



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

## THIS IS A NEW PROJECT REFERRAL

**DATE:** 10/25/2016

**TO:** \_\_\_\_\_

**FROM:** Stephanie Fuhs (805-781-5721 or sfuhs@co.slo.ca.us)  
South County Team / Development Review

**PROJECT DESCRIPTION:** DRC2016-00029 EDWARDS – Proposed minor use permit to allow the modification of the building envelope for new single family residence. Project location is 1262 North Dana Foothill Road in Nipomo.  
APN: 090-012-007

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Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

**PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?**

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

**PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?**

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

**PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.**

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

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\_\_\_\_\_

Date

\_\_\_\_\_

Name

\_\_\_\_\_

Phone



# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

### APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit  Tree Permit  Minor Use Permit
- Conditional Use Permit/Development Plan  Plot Plan
- Curb, Gutter & Sidewalk Waiver  Other  Site Plan
- Surface Mining/Reclamation Plan  Zoning Clearance
- Amendment to approved land use permit  Variance

DRC2016-00029

EDWARDS KARI L

MINOR USE PERMIT

MODIFY BUILDING ENF FOR NEW  
RESIDENTIAL SFD  
SCSC/ SCSC  
RR

### APPLICANT INFORMATION Check box for contact

person assigned to this project

Landowner Name Todd Edwards Daytime Phone 805-431-0372  
 Mailing Address PO Box 6016, Santa Maria CA 93456 Zip Code 93454  
 Email Address: t.edwards@vedwards.com

Applicant Name Josh Gardner Daytime Phone 406-381-5835  
 Mailing Address 151 West Branch Street, Suite E, Arroyo Grande Zip Code 93420  
 Email Address: JKgcaddesign@gmail.com

Agent Name Josh Gardner Daytime Phone 406-381-5835  
 Mailing Address 151 West Branch Street, Suite E, Arroyo Grande Zip Code 93420  
 Email Address: Same

### PROPERTY INFORMATION

Total Size of Site: 10.01 Acres Assessor Parcel Number(s): 090-012-007  
 Legal Description: Tract 1516, Lot 5 15MB S7  
 Address of the project (if known): 1262 North Dana Foothill Road, Nipomo CA 93444  
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Turn R @ driveway when driving NW on N Dana Foothill Road, Gate # 0372  
 Describe current uses, existing structures, and other improvements and vegetation on the property:

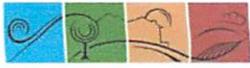
**PROPOSED PROJECT** Modify Building Env. New 4536 Sq. Ft. Main House with attached 1568 Sq. Ft. Garage and 1200 Sq. Ft. Unfinished Basement.  
 Describe the proposed project (inc. sq. ft. of all buildings): New 1200 Sq. Ft. ~~Garage~~ Secondary Dwelling  
New 2925 Sq. Ft. BARN Shop.

### LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature J Todd Edwards Date 10/14/16

**FOR STAFF USE ONLY**



# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): \_\_\_\_\_

Describe existing and future access to the proposed project site: Existing 12' wide asphalt driveway off North Dana Foothill removed and replaced with new proposed 16' wide concrete driveway

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: \_\_\_\_\_ South: \_\_\_\_\_  
East: \_\_\_\_\_ West: \_\_\_\_\_

**For all projects, answer the following:** (Note: Landscape area includes non-irrigated hydroseed areas and excludes outlying visual screening & mitigation tree plantings)  
Square footage and percentage of the total site (approximately) that will be used for the following:  
Buildings: 10,255 sq. feet 13 %      Landscaping: 41,600 sq. feet 53 %  
Paving: 25,980 sq. feet 34 %      Other (specify) See comment above  
Total area of all paving and structures: 36,235  sq. feet  acres  
Total area of grading or removal of ground cover: \_\_\_\_\_  sq. feet  acres  
Number of parking spaces proposed: 3      Height of tallest structure: 30' From lowest grade  
Number of trees to be removed: 0      Type: N/A  
Setbacks:      Front \_\_\_\_\_      Right \_\_\_\_\_      Left \_\_\_\_\_      Back \_\_\_\_\_

