCATION OF THE PRECONSTRUCTION CONFERENCE. ANY CONSTRUCTION DONE WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE DEPARTMENT OF PUBLIC WORKS WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.
- ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE COUNTY OF SAN LUIS OBISPO STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
- SOILS TESTS SHALL BE DONE IN ACCORDANCE WITH THE COUNTY STANDARDS AND SPECIFICATIONS SECTION 11-S&L1403 AND 11-S&L1404. ALL TESTS MUST BE MADE WITHIN 15 DAYS PRIOR TO THE PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
- COMPACTION TESTS SHALL BE MADE ON SUB-GRADE MATERIAL, AND MATERIAL AS SPECIFIED BY THE ENGINEER. SAID TESTS SHALL BE MADE PRIOR TO THE PLACING OF THE NEXT MATERIAL.
- SUBGRADE MATERIAL SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 85% IN THE ZONE BETWEEN FINISHED SUBGRADE ELEVATION AND ONE FOOT BELOW. ALL MATERIAL IN FULL SECTIONS BELOW THE ZONE MENTIONED ABOVE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION.
- A REGISTERED CIVIL ENGINEER MUST CERTIFY THAT THE IMPROVEMENTS WHEN COMPLETED ARE IN ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR A FINAL INSPECTION. AS-BUILT PLANS ARE TO BE PREPARED AFTER CONSTRUCTION IS COMPLETE. THE CIVIL ENGINEER CERTIFYING THE IMPROVEMENTS AND PREPARING AS-BUILT PLANS WILL BE PRESENT WHEN THE FINAL INSPECTION IS MADE.
- AN INSPECTION AGREEMENT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
- A COUNTY ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE COUNTY RIGHT-OF-WAY. THE ENCROACHMENT PERMIT MAY ESTABLISH ADDITIONAL TRAFFIC CONTROL REQUIREMENTS.
- THE COUNTY INSPECTOR ACTING ON BEHALF OF THE COUNTY DEPARTMENT OF PUBLIC WORKS MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPER'S ENGINEER.
- THE STRUCTURAL SECTION SHALL BE BASED ON SOILS TESTS MADE AT THE TIME OF CONSTRUCTION AND ON A TRAFFIC INDEX OF FOUR ALL ROADS.
- HYDROSEEDING SHALL BE PLACED ON ALL DISTURBED SURFACES OTHER THAN PAVED OR GRAVEL SURFACES, PRIOR TO FINAL INSPECTION.
- FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE COUNTY, IF ENVIRONMENTAL PERMITS FROM THE U.S. ARMY CORPS OF ENGINEERS, THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD/STATE WATER RESOURCES CONTROL BOARD, OR THE CALIFORNIA DEPARTMENT OF FISH & GAME ARE REQUIRED, THE DEVELOPER SHALL:
a) SUBMIT A COPY OF ALL SUCH COMPLETED PERMITS TO THE COUNTY DEPARTMENT OF PUBLIC WORKS OR
b) DOCUMENT THAT THE REGULATORY AGENCIES DETERMINED THAT SAID PERMIT IS NOT REQUIRED. PRIOR TO ACCEPTANCE OF THE COMPLETED IMPROVEMENTS FOR COUNTY MAINTENANCE AND RELEASE OF IMPROVEMENT SECURITY, ANY MITIGATION MONITORING REQUIRED BY SAID PERMITS WILL REMAIN THE RESPONSIBILITY OF THE DEVELOPER.

Sheet Index

SHEET No.	SHEET TITLE
C-1	TITLE SHEET & GENERAL NOTES
C-2	SITE UTILITY PLAN & SITE DISTANCE SURVEY
C-3	SITE GRADING AND DRAINAGE
C-4	CONSTRUCTION DETAILS
C-5	EROSION CONTROL PLAN
C-6	EROSION CONTROL GENERAL NOTES AND DETAILS
C-7	EROSION CONTROL DETAILS

Legend

ABBREVIATIONS:

PROPERTY / ROW LINE	PROPERTY / ROW LINE
AB - AGGREGATE BASE	RED - ELECTROPHONE CABLE
AC - ASPHALT CONCRETE	OH-E - OVERHEAD ELECTRIC
BLDG - BUILDING	NEW FENCE
BM - BENCHMARK	EX. FENCE
BS - BOTTOM STEP	PG&B - PG&E BOX
C - CURBLINE	TEL - TELEPHONE BOX/PEDEST.
CO - CLEANOUT	CATV - CABLE T.V. BOX
CONC - CONCRETE	ELEC - ELECTRIC BOX
DWV - DOWNGRADE	ST - STREET LIGHT
ELEC - ELECTRICAL	JP - JOINT POLE
LEV - ELEVATION	LP - LOW POINT
EDGE OF PAVEMENT	MAX - MAXIMUM
EXST - EXISTING	MIN - MINIMUM
FC - FIRE DEPARTMENT CONNECTION	OH-E - OVERHEAD ELEC
FG - FINISHED GRADE	UG - UNDERGROUND
FL - FLOWLINE	PA - PAVEMENT
FINC - FINISH	PVC - POLYETHYLENE CHLORIDE
FS - FINISHED SURFACE (PAVEMENT)	PWT - PAVEMENT
GS - GRADE BREAK	R - RADIOS
GP - GRADING PLAN	REQ - REQUIRED
IP - HIGH POINT	SLOCC - SAN LUIS OBISPO COUNTY
LF - LINE&FRET	SS - SANITARY SEWER
LP - LOW POINT	STD - STANDARD
MAX - MAXIMUM	TB - TRUCK BLOCK
MIN - MINIMUM	TBA - TO BE ABANDONED IN PLACE
OH-E - OVERHEAD ELEC	TR - TO BE REMOVED
UG - UNDERGROUND	TRP - TO BE PROTECTED
PA - PAVEMENT	TC - TOP OF CURB
PVC - POLYETHYLENE CHLORIDE	TEL - TELEPHONE
PWT - PAVEMENT	TEMP - TEMPORARY
R - RADIOS	TF - TOP OF FOOTING
REQ - REQUIRED	TO - TOP OF GRADE
SLOCC - SAN LUIS OBISPO COUNTY	TS - TOP OF STEP
SS - SANITARY SEWER	TRP - TYPICAL
STD - STANDARD	TRW - TOP OF WALL
TB - TRUCK BLOCK	UTL - UTILITY POLE
TBA - TO BE ABANDONED IN PLACE	VERT - VERTICAL
TR - TO BE REMOVED	WL - WATER LINE
TRP - TO BE PROTECTED	WW - WATER VALVE
TC - TOP OF CURB	WWM - WELDED WIRE MESH
TEL - TELEPHONE	

Topographic Map & APN

LOT 4, SERPENTINE LANE
A.P.N. - 074-043-004 SAN LUIS OBISPO COUNTY,
STATE OF CALIFORNIA

Contacts:

GEOTECHNICAL ENGINEER
GeoSolutions, Inc.
220 High Street
San Luis Obispo, CA 93401
(805) 543-8539

Project Name:

THE RUDACK RESIDENCE
PREFUME CANYON ROAD
SAN LUIS OBISPO, CA



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DO NOT SCALE THESE DRAWINGS.

The General Contractor shall verify all construction documents, site dimensions and conditions, and all existing utility locations and shall notify Goodwin Design of any discrepancies or inconsistencies prior to starting work.

Revisions:

Drawn By:

SG

Checked By:

Date:

AUGUST 2015

Scale:

AS NOTED

Job No.:

RUDACK

Sheet Title:

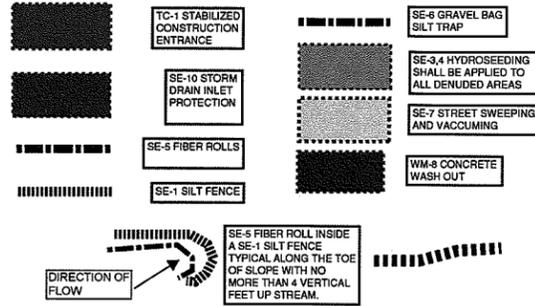
TITLE AND GENERAL NOTES

Sheet No.:

C-1.0



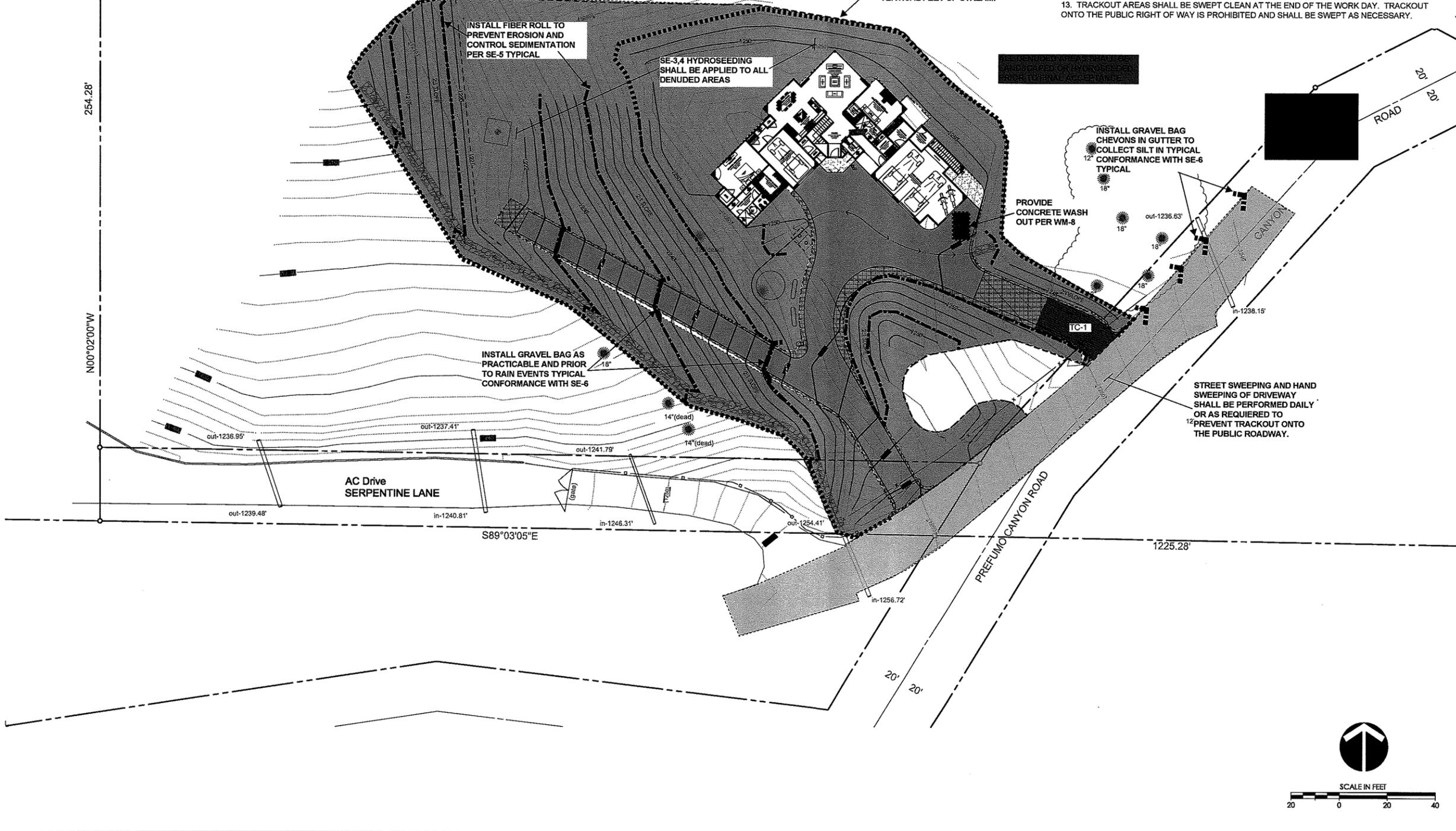
LEGEND



EROSION CONTROL NOTES:

1. ALL EROSION CONTROL NOTES ON DETAIL SHEETS SHALL APPLY TO THIS PLAN.
2. ALL PERIMETER PROTECTIONS I.E. SILT FENCING AND FIBER ROLLS ARE CONSIDERED PHASE ONE CONTROLS AND SHALL BE INSTALLED PRIOR TO THE BEGINNING OF WORK ON THE SITE AS PRACTICABLE.
3. GRAVEL BAGS AND FIBER ROLLS IN GRADED AREAS SHALL BE INSTALLED AS PRACTICABLE AND IN CONFORMANCE WITH RAIN CONDITIONS.
4. HYDROSEED, MULCH AND WIND PROTECTION MEASURES SHALL BE APPLIED IF AREAS ARE NOT TO RECEIVE FURTHER WORK WITH IN 14 DAYS.
5. PERMANENT HYDROSEED OR LANDSCAPING SHALL BE PLACED AFTER ALL GRADING WORK IS PERFORMED AND DEEMED COMPLETE. RECYCLABLE FIBER ROLLS MAY REMAIN IN PLACE AFTER WORK COMPLETION.
6. THE CONTRACTOR OF RECORD SHALL BE RESPONSIBLE CHARGE FOR THE INSTALLATION OF ALL EROSION CONTROL DEVICES.
7. ALL DETAILS FOR EROSION DEVICES ARE SHOWN ON DETAIL SHEETS.
8. HYDROMULCH, HYDROSEED AND OR WIND EROSION PREVENTION MEASURES PER BMP'S SE-3, 4, 6 OR SE-1 SHALL BE PUT IN PLACE AS SOON AS PRACTICABLE. ALL STOCKPILES SHALL BE COVERED IN THE EVENT OF RAIN.
9. THE OWNER SHALL CONTRACT WITH THE EROSION CONTROL PLAN DEVELOPER ROBERT CARNES QSD #00161 (805-440-9888) TO TRAIN THE INSTALLERS AND PROVIDE INITIAL INSTALLATION INSPECTION OF THE EROSION CONTROL DEVICES.
10. THE ECP DEVELOPER IS NOT RESPONSIBLE FOR THE INSTALLATION OR PERFORMANCE OF THE EC DEVICES. THIS PLAN IS A LIVING DOCUMENT AND SHALL BE UPDATED BY THE INSTALLER AS TO WHEN DEVICES ARE INSTALLED AND MODIFICATION TO THE PLAN AS NECESSARY.
11. IN CASE OF EMERGENCY, CONTACT: LES GOODWIN, PHONE NUMBER: 459-0114. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PERMITTING AGENCY REQUIREMENTS.
12. A CONCRETE WASH OUT SHALL BE ESTABLISHED ON SITE OR CONCRETE DELIVERY TRUCKS SHALL BE EQUIPPED WITH PROBABLE WASHOUT DEVICES.
13. TRACKOUT AREAS SHALL BE SWEEPED CLEAN AT THE END OF THE WORK DAY. TRACKOUT ONTO THE PUBLIC RIGHT OF WAY IS PROHIBITED AND SHALL BE SWEEPED AS NECESSARY.

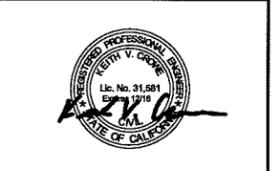
Gr. Elev.=1198.4'
Existing Well
T.B.M.
Elevation determined from GPS measurement



KVC
CIVIL ENGINEERING & HYDROLOGY
Keith V. Crowe, P.E.
Consulting Engineer
P.O. Box 832, Ukiah, CA 95421-0832
Phone & Fax: (805) 894-8976
KVCrowe@charter.net

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THE RUDACK RESIDENCE
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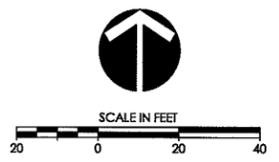


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Date: AUGUST 2015
Scale: AS NOTED
Job No.: RUDACK

Sheet Title:
EROSION CONTROL PLAN
Sheet No.:
C-5.0



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GENERAL EROSION NOTES:

1. PROHIBITION OF MOST NON-STORM WATER DISCHARGES

ONLY STORM WATER FROM THE PROJECT SITE SHALL BE ALLOWED TO FLOW INTO THE PUBLIC STREET SYSTEM. CLEAN, NON-CHLORINATED WATER FROM THE FLUSHING OF FIRE HYDRANTS, WATER MAINS, AND STORM DRAINS MAY BE DISCHARGED TO THE STREET IF IT IS NOT ALLOWED TO COLLECT DIRT, DEBRIS AND TRASH WHILE FLOWING TO THE STREET.

2. SOURCES OF STORM WATER POLLUTANTS

STORM WATER POLLUTANTS INCLUDE SOIL SEDIMENT AND NUTRIENTS, OIL, GREASE, TOXIC POLLUTANTS, HEAVY METALS, PAINT, AND STUCCO. SOURCES OF STORM WATER POLLUTANTS INCLUDE SOIL EROSION BY WATER AND/OR WIND, CLEARING OF VEGETATION, GRADING, VEHICLE AND EQUIPMENT FUELINGS AND MAINTENANCE, WASHING OF CONCRETE TRUCKS, MIXERS AND HANDLING REQUIREMENT, PAINTS, SOLVENTS, ADHESIVES, LANDSCAPING WORK, ROOFING AND BUILDING MATERIALS, AND PETROLEUM PRODUCTS.

3. EROSION AND SEDIMENT CONTROLS

A. COVER EXPOSED STOCKPILES OF SOILS, CONSTRUCTION MATERIALS, AND LANDSCAPING MATERIALS WITH HEAVY PLASTIC SHEETING.

B. IN LANDSCAPING AREAS WHERE THE VEGETATION HAS NOT ESTABLISHED GROWTH AND TAKEN HOLD, CONSTRUCT SANDBAG OR DIRT BERMS OR SILT FENCES AROUND THEIR PERIMETER TO INSURE THAT WATER WILL BE CONTAINED INSIDE THE LANDSCAPING AREA AND THAT IT WILL NOT BE CONVEYED TO A STORM DRAIN INLET.

C. RE-VEGETATE AREAS WHERE LANDSCAPING HAS DIED OR NOT TAKEN HOLD.

D. DIVERT STORM WATER RUNOFF AROUND DISTURBED SOILS WITH BERMS OR DIRT SWALES.

4. OTHER CONTROLS

A. WASTE DISPOSAL

1. KEEP SOLID WASTE DISPOSAL CONTAINERS COVERED TO PREVENT ENTRY OF STORM WATER.
2. PROVIDE FOR THE WEEKLY (OR MORE FREQUENT, AS NECESSARY) DISPOSAL OF WASTE CONTAINERS.
3. PROVIDE CONTAINERS AT CONVENIENT LOCATIONS AROUND THE SITE.

B. SWEEPING OF SITE

1. PROVIDE WEEKLY (OR MORE FREQUENT, AS NECESSARY) SWEEPING BY HAND OR MECHANICAL MEANS TO KEEP THE PAVED AREAS OF THE SITE FREE OF DUST, DIRT, AND DEBRIS.
2. DISPOSE OF ACCUMULATED DIRT IN WASTE CONTAINERS, OR HAUL IT OFF THE SITE TO A LANDFILL.

C. SANITARY SEPTIC DISPOSAL

PORTABLE TOILETS AND OTHER SANITARY FACILITIES SHALL BE SERVICED WEEKLY (OR MORE FREQUENT, AS NECESSARY) AND PUMPED CLEAN BY A WASTE DISPOSAL COMPANY. NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED OF IN A PORTABLE TOILET OR IN THE ON-SITE SANITARY SEWER.

D. SPILLS

1. STORE ADEQUATE ABSORBENT MATERIAL, RAGS, BROOMS, SHOVELS, AND WASTE CONTAINERS ON THE SITE TO CLEAN-UP SPILLS OR MATERIALS SUCH AS FUEL, PAINT SOLVENTS, OR CLEANERS. CLEAN UP MINOR SPILLS IMMEDIATELY.
2. FOR REPORTABLE QUANTITIES OF A HAZARDOUS OR TOXIC SUBSTANCES, SECURE THE SERVICES OF QUALIFIED PERSONNEL FOR CLEAN-UP AND DISPOSAL.