Proposed water source:  On-site well     Shared well     Other \_\_\_\_\_  
 Community System - List the agency or company responsible for provision: Rancho Nipomo Assoc.  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system     Other \_\_\_\_\_  
 Community System - List the agency or company responsible for sewage disposal: \_\_\_\_\_  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire

**For commercial/industrial projects answer the following:**  
Total outdoor use area: \_\_\_\_\_  sq. feet  acres  
Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

**For residential projects, answer the following:**  
Number of residential units: 2      Number of bedrooms per unit: 3 Main House 2 2nd Dwelling  
Total floor area of all structures including upper stories, but not garages and carports: 6936 sf  
Total of area of the lot(s) minus building footprint and parking spaces: \_\_\_\_\_ sf  
426,327



**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial – Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project?    725 GPD
4. How many service connections will be required?    N/A
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe:    FIRE HYDRANT Near street
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
7. Does water meet the Health Agency's quality requirements?  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis( OK or  Problems)  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours / \_\_\_\_\_ GPM  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy. See attached soils report
2. What is the distance from proposed leach field to any neighboring water wells?    \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No    If 'Yes', please attach.
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (*a waste discharge permit is typically needed when you exceed 2,500 gallons per day*)

**If a community sewage disposal system is to be used:**    NIA

1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: \_\_\_\_\_    Location of connection: \_\_\_\_\_
2. What is the amount of proposed flow?    \_\_\_\_\_ GPD
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- 2. Name of Solid Waste Disposal Company: \_\_\_\_\_
- 3. Where is the waste disposal storage in relation to buildings? Near Barn
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

- 1. Name of School District: Lucia Mar
- 2. Location of nearest police station: 8 miles
- 3. Location of nearest fire station: 8 miles
- 4. Location of nearest public transit stop: \_\_\_\_\_
- 5. Are services (grocery/other shopping) within walking distance (1/2 mile or closer) of the project?  
 Yes     No

**Historic and Archeological Information**

- 1. Please describe the historic use of the property: \_\_\_\_\_
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?  
 Yes     No  
 If yes, please describe: \_\_\_\_\_
- 3. Has an archaeological surface survey been done for the project site?  
 Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

***Only complete this section if you are proposing a commercial or industrial project or zoning change.***

- 1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- 2. How many people will this project employ? \_\_\_\_\_
- 3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
- 7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- 8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.
- 9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between 4:00 to 6:00 p.m. \_\_\_\_\_

10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
 If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  Yes  No  
 If yes, please describe: \_\_\_\_\_

**Agricultural Information**

**Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.**

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_  
 \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_  
 \_\_\_\_\_
2. Will the development occur in phases?  Yes  No  
 If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No  
 If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
 If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: \_\_\_\_\_

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
 All impacted oak trees are to remain and shall be protected in place throughout construction. Landscape water use shall reduced after year 1,3,and 5 pertaining to hydroseeding and tree mitigation.  
 \_\_\_\_\_
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No  
 If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?

Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): \_\_\_\_\_

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned to the project



SKYLINE MITIGATION

DATE: 10-13-16



Gary L. Glandon, RLA, ASLA  
Principle

GLANDON LANDSCAPE  
ARCHITECTURE & PLANNING  
981 Las Tunas Street  
Morro Bay, CA 93442

EDWARDS RESIDENCE  
1262 N. DANA FOOTHILL RD.  
NIPOMO, CA

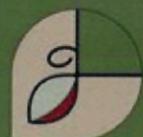
VS-1

SCENE 'A' - NATURAL SETTING



## SKYLINE MITIGATION

DATE: 10-13-16



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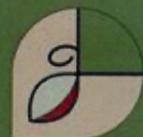
VS-1

SCENE 'B' - PROPOSED



SKYLINE MITIGATION

DATE: 10-13-16



Gary L. Glandon, RLA, ASLA  
Principle

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981 Las Tunas Street  
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EDWARDS RESIDENCE  
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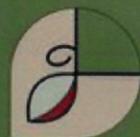
VS-2