E. CONTROL OF ALLOWABLE NON-STORM WATER DISCHARGES

LANDSCAPING IRRIGATION, EROSION CONTROL MEASURES, PIPE FLUSHING AND TESTING PAVEMENT WASHING, AND DE-WATERING ARE ALLOWED IF THEY CANNOT FEASIBLY BE ELIMINATED, COMPLY WITH THIS PLAN, DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS, AND ARE NOT REQUIRED TO BE PERMITTED BY THE LOCAL REGIONAL WATER QUALITY CONTROL BOARD.

F. VEHICLES AND EQUIPMENT

1. FIX LEAKS OF FUEL, OIL, AND OTHER SUBSTANCES IMMEDIATELY.
2. PERFORM REFUELING AND SERVICE OF VEHICLES OR EQUIPMENT OFF-SITE WHEN POSSIBLE. IF REFUELING OR SERVICE OF EQUIPMENT IS PERFORMED ON-SITE, THEN PROVIDE AN IMPERVIOUS, CONTAINED AREA WHERE ANY SPILLS CAN BE CONTAINED WITHOUT FLOWING TO A STORM WATER INLET OR INTO THE GROUND.
3. USE DRIP PANS TO CATCH LEAKS AND SMALL SPILLS.

G. CONCRETE TRUCKS, MIXERS, AND HAULING EQUIPMENT

1. DISPOSE OF WASHOUT FROM THE WASHING OF CONCRETE TRUCKS AT ASSIGNED WASHOUT AREAS.
2. PROVIDE A HOLDING TANK TO RECEIVE ANY WASHOUT FROM CONCRETE EQUIPMENT. DISPOSAL OF TANK CONTENTS SHOULD BE CONDUCTED BY A WASTE HAULING FIRM.
3. PROVIDE A DESIGNATED AREA FOR WASHING ANY VEHICLES OR EQUIPMENT; DRAINAGE FROM THIS AREA SHOULD FLOW TO THE HOLDING TANK.

H. LANDSCAPING OPERATIONS

1. USE ONLY THE MINIMUM AMOUNT OF LANDSCAPING FERTILIZERS, NUTRIENTS, AND OTHER CHEMICALS THAT ARE NEEDED.
2. DO NOT OVER WATER FERTILIZED OR TREATED LANDSCAPE AREAS, MINIMIZE RUNOFF OF IRRIGATION WATER FROM LANDSCAPING.

I. STORM WATER INLETS

KEEP ALL ON-SITE STORM WATER INLETS CLEAN AND FREE OF DIRT, SILT, AND DEBRIS, ETC. IN THE EVENT THAT SEDIMENT AND DEBRIS MAY FLOW TO AN INLET, PROVIDE A 6-INCH (MINIMUM) SANDBAG BERM AROUND THE INLET TO TRAP THE DIRT AND DEBRIS AND ALLOW ONLY CLEAN STORM WATER TO ENTER THE INLET (EROSION CONTROL PLAN).

5. INSPECTION BY CONTRACTOR & ENGINEER OF RECORD

- A. REGULAR INTERVAL INSPECTION AND INSPECTION BEFORE AND AFTER STORM**
1. VISUALLY INSPECT THE SITE WEEKLY TO INSURE THAT STORM WATER INLETS ARE FREE OF DIRT AND DEBRIS.
 2. BEFORE A STORM, INSPECT THE SITE TO INSURE THAT STORM WATER POLLUTION CONTROL MEASURES ARE IN PLACE.
 3. AFTER A STORM, INSPECT ALL STORM WATER INLETS TO INSURE THAT THEY ARE CLEAR OF DIRT AND DEBRIS. CLEAN THOSE STORM WATER INLETS THAT ARE NOT CLEAR AND FREE OF DEBRIS.
 4. THE REGIONAL WATER BOARD MAY REQUIRE THE DISCHARGER TO CONDUCT ADDITIONAL SITE INSPECTIONS, SUBMIT REPORTS AND CERTIFICATIONS, OR TO PERFORM SAMPLING AND ANALYSIS.
 5. THE DISCHARGER (PERMITTEE) IS REQUIRED TO CONDUCT INSPECTION OF THE CONSTRUCTION SITE PRIOR TO ANTICIPATED STORM EVENTS AND AFTER ACTUAL STORM EVENTS TO IDENTIFY AREAS CONTRIBUTING TO A STORM WATER DISCHARGE AND TO EVALUATE WHETHER MEASURES TO REDUCE POLLUTANT LOADINGS IDENTIFIED IN THE SWPPP ARE ADEQUATE AND PROPERLY IMPLEMENTED IN ACCORDANCE WITH THE TERMS OF THE GENERAL PERMIT AND WHETHER ADDITIONAL CONTROL PRACTICES ARE NEEDED.

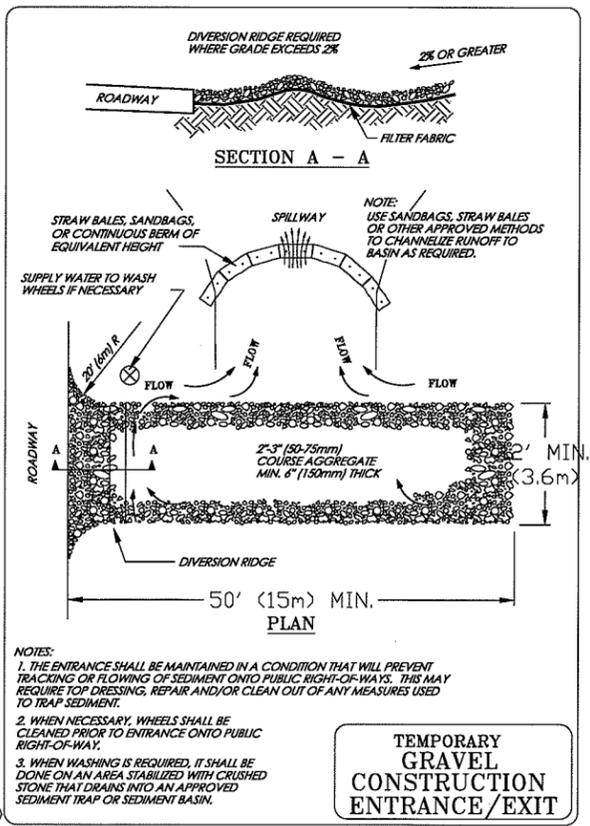
GENERAL EROSION NOTES: (CONTINUED)

6. MAINTENANCE OF CONTROLS

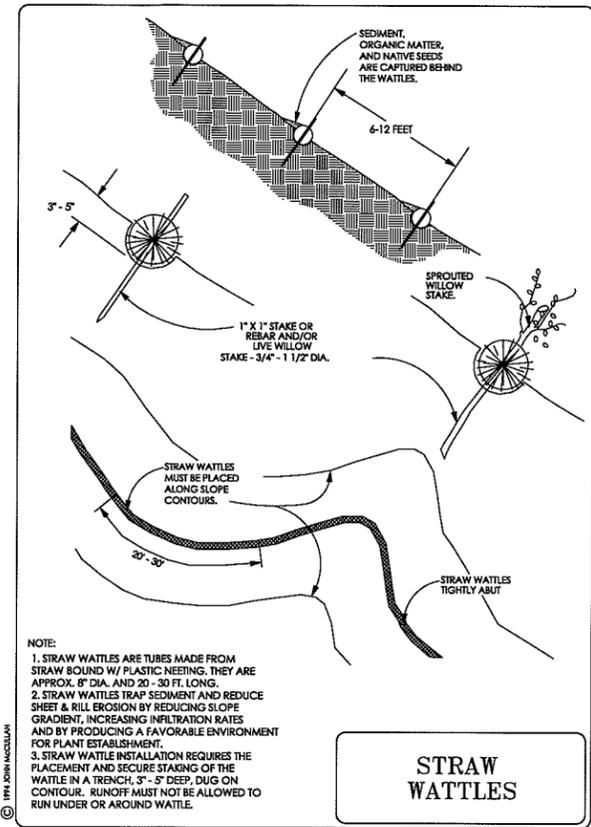
- A. MAINTENANCE AND REPAIR**
ALL CONTROLS AND MEASURES INDICATED ON THIS PLAN SHOULD BE MAINTAINED IN GOOD AND EFFECTIVE CONDITION BY THE CONTRACTOR. IF ANY CONTROL OF MEASURES ARE DAMAGED OR REMOVED, THEY SHOULD BE PROMPTLY REPAIRED OR RESTORED.
- B. PLAN REVISIONS**
IF CONSTRUCTION ACTIVITY OR CONDITIONS CHANGE FROM THOSE SHOWN IN THIS PLAN THEN THIS PLAN SHOULD BE REVISED TO REFLECT THE CURRENT CONDITIONS.

7. FINAL STABILIZATION AND POST-CONSTRUCTION CONTROLS
A. AFTER CONSTRUCTION HAS BEEN COMPLETED, THE SITE SHALL BE SWEEPED CLEAN, STORM WATER INLETS (GRATES AND BASIN) SHALL BE CLEANED, AND ALL WASTE AND LEFT-OVER MATERIALS SHALL BE REMOVED FROM THE SITE.
B. ALL LANDSCAPING AND PLANTING AREAS SHOULD BE WELL MAINTAINED TO PREVENT EROSION. AVOID OVER-WATERING OF LANDSCAPING.
C. ALL PAVED AREAS SHOULD BE SWEEPED WEEKLY EITHER BY HAND OR BY MECHANICAL MEANS TO KEEP THE SITE CLEAR OF DIRT, DUST, AND DEBRIS.
D. WASTE MATERIALS ON-SITE SHOULD BE STORED IN COVERED CONTAINERS WHICH ARE CLEANED OUT REGULARLY.
E. TESTING OF FIRE HYDRANTS ON-SITE SHALL NOT BE CONDUCTED UNTIL THE AREA WHERE THE WATER DISCHARGES HAS BEEN SWEEPED CLEAN OF DIRT AND DEBRIS.
F. STORM DRAIN LINES SHOULD BE CHECKED AND CLEANED ANNUALLY TO KEEP THEM CLEAN AND CLEAR OF DEBRIS.
G. ALL ON-SITE STORM WATER INLETS SHOULD BE CLEARLY MARKED WITH 4" BLUE LETTERS ON WHITE FIELD "STORM WATER ONLY, THIS DRAINS TO THE OCEAN".