SCENE 'A' - NATURAL SETTING



## SKYLINE MITIGATION

DATE: 10-13-16



**Gary L. Glandon, RLA, ASLA**  
Principle

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981 Las Tunas Street  
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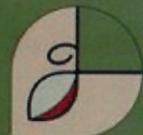
VS -2

SCENE 'B' - PROPOSED



## SKYLINE MITIGATION

DATE: 10-13-16



Gary L. Glandon, RLA, ASLA  
Principle

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981 Las Tunas Street  
Morro Bay, CA 93442

EDWARDS RESIDENCE  
1262 N. DANA FOOTHILL RD.  
NIPOMO, CA

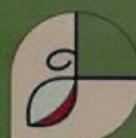
VS-3

SCENE 'A' - NATURAL SETTING



## SKYLINE MITIGATION

DATE: 10-13-16



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Principle

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981 Las Tunas Street  
Morro Bay, CA 93442

EDWARDS RESIDENCE  
1262 N. DANA FOOTHILL RD.  
NIPOMO, CA

VS-3

SCENE 'B' - PROPOSED

# EDWARDS RESIDENCE

## CONSTRUCTION

### MINIMUM CONSTRUCTION SPECIFICATIONS

THESE ARE MINIMUM SPECIFICATIONS ESTABLISHED BY THE UNIFORM BUILDING CODE AND SHALL NOT SUPERSEDE ANY MORE RESTRICTIVE SPECIFICATIONS SHOWN ON THE APPROVED PLANS.

#### A. FOUNDATION AND UNDERFLOOR

- CONCRETE FOR FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- WOOD AND EARTH SEPARATION. FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 6" ABOVE THE ADJACENT FINISH GRADE. (SEC 1806.1 - 1806.9). PROVIDE 18" CLEARANCE UNDER WOOD JOISTS AND 12" CLEARANCE UNDER WOOD GIRDERS.
- CONCRETE SLABS ON GRADE SHALL BE AT LEAST 4" THICK.
- TREATED WOOD. ALL FOUNDATION PLATES OF SILLS AND SLEEPERS ON A CONCRETE SLAB, WHICH IS IN DIRECT CONTACT WITH EARTH, AND SILLS WHICH REST ON CONCRETE OR MASONRY FOUNDATIONS, AND WOOD JOISTS CLOSER THAN 18", OR WOOD GIRDERS OR SUPPORTS CLOSER THAN 12" TO THE GROUND SHALL BE PRESSURE TREATED WOOD OR FOUNDATION GRADE REDWOOD.
- ANCHOR BOLTS HAVE FULL BEARING ON THE FOOTING WALL OR SLAB AND SHALL BE BOLTED TO THE FOUNDATION WITH 5/8" x 10" BOLTS EMBEDDED AT LEAST 7" INTO THE CONCRETE OR REINFORCED MASONRY OR 15" INTO UNREINFORCED GROUTED MASONRY. BOLTS SHALL BE SPACED NOT TO EXCEED 32" ON CENTER WITH BOLTS NOT OVER 12" FROM CUT ENDS OF SILL.
- VAPOR RETARDER AND CAPILLARY BREAK TO BE INSTALLED AT SLAB ON GRADE FOUNDATIONS.