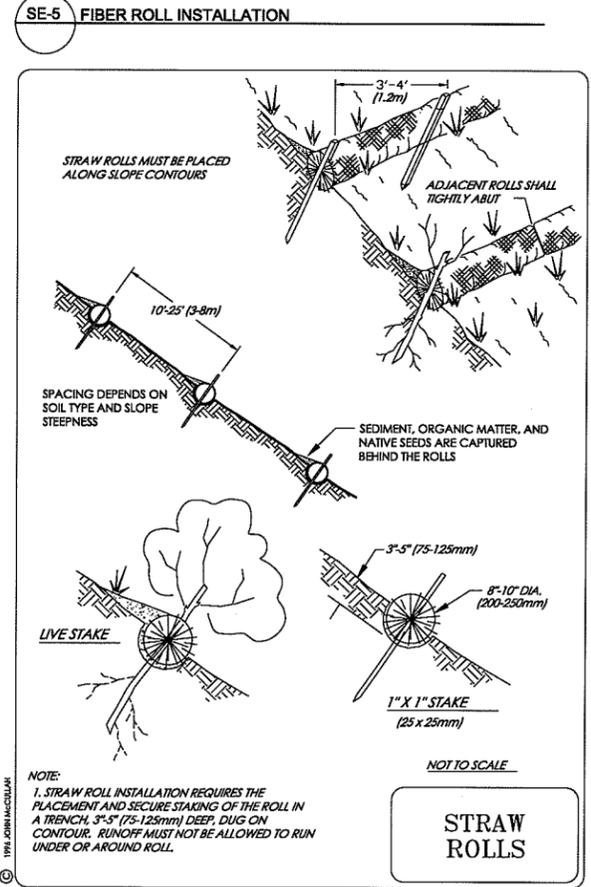
8. ALL CONSTRUCTION ACTIVITIES INCLUDING GRADING, VEGETATION REMOVAL, STOCKPILING, EQUIPMENT STORAGE ETC. SHALL REMAIN OUTSIDE OF THE 20-FOOT CREEK SETBACK LINE AT ALL TIMES UNLESS AN EXCEPTION FOR SUCH CONSTRUCTION HAS BEEN APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. THE CREEK SETBACK LINE SHALL BE ESTABLISHED BY THE CITY'S NATURAL RESOURCE MANAGER AND MARKED IN THE FIELD. THE SETBACK AREA SHALL BE FENCED WITH ORANGE CONSTRUCTION FENCING, AND SHALL BE IN PLACE PRIOR TO THE BEGINNING OF CONSTRUCTION AND THROUGHOUT THE DURATION OF CONSTRUCTION.



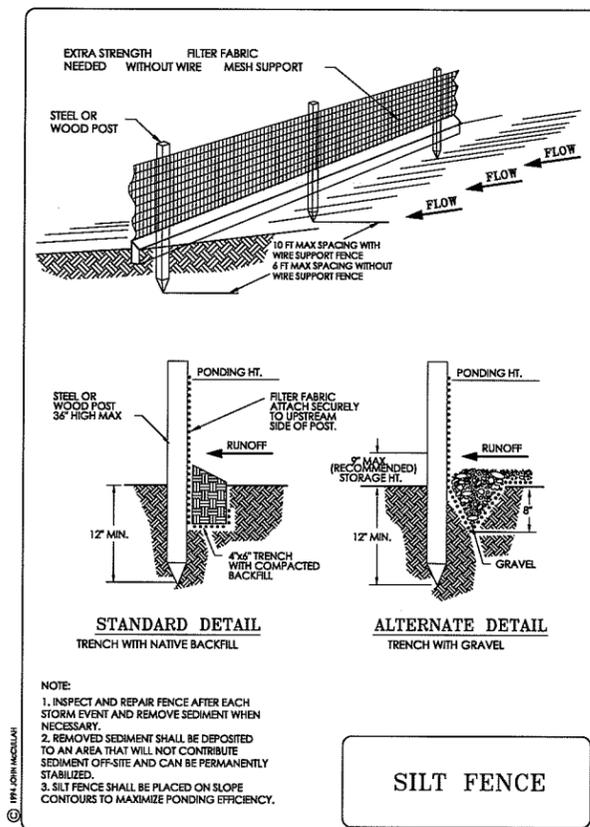
TC-1 STABILIZED CONSTRUCTION ENTRANCE



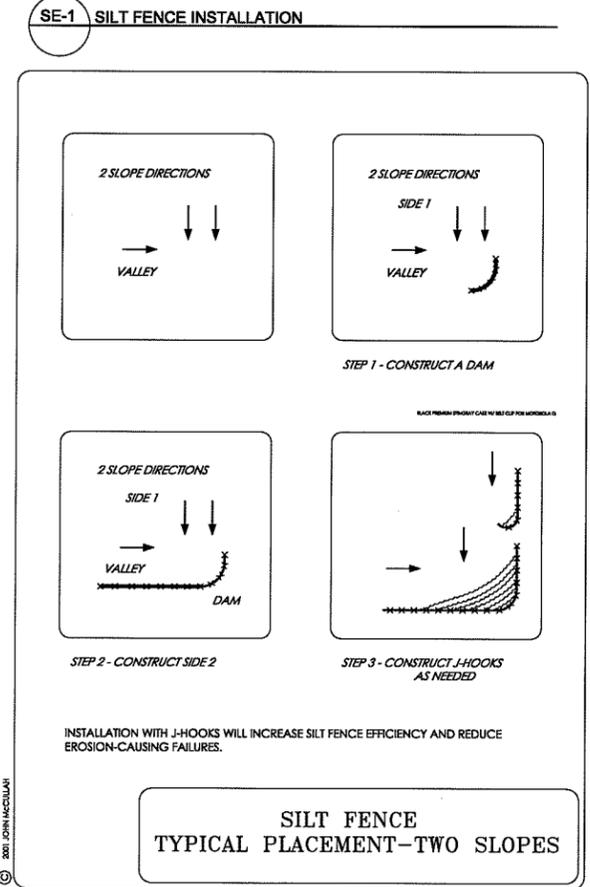
SE-5 FIBER ROLL INSTALLATION



SE-5 FIBER ROLL INSTALLATION



SE-1 SILT FENCE INSTALLATION

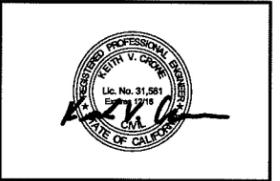


SE-1 SILT FENCE INSTALLATION

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PREFUME CANYON ROAD
SAN LUIS OBISPO, CA



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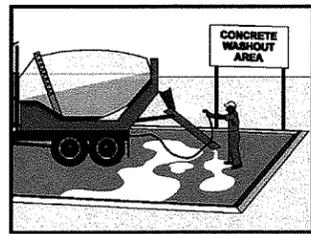
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Date: AUGUST 2015
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Sheet Title:
EROSION CONTROL GENERAL NOTES & DETAILS

Sheet No.:
C-6.0

Concrete Waste Management WM-8



Objectives

EC	Erosion Control	
SE	Sediment Control	
TC	Tracking Control	
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>

Legend:

Primary Objective
 Secondary Objective

Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from concrete waste by conducting washout onsite, performing onsite washout in a designated area, and training employee and subcontractors.

Suitable Applications
Concrete waste management procedures and practices are implemented on construction projects where:

- Concrete is used as a construction material or where concrete dust and debris result from demolition activities
- Slurries containing portland cement concrete (PCC) or asphalt concrete (AC) are generated, such as from saw cutting, coring, grinding, grooving, and hydro-concrete demolition
- Concrete trucks and other concrete-coated equipment are washed onsite
- Mortar-mixing stations exist
- See also NS-8, Vehicle and Equipment Cleaning

Limitations
Offsite washout of concrete wastes may not always be possible.

Targeted Constituents

Sediment	<input checked="" type="checkbox"/>
Nutrients	
Trash	
Metals	<input checked="" type="checkbox"/>
Bacteria	
Oil and Grease	
Organics	

Potential Alternatives
None



Gravel Bag Berm SE-6



Objectives

EC	Erosion Control	<input checked="" type="checkbox"/>
SE	Sediment Control	<input checked="" type="checkbox"/>
TR	Tracking Control	
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	

Legend:

Primary Objective
 Secondary Objective

Description and Purpose
A gravel bag berm is a series of gravel-filled bags placed on a level contour to intercept sheet flows. Gravel bags pond sheet flow runoff, allowing sediment to settle out, and release runoff slowly as sheet flows, preventing erosion.

Suitable Applications
Gravel bag berms may be suitable:

- As a linear sediment control measure:
 - Below the toe of slopes and erodible slopes
 - As sediment traps at culvert/pipe outlets
 - Below other small cleared areas
 - Along the perimeter of a site
 - Down slope of exposed soil areas
 - Around temporary stockpiles and spoil areas
 - Parallel to a roadway to keep sediment off paved areas
 - Along streams and channels
- As a linear erosion control measure:

Targeted Constituents

Sediment	<input checked="" type="checkbox"/>
Nutrients	
Trash	
Bacteria	
Oil and Grease	
Organics	

Potential Alternatives

- SE-1 Silt Fence
- SE-5 Fiber Roll
- SE-8 Sandbag Barrier
- SE-9 Straw Bale Barrier



SE-1 SILT FENCE INSTALLATION

Incorrect - Do Not layout "perimeter control" silt fences along property lines. All sediment laden runoff will concentrate and overwhelm the system.

Correct - Install J-hooks

SILT FENCE PLACEMENT FOR PERIMETER CONTROL

Discrete segments of silt fence, installed with J-hooks or 'smiles' will be much more effective.

FILE: SE-1 PERIMETER CONTROL

SE-6 GRAVEL BAG BARRIER DETAIL

PLAN VIEW

BACK OF SIDEWALK
BURLAP SACKS TO OVERLAP ONTO CURB.
CATCH BASIN
CURB INLET
BACK OF CURB
RUNOFF
SPILLWAY
GRAVEL FILLED BAGS STACKED TIGHTLY.