#### B. WOOD FRAMING

- LUMBER. ALL JOISTS, RAFTERS, BEAMS AND POSTS 2" TO 4" THICK SHALL BE NO. 2 GRADE DOUGLAS FIR-LARCH OR BETTER. ALL POSTS AND BEAMS 5" AND THICKER SHALL BE NO. 1 GRADE DOUGLAS FIR-LARCH OR BETTER (SEE ITEMS b14 FOR LUMBER GRADING REQUIREMENTS FOR STUDS.)
- WLL BRACING. EVERY EXTERIOR WOOD STUD WALL AND MAIN CROSS PARTITION SHALL BE BRACED AT EACH END AND AT LEAST EVERY 25 FEET OF LENGTH WITH 1 x 4 DIAGONAL LET-IN BRACES OR EQUIVALENT.
- CROSS BRIDGING. FLOOR JOISTS AND RAFTERS MORE THAN 12" IN DEPTH SPACING MORE THAN 8 FEET SHALL BE SUPPORTED LATERALLY BY BRIDGING AT INTERVALS NOT EXCEEDING 8 FEET.
- PROVIDE BLOCKING AT ENDS AND AT SUPPORTS OF RAFTERS.
- PROVIDE BLOCKING AT ENDS AND SUPPORTS OF RAFTERS.
- PROVIDE SOLID BLOCKING AT RIDGE LINE AND AT EXTERIOR WALLS ON TRUSSED ROOFS.
- DOUBLE JOISTS. FLOOR JOISTS SHALL BE DOUBLED UNDER BEARING PARTITIONS RUNNING PARALLEL WITH THE JOISTS.
- RAFTER PURLIN BRACES TO BE NOT LESS THAN 45 DEGREE TO THE HORIZONTAL.
- RAFTER TIES. RAFTER TIES SHALL BE SPACED NOT MORE THAN 4 FEET ON CENTER WHERE RAFTERS AN CEILING JOISTS ARE NOT PARALLEL.
- PROVIDE 3/4" MINIMUM CLEARANCE BETWEEN TOP PLATE OF INTERIOR PARTITIONS AND BOTTOM CHORD OF TRUSSES.
- PROVIDE DOUBLE TOP PLATE WITH MINIMUM 48" LAP SPLICE.
- NAILING WILL BE IN COMPLIANCE WITH TABLE 23 I-Q.
- FIRE BLOCKING SHALL BE PROVIDED FOR WALLS OVER 10'-0" IN HEIGHT. ALSO FOR HORIZONTAL SHAFTS 10'-0" O.C., AND FOR CONCEALED DRAFT OPENINGS.
- STUDS. IN ONE OR TWO STORY BUILDINGS. STUDS FOR EXTERIOR WALLS SHALL BE NOT LESS THAN 2" x 6" O.C. AT 16" O.C. STUDS FOR INTERIOR NON-BEARING PARTITIONS MAY BE 2" x 4" AT 16" O.C. STUDS 2'-4" THICK AND 2'-4" WIDE AND NOT MORE THAN 8 FEET LONG SHALL BE "STUD-GRADE" DOUGLAS FIR-LARCH OR BETTER WHEN SUPPORTING NOT MORE THAN 1 FLOOR AND A ROOF.
- MANUFACTURED ROOF TRUSSES:
  - ROOF TRUSS CALCULATIONS, DETAILS AND LAYOUT SHALL BE SUBMITTED BY AN APPROVED I.C.B.O SHOP FOR BUILDING DEPT. APPROVAL PRIOR TO ORDERING AND INSTALLATION. (2 COPIES)
- FLASHING AND COUNTER FLASHING OF CHIMNEYS, PARAPETS, BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, ROOF-TO-WALL, ETC. CONNECTIONS ARE IN COMPLIANCE WITH UBC CHAPT. 15.
- ALL OPENINGS SHALL BE FLASHED IN ACCORDANCE WITH UBC SEC. 1402. CONTRACTOR TO VERIFY DOORS AND WINDOWS TO BE WATER TIGHT. (TYP.) USE APPROPRIATE FLASHING TO ACHIEVE WATERTIGHTNESS (I.E. KRAFT PAPER, HEAD, JAMB, SILL, ALUM OR GALV. FLASHING) VERIFY MANUFACTURERS RECOMMENDATIONS FOR WATERTIGHT INSTALLATIONS.