SECTION A - A

BACK OF SIDEWALK
GRAVEL FILLED BAGS ARE STACKED TIGHTLY.
CATCH BASIN
CURB INLET
BACK OF CURB
SPILLWAY
PONDING HEIGHT
SIDEWALK
CATCH BASIN

CURB AND GUTTER SEDIMENT BARRIER

NOTES:

- PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
- SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL LAYERED AND PACKED TIGHTLY.
- LEAVE A ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
- INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

FILE: SE-6M1

WM-8 CONCRETE WASTE MANAGEMENT

SE-6 GRAVEL BAG INSTALLATION

SE-1 SILT FENCE INSTALLATION

SE-6 GRAVEL BAG BARRIER DETAIL

Stockpile Management WM-3



Objectives

EC	Erosion Control	
SE	Sediment Control	
TC	Tracking Control	
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>

Legend:

Primary Objective
 Secondary Objective

Description and Purpose
Stockpile Management procedures are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt binder (so called "cold mix" asphalt), and pressure treated wood.

Suitable Applications
Implement in all projects that stockpile soil and other materials.

Limitations
None identified.

Implementation
Protection of stockpiles is a year-round requirement. To properly manage stockpiles:

- Locate stockpiles a minimum of 50 ft away from concentrated flows of stormwater, drainage courses, and inlets.
- Protect all stockpiles from stormwater runoff using a temporary perimeter sediment barrier such as berms, dikes, fiber rolls, silt fences, sandbag, gravel bags, or straw bale barriers.

Targeted Constituents

Sediment	<input checked="" type="checkbox"/>
Nutrients	<input checked="" type="checkbox"/>
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives
None



Street Sweeping and Vacuuming SE-7



Objectives

EC	Erosion Control	
SE	Sediment Control	<input checked="" type="checkbox"/>
TC	Tracking Control	<input checked="" type="checkbox"/>
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	

Legend:

Primary Objective
 Secondary Objective

Description and Purpose
Street sweeping and vacuuming includes use of self-propelled and walk-behind equipment to remove sediment from streets and roadways, and to clean paved surfaces in preparation for final paving. Sweeping and vacuuming prevents sediment from the project site from entering storm drains or receiving waters.

Suitable Applications
Sweeping and vacuuming are suitable anywhere sediment is tracked from the project site onto public or private paved streets and roads, typically at points of egress. Sweeping and vacuuming are also applicable during preparation of paved surfaces for final paving.

Limitations
Sweeping and vacuuming may not be effective when sediment is wet or when tracked soil is caked (caked soil may need to be scraped loose).

- Implementation**
- Controlling the number of points where vehicles can leave the site will allow sweeping and vacuuming efforts to be focused, and perhaps save money.
 - Inspect potential sediment tracking locations daily.
 - Visible sediment tracking should be swept or vacuumed on a daily basis.

Targeted Constituents

Sediment	<input checked="" type="checkbox"/>
Nutrients	
Trash	<input checked="" type="checkbox"/>
Metals	<input checked="" type="checkbox"/>
Bacteria	<input checked="" type="checkbox"/>
Oil and Grease	<input checked="" type="checkbox"/>
Organics	<input checked="" type="checkbox"/>

Potential Alternatives
None



SE-10 STORM DRAIN PROTECTION

PLAN VIEW

DRAIN GRATE
CONCRETE BLOCK
GRAVEL BACKFILL 3/4" (20mm) MIN
LESS THAN 5% SLOPE

SECTION A - A

CONCRETE BLOCK
WIRE SCREEN OR FILTER FABRIC
OVERFLOW WATER
DROP INLET
PONDING HT.

BLOCK AND GRAVEL DROP INLET SEDIMENT BARRIER

NOTES:

- DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS, (LESS THAN 5%).
- EXCAVATE A BASIN OF SUFFICIENT SIZE ADJACENT TO THE DROP INLET.
- THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

FILE: SE-10M1

SE-10 STORM DRAIN PROTECTION

PLAN VIEW

BACK OF SIDEWALK
GRAVEL FILLED BAGS ARE STACKED TIGHTLY.
CATCH BASIN
CURB INLET
BACK OF CURB
SPILLWAY

SECTION A - A

BACK OF SIDEWALK
GRAVEL FILLED BAGS ARE STACKED TIGHTLY.
CATCH BASIN
CURB INLET
SIDEWALK
PONDING HEIGHT
SPILLWAY
CATCH BASIN

CURB INLET SEDIMENT BARRIER

NOTES:

- PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
- BAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL LAYERED AND PACKED TIGHTLY.
- LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
- INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

FILE: SE-10M1

WM-3 STOCKPILE MANAGEMENT

SE-7 STREET SWEEPING AND VACUUMING

SE-10 STORM DRAIN PROTECTION

SE-10 STORM DRAIN PROTECTION

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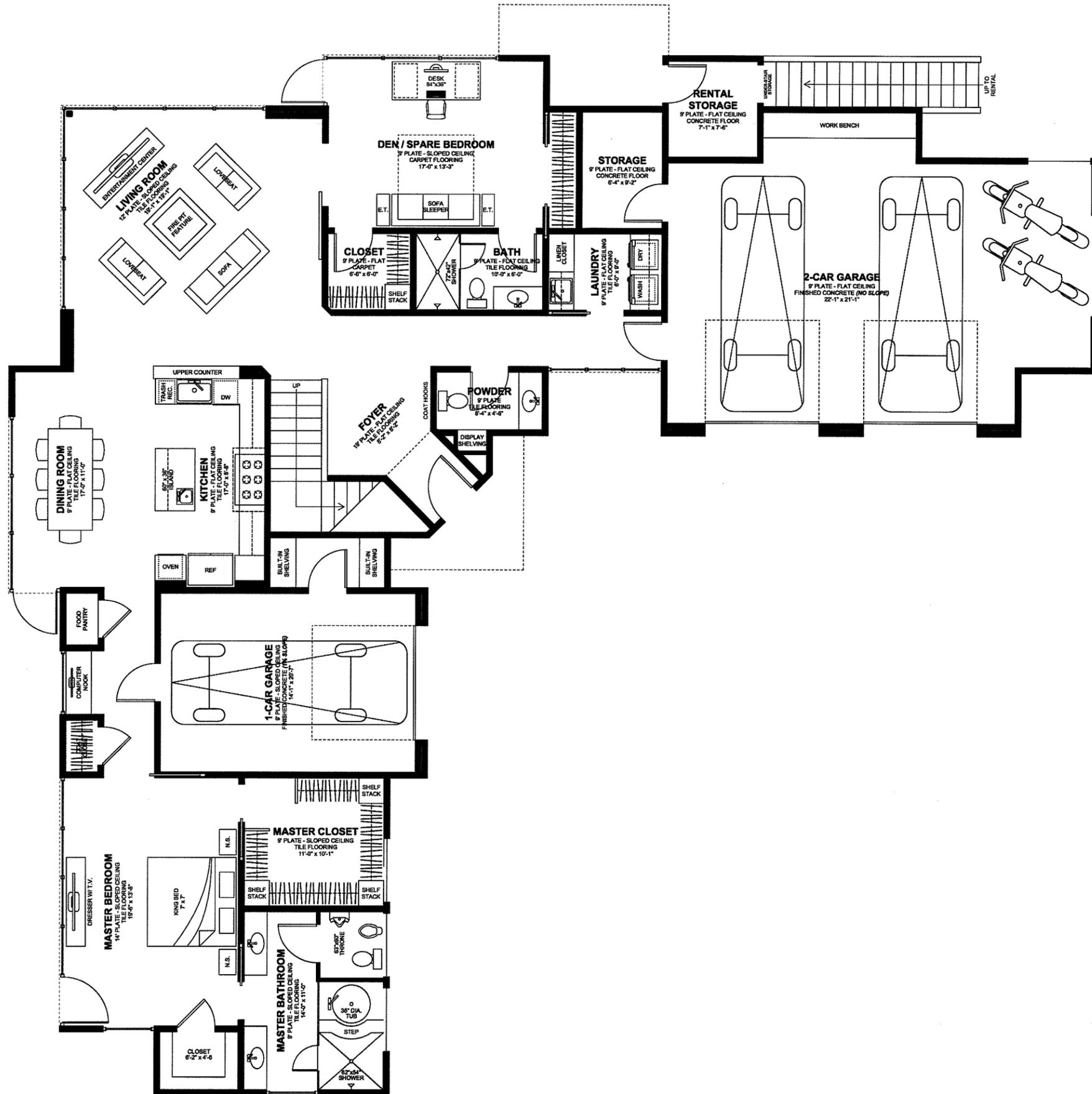
Sheet Title:

EROSION CONTROL DETAILS

Sheet No.:

C-7.0

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SEE SHEET T-3.2 'FLOOR PLAN NOTES' FOR FLOOR PLAN SPECIFIC REQUIREMENTS - SEE SHEETS T-3.1, T-3.4 FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.



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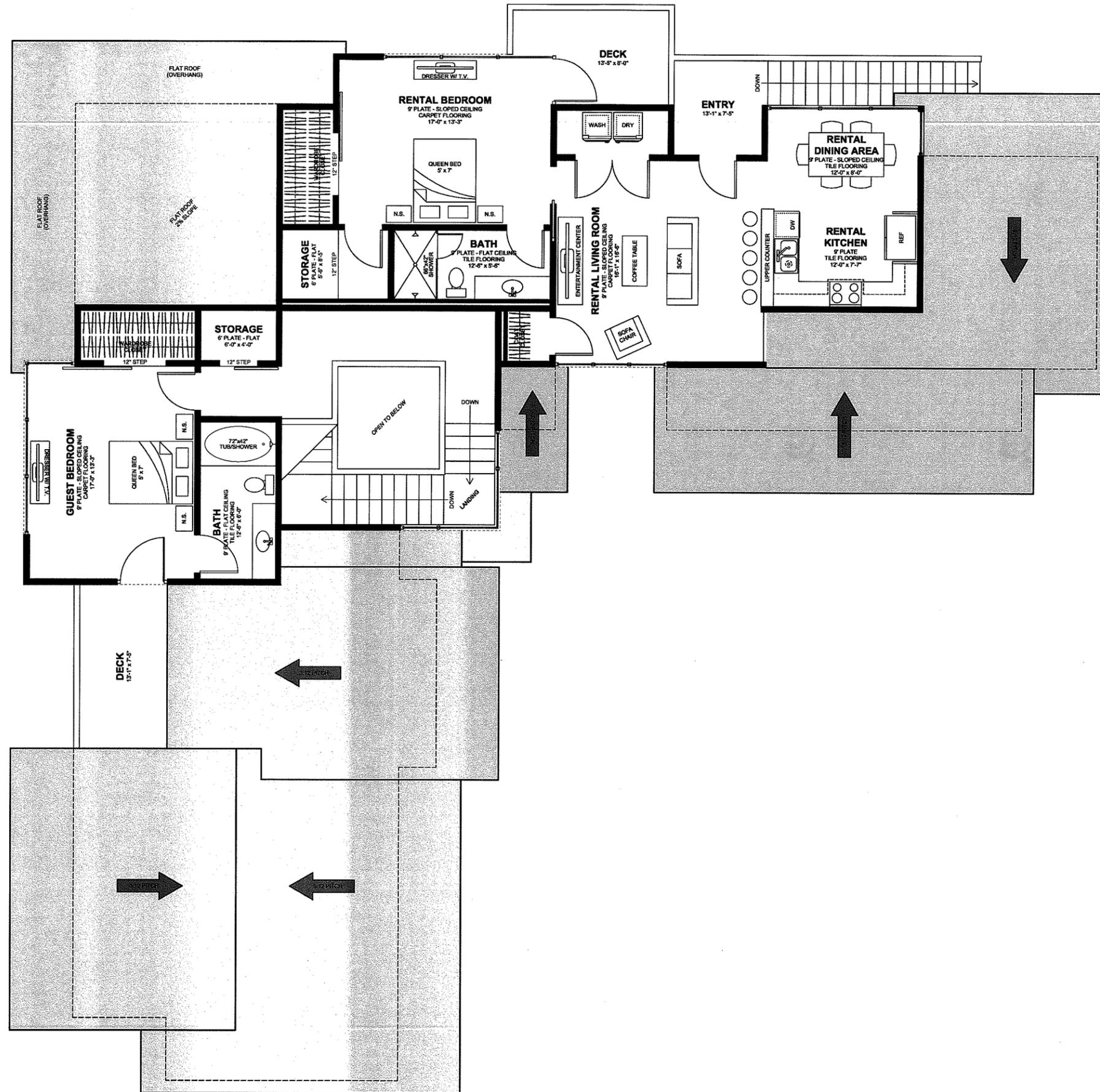
Revisions:

◇	August 17, 2015 (MUP Submittal)
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 Checked By: C/JG
 Date: August 17, 2015
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 Job No.: 170-01-2014

Sheet Title:
1ST STORY FLOOR PLAN

Sheet No.:
A-1.1



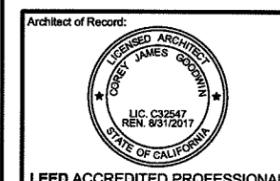
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San Luis Obispo, CA 93401
(805) 543-8539

Project Name:

THE RUDACK RESIDENCE
00000 PREFUMO CANYON ROAD
SAN LUIS OBISPO, CA
A.P.N. 076-043-004



Drawing Notes:

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Revisions:

◇	August 17, 2015 (MUP Submittal)
◇	
◇	
◇	

Drawn By: CJG, ARLS, EAG
Checked By: CJG
Date: August 17, 2015
Scale: 1/4" = 1'-0"
Job No.: 170-01-2014

Sheet Title:

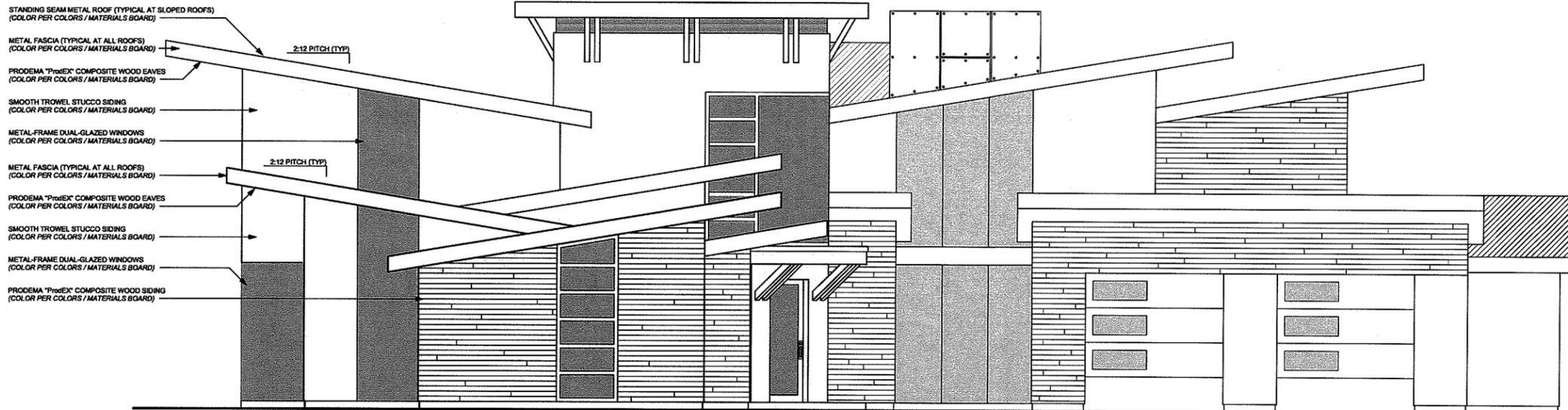
**2ND STORY FLOOR PLAN
(RENTAL)**

Sheet No.:

A-1.2

SEE SHEET T-3.2 'FLOOR PLAN NOTES' FOR FLOOR PLAN SPECIFIC REQUIREMENTS. SEE SHEETS T-3.1, T-3.4 FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.





STANDING SEAM METAL ROOF (TYPICAL AT SLOPED ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

METAL FASCIA (TYPICAL AT ALL ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

PRODEMA "ProDEX" COMPOSITE WOOD EAVES
(COLOR PER COLORS / MATERIALS BOARD)

SMOOTH TROWEL STUCCO SIDING
(COLOR PER COLORS / MATERIALS BOARD)

METAL-FRAME DUAL-GLAZED WINDOWS
(COLOR PER COLORS / MATERIALS BOARD)

METAL FASCIA (TYPICAL AT ALL ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

PRODEMA "ProDEX" COMPOSITE WOOD EAVES
(COLOR PER COLORS / MATERIALS BOARD)

SMOOTH TROWEL STUCCO SIDING
(COLOR PER COLORS / MATERIALS BOARD)

METAL-FRAME DUAL-GLAZED WINDOWS
(COLOR PER COLORS / MATERIALS BOARD)

PRODEMA "ProDEX" COMPOSITE WOOD SIDING
(COLOR PER COLORS / MATERIALS BOARD)

MAXIMUM BUILDING HEIGHT CALCULATION:
PER THE MUNICIPAL CODE, MAXIMUM ALLOWED HEIGHT IS 25'
FROM AVERAGE NATURAL GRADE.

NATURAL GRADE AT LOW POINT OF STRUCTURE: 1250.15'
NATURAL GRADE AT HIGH POINT OF STRUCTURE: 1262.09'
 $(1250.15' + 1262.09') / 2 = 1256.12' + 25' = 1281.12'$

AVERAGE NATURAL GRADE = 1256.12'
MAXIMUM ALLOWED HEIGHT = 1281.12'

TOP OF ROOF (MAX. ELEVATION): 1276.67'

2ND STORY CEILING (AT LOW POINT): 1269.17'

2ND STORY FINISHED FLOOR ELEVATION: 1261.17'

1ST STORY CEILING: 1259.67'

AVERAGE NATURAL GRADE: 1256.67'

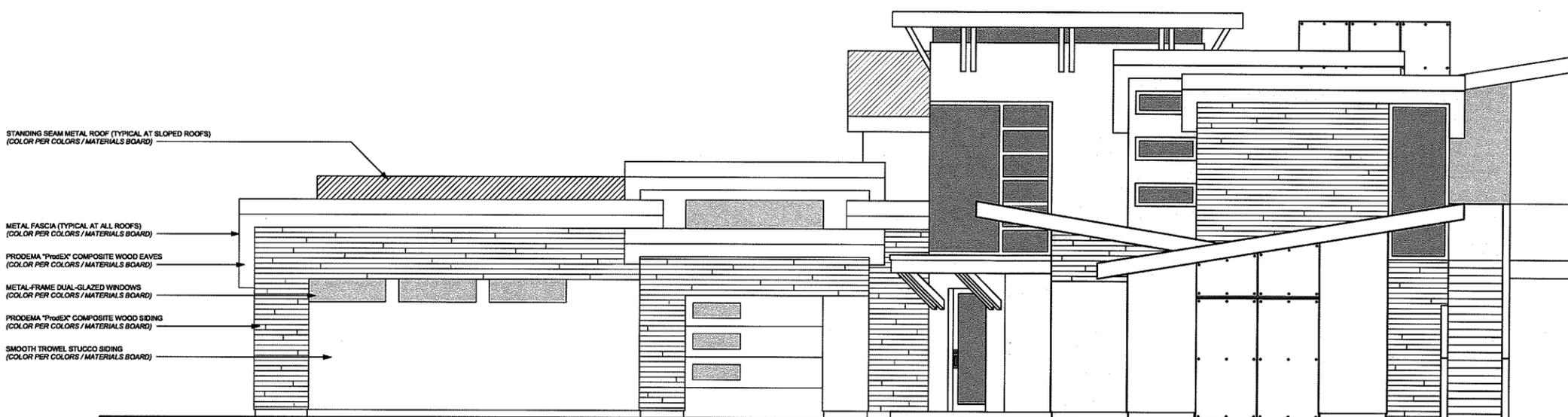
1ST STORY FINISHED FLOOR ELEVATION: 1250.67'
FINISHED GRADE: 1250.00'