### CODES, RULES AND REGULATIONS

ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHALL, CALIFORNIA ADMINISTRATIVE CODE-TITLE NO. 24, SERVING UTILITY COMPANIES, OSHA AND OTHER APPLICABLE STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. WHERE WORK OF A HIGHER DEGREE IS INDICATED IN THE PLANS OR IN SPECIFICATIONS, THIS REQUIREMENT SHALL GOVERN. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS, CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

## GENERAL NOTES

### SITE GRADING

- PRIOR TO THE CONTRACTOR REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION, THE SOILS ENGINEER SHALL ADVISE THE BUILDING OFFICIAL IN WRITING THAT:
  - THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE SOILS REPORT.
  - THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED AND COMPACTED, AND:
  - THE FOUNDATION EXCAVATIONS, FORMING AND REINFORCEMENT COMPLY WITH THE SOILS REPORT AND APPROVED PLAN.
- EROSION CONTROL: ALL DISTURBED SURFACES RESULTING FROM GRADING OPERATIONS SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION. THIS CONTROL SHALL CONSIST OF EFFECTIVE PLANTING TO BE COMPLETED AS SOON AS POSSIBLE AFTER GRADING AND NO LATER THAN 30 DAYS PRIOR TO CALLING FOR FINAL APPROVAL. ALL PLANING SHALL BE INSTALLED AND GROWING BEFORE FINAL INSPECTION UNLESS THE PLANTING IS IN CONFORMITY WITH THE APPROVED PLANS AND SHOWING SIGNS OF SURVIVING AND SPREADING.
- SURFACE WATER SHALL DRAIN AWAY FROM BUILDING, MIN. 2% FOR 3 FEET.
- MOISTURE CONTENT FOR "EXPANSIVE" SOILS SHALL BE 120% OF OPTIMUM TO A DEPTH OF TWENTY-FOUR (24) INCHES BELOW SLAB BOTTOMS AND SHALL BE MAINTAINED UNTIL SLABS ARE POURED. NOTE SOILS UNDER SLABS SHALL BE TESTED FOR MOISTURE CONTENT AND SLABS SHALL BE POURED WITHIN 24 HOURS OF OBTAINING THE REQUIRED MOISTURE CONCENT. SOIL DENSITY MAY BE 85% AFTER PREMOISTENING FOR ALL SOILS WITH AN EXPANSION INDEX GREATER THAN 50 (THE AREA UNDER RASED FLOORS NEED NOT BE PREMOISTENED).
- UNDERFLOOR ACCESS. UNDERFLOOR AREAS SHALL BE PROVIDED WITH A CRAWL HOLE NOT LESS THAN 18" x 24". A 30" x 30" CRAWL HOLE SHALL BE PROVIDED WHEN ACCESSING MECH. EQUIP.

### MECHANICAL

- PROVIDE A 12" x 12" PANEL OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING CONCEALED SLIP JOINT CONNECTIONS.
- TOILETS SHALL HAVE MAX 1.6 GAL. FLUSH. SHOWER HEAD FLOW SHALL NOT EXCEED 2.5 GAL PER MIN. @ 40 P.S.I. - WATER PRESSURE IN BUILDING LIMITED TO 80 P.S.I. OR LESS (OR INSTALL A PRESSURE REGULATOR).
- PROVIDE A BACK FLOW PREVENTION DEVICE ON HOSE BIBBS AND LAWN SPRINKLERS IN REQUIRED BY BUILDING DEPARTMENT. (VERIFY)
- GAS VENTS AND NON-COMBUSTIBLE PIPING, IN WALLS, PASSING THROUGH THREE FLOORS OR LESS SHALL BE EFFECTIVELY DRAFTSTOPED AT EACH FLOOR OR CEILING.
- H.V.A.C. EQUIPMENT AND DUCTING:
  - CLEARANCES TO BE PER MANUFACTURERS LISTING, SECTION 504, C.M.C.
  - FIREPLACES AND INCINERATORS: ALL INCINERATOR AND FIREPLACE CHIMNEYS SHALL TERMINATE IN A SUBSTANTIALLY CONSTRUCTED SPARK ARRESTER HAVING A MESH NOT EXCEEDING 1/2 INCH AND BE AT LEAST 2 FEET ABOVE ANY SURFACE WITHIN 10 FEET.
  - THE WATER HEATER - SHALL BE SEISMICALLY STRAPPED AT THE TOP AND BOTTOM AND SHALL BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL-SIZED DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF PIPE NOT MORE THAN 2 FEET OR LESS THAN 6" ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED. C.P.C. 1007 (e).
  - NO GAS PIPING SHAL BE INSTALED IN OR ON THE GROUND UNDER ANY BUILDING OR STRUCTURE. ALL EXPOSED GAS PIPING SHALL BE KEPT AT LEAST SIX (6) INCHES ABOVE GRADE OR STRUCTURE. UPC 1213 (b).
  - DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
  - DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
  - HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
  - DUCT SYSTEMS TO BE SIZED, DESIGNED AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
    - ESTABLISH HEAT LOSS AND GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT.
    - SIZE DUCT SYSTEMS ACCORDING TO ACCA 29-D (MANUAL D) OR EQUIVALENT.
    - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36S (MANUAL S) OR EQUIVALENT.