20'-0" (FROM FINISHED GRADE)

6'-0"

6'-0"

SOUTHWEST ELEVATION



STANDING SEAM METAL ROOF (TYPICAL AT SLOPED ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

METAL FASCIA (TYPICAL AT ALL ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

PRODEMA "ProDEX" COMPOSITE WOOD EAVES
(COLOR PER COLORS / MATERIALS BOARD)

METAL-FRAME DUAL-GLAZED WINDOWS
(COLOR PER COLORS / MATERIALS BOARD)

PRODEMA "ProDEX" COMPOSITE WOOD SIDING
(COLOR PER COLORS / MATERIALS BOARD)

SMOOTH TROWEL STUCCO SIDING
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AVERAGE NATURAL GRADE: 1256.67'

1ST STORY FINISHED FLOOR ELEVATION: 1250.67'
FINISHED GRADE: 1250.00'

20'-0" (FROM FINISHED GRADE)

6'-0"

6'-0"

SOUTHEAST ELEVATION

goodwin design
architects

1435 Broad Street
San Luis Obispo, CA
(805) 543-0606

Contacts:

STRUCTURAL ENGINEER
Taylor & Syfan Consulting Engineers, Inc.
634 Clarion Court
San Luis Obispo, CA 93401
(805) 547-2000

GEOTECHNICAL ENGINEER
GeoSolutions, Inc.
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Architect of Record:

LEED ACCREDITED PROFESSIONAL

LEARNED ARCHITECT
CORREY JAMES GOODWIN
LIC. C32547
REN. 8/31/2017
STATE OF CALIFORNIA

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Drawn By: CJG, ARLS, EAG
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Date: August 17, 2015
Scale: 1/4" = 1'-0"
Job No.: 170-01-2014

Sheet Title:

ELEVATIONS (SW-SE)

Sheet No.:

A-2.1

CORTEN METAL PANEL SIDING
(COLOR PER COLORS / MATERIALS BOARD)

STANDING SEAM METAL ROOF (TYPICAL AT SLOPED ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

METAL FASCIA (TYPICAL AT ALL ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

PRODEMA "ProDEX" COMPOSITE WOOD EAVES
(COLOR PER COLORS / MATERIALS BOARD)

METAL-FRAME DUAL-GLAZED WINDOWS
(COLOR PER COLORS / MATERIALS BOARD)

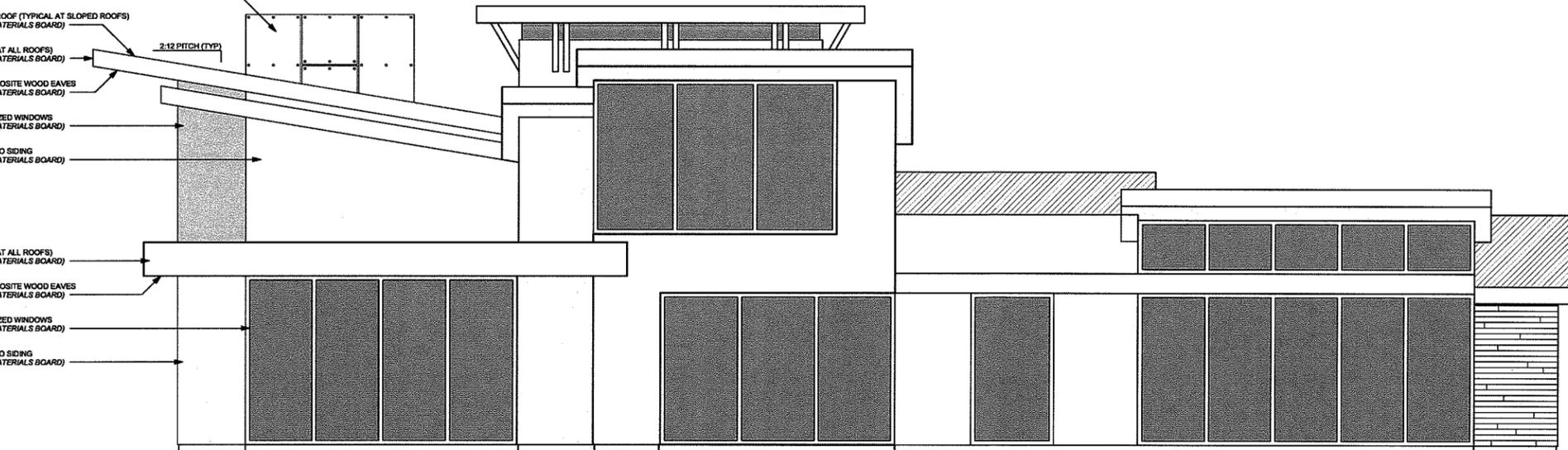
SMOOTH TROWEL STUCCO SIDING
(COLOR PER COLORS / MATERIALS BOARD)

METAL FASCIA (TYPICAL AT ALL ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

PRODEMA "ProDEX" COMPOSITE WOOD EAVES
(COLOR PER COLORS / MATERIALS BOARD)

METAL-FRAME DUAL-GLAZED WINDOWS
(COLOR PER COLORS / MATERIALS BOARD)

SMOOTH TROWEL STUCCO SIDING
(COLOR PER COLORS / MATERIALS BOARD)



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FINISHED GRADE: 1250.00'

20'-0" (FROM FINISHED GRADE)

NORTHWEST ELEVATION

STANDING SEAM METAL ROOF (TYPICAL AT SLOPED ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

METAL FASCIA (TYPICAL AT ALL ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

PRODEMA "ProDEX" COMPOSITE WOOD EAVES
(COLOR PER COLORS / MATERIALS BOARD)

CORTEN METAL PANEL SIDING
(COLOR PER COLORS / MATERIALS BOARD)

METAL-FRAME DUAL-GLAZED DOOR
(COLOR PER COLORS / MATERIALS BOARD)

METAL-FRAME DUAL-GLAZED WINDOWS
(COLOR PER COLORS / MATERIALS BOARD)

METAL FASCIA (TYPICAL AT ALL ROOFS)
(COLOR PER COLORS / MATERIALS BOARD)

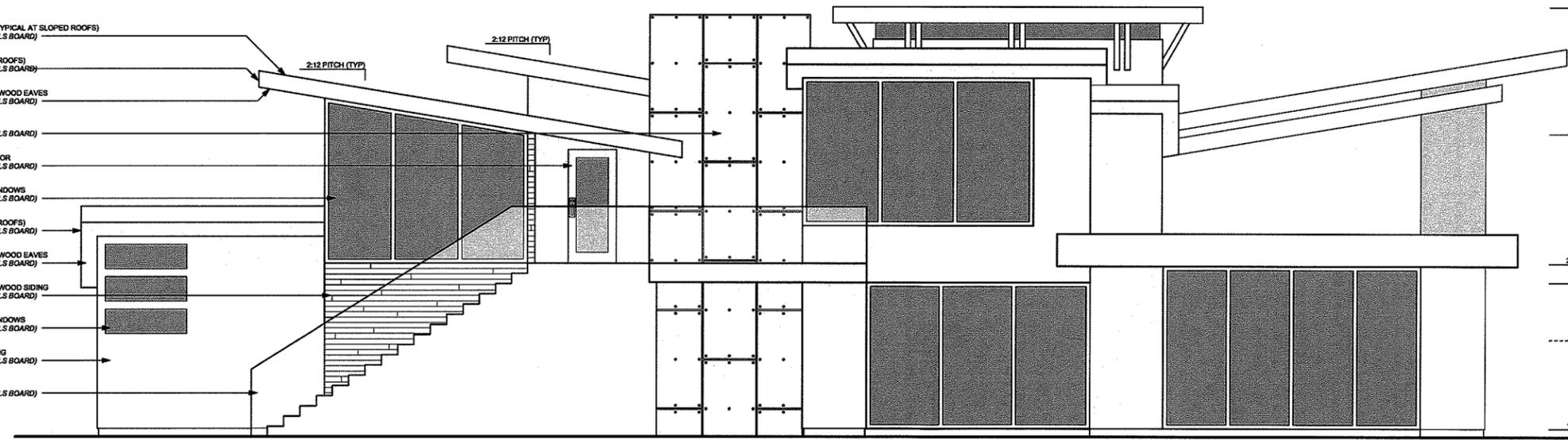
PRODEMA "ProDEX" COMPOSITE WOOD EAVES
(COLOR PER COLORS / MATERIALS BOARD)

PRODEMA "ProDEX" COMPOSITE WOOD SIDING
(COLOR PER COLORS / MATERIALS BOARD)

METAL-FRAME DUAL-GLAZED WINDOWS
(COLOR PER COLORS / MATERIALS BOARD)

SMOOTH TROWEL STUCCO SIDING
(COLOR PER COLORS / MATERIALS BOARD)

GLASS GUARDRAIL
(COLOR PER COLORS / MATERIALS BOARD)



MAXIMUM BUILDING HEIGHT CALCULATION:
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1ST STORY FINISHED FLOOR ELEVATION: 1250.67'
FINISHED GRADE: 1250.00'

20'-0" (FROM FINISHED GRADE)

NORTHEAST ELEVATION

goodwin design architects

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JAMES GOODWIN
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STATE OF CALIFORNIA

LEED ACCREDITED PROFESSIONAL

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Drawn By: C.J.G, A.R.L.S, E.A.G

Checked By: C.J.G

Date: August 17, 2015

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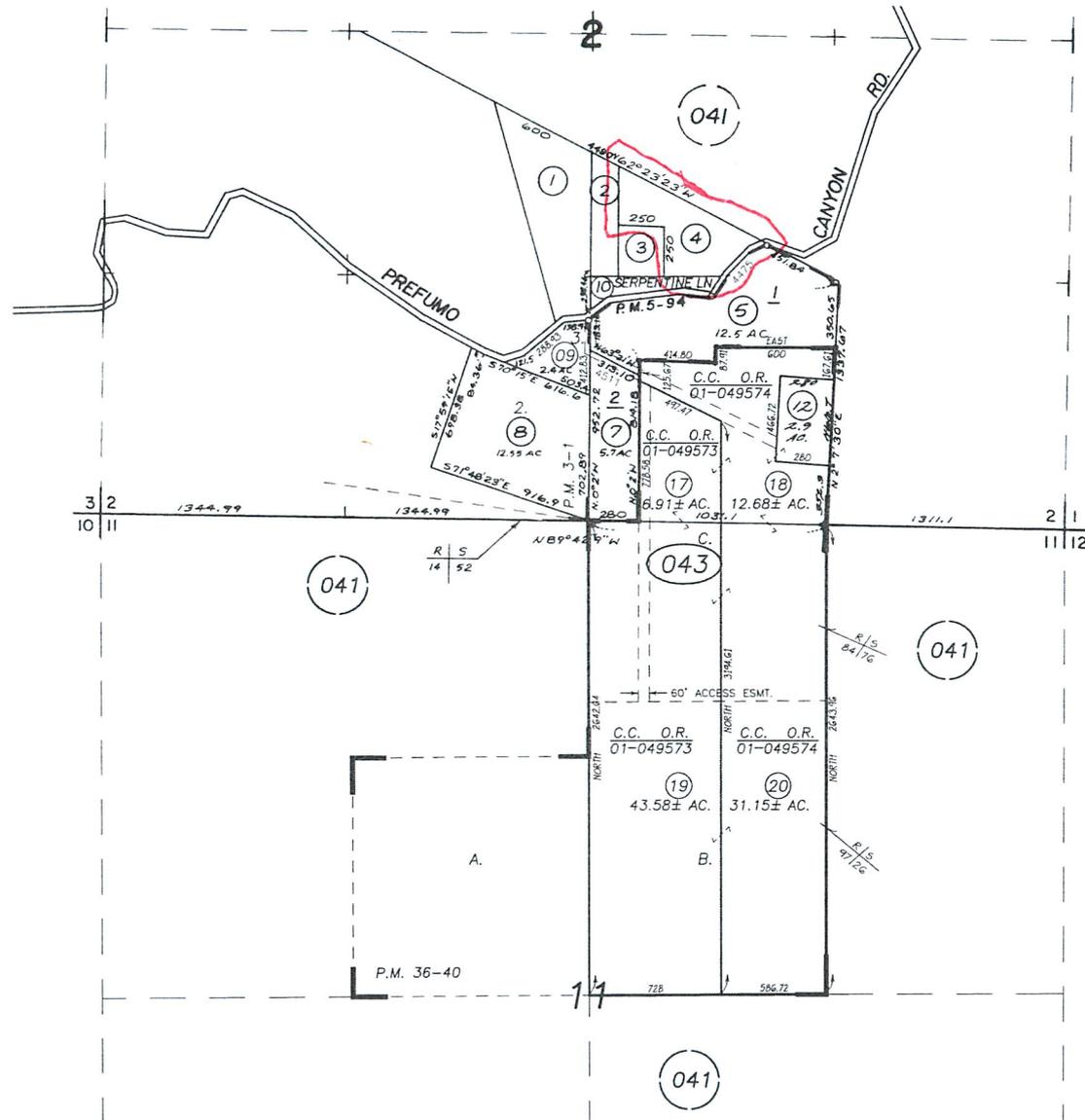
Job No.: 170-01-2014

Sheet Title:

**ELEVATIONS
(NW-NE)**

Sheet No.:

A-2.2

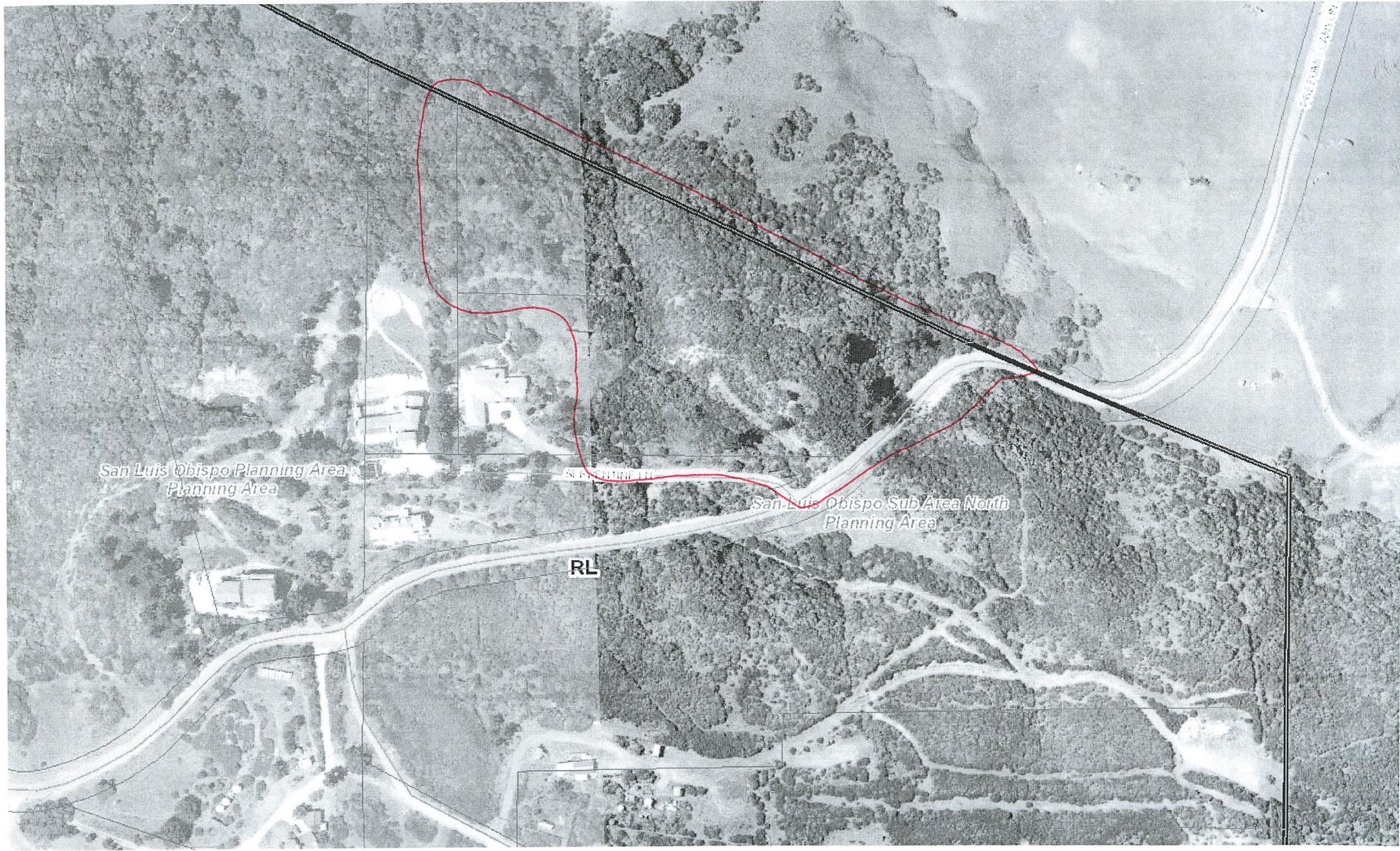


REVISIONS	
TECH	DATE
JAW	10-02-01
JAW	10-03-01
HK	03-04-02
ER	04-30-03



JAW
10-02-01 THIS MAP IS PREPARED FOR
ASSESSMENT PURPOSES ONLY.

T.31S. ; R.11E. ; SECTIONS 2 & 11. M.D.B.&M.



San Luis Obispo Planning Area

ST. PETER'S CHURCH

San Luis Obispo Sub Area North Planning Area

RL

CALLE FONDAS 2500' W



Parcel Summary Report For Parcel # 076-043-004

8/17/2015
2:12:58PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN RUDACK LES K
 3101 S OCEAN DRIVE #2104 HOLLYWOOD FL 33019-
OWN RUDACK BRENDAN C

Address Information

Status Address
A 00000 PREFUMO CANYON RD SLOSLO

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
T31S	R11E	02P	SLO Planning A	San Luis Obis	RL	GS		Y	S2	
APV.C83-	013	0001	SLO Planning A	San Luis Obis				N	S2	

Parcel Information

Status Description
Active T31S R11E PTN SEC 2 LESS 1/2 MIN RTS

Notes

SEE DOCUMENTS SCREEN FOR CERT CONDITONS SECOND SHEET. DEVELOPMENT NEEDS A MUP IN HWY CORRIDOR MOST LIKELY VISIBLE - APPLICANT NEEDS TO CUT A SMALL ROAD (~250 LENGTH) TO A WELL PAD TO DETERMINE IF A WELL CAN BE DEVELOPED ON THIS SITE. BASED ON PLANS PREPARED BY DANNY HORN - LAND SURVEYOR (JANUARY 2009), THE ACCESS ROAD WILL REQUIRE LESS THAN 50 CUBIC YARDS TO BE MOVED. THIS WILL NOT TRIGGER A PERMIT FROM THE COUNTY AND DOES NOT REQUIRE ANY ADDITIONAL MEASURES FROM THE SRA SECTION. SEDIMENTATION AND EROSION CONTROL DEVICES ARE REQUIRED PER SECTION 22.52.130.D FOR ALL DISTURBED AREAS AASOCIATED WITH WELL DEVELOPMENT AND ACCESS ROAD. MBW 1/13/2009 (SECTION 22.52.130.D PROVIDED TO APPLICANT AT COUNTER). SAN LUIS COASTAL

SAN LUIS OBISPO JT(27,40)
AREA NO. 21
NO. 02



Parcel Summary Report For Parcel # 076-043-004

8/17/2015
2:12:58PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

DRC2015-00029

REC

Primary Parcel

Description:

NEW 2,687 S.F. SFR WITH ATTACHED 906 S.F. GUEST SUITE., 1,133 S.F. ATTACHED GARAGES

PRE2014-00066

REC

Primary Parcel

Description:

NEW SFR AND ATTACHED RENTAL UNIT

S820023C

RDD

Related Parcel

Description:

PROP 2 COND CERT OF COMP