### GENERAL

- JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS ACCEPTABLE TO THE ENFORCING AGENCY.
- A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE TO BE DIVERTED TO RECYCLE OR SALVAGE.
- WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.
- AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OWNER.
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.

## GENERAL NOTES

### GENERAL-CONTINUED

- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
- DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
- 50% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING TO BE CHECKED BEFORE ENCLOSURE.
- AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.
- A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED PER TABLE 4.303.1 & 4.303.2 ON SHEET E-1.0
- PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS PER TABLE 4.303.3 ON SHEET E-1.0
- SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
- VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.
- G.C. TO HIRE A CERTIFIED HOME ENERGY RATING SYSTEM (HERS) RATER TO PERFORM A HOME ENERGY RATING PRIOR TO CONSTRUCTION COMPLETION PER THE SAN LUIS COUNTY GREEN BUILDING ORDINANCE.
- PER THE SAN LUIS OBISPO COUNTY GREEN BUILDING ORDINANCE, ANY EXISTING WATER FIXTURES THAT EXCEEDS THE THRESHOLDS IN THE WATER USE BASELINE TABLE SHOWN BELOW SHALL BE RETROFITTED, BRINGING THEM UP TO CAL GREEN MANDATORY REQUIREMENTS.

FIXTURE TYPE	MAXIMUM FLOW RATE
SHOWERHEADS	2.5 GPM @ 80 PSI
LAVATORY FAUCETS RES.	2.2 GPM @ 80 PSI
KITCHEN FAUCETS	2.2 GPM @ 80 PSI
WATER CLOSETS	1.28 GALLONS/FLUSH

## PROJECT DIRECTORY

<b>Owner</b>	
Todd & Kari Edwards	Phone: (805) 431-0372
P.O Box 6016	Fax:
Santa Maria, CA 93456	Email: ledwards@vedwards.com
<b>Architect</b>	
Kyle Harris	Phone: (805) 574-1550
Harris Architecture & Design	Fax: (805) 574-1553
151 W. Branch Street, Suite E	Email: josh@harrisandd.com
Arroyo Grande, CA 93420	
<b>Structural Engineer</b>	
Praxis Engineers	Phone: 805-489-9900
205 Suburban Road, Suite 1	Fax:
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<b>Mechanical Engineer (Title 24)</b>	
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205 Suburban Road, Suite 1	Fax:
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<b>Landscape Architect</b>	
Glandon Landscape Architecture	Phone: 805-801-8697
981 Las Tunas Street	Fax:
Morro Bay, CA 93442	Email: g_glandon@charter.net

## PROJECT INFORMATION

### PROJECT DATA:

PRIVATE RESIDENCE - NEW CONSTRUCTION	
A.P.N.:	090-012-007
ADDRESS:	1262 North Dana Foothill Road Nipomo, CA 93444
LEGAL:	TRACT 1516, LOT 5 15 MB 57
LOT AREA:	10.01 ACRES
ZONING:	RESIDENTIAL RURAL (SINGLE FAMILY)
OCCUPANCY:	R3
CONSTRUCTION TYPE:	VB
NUMBER OF STORIES:	2

## APPLICABLE CODES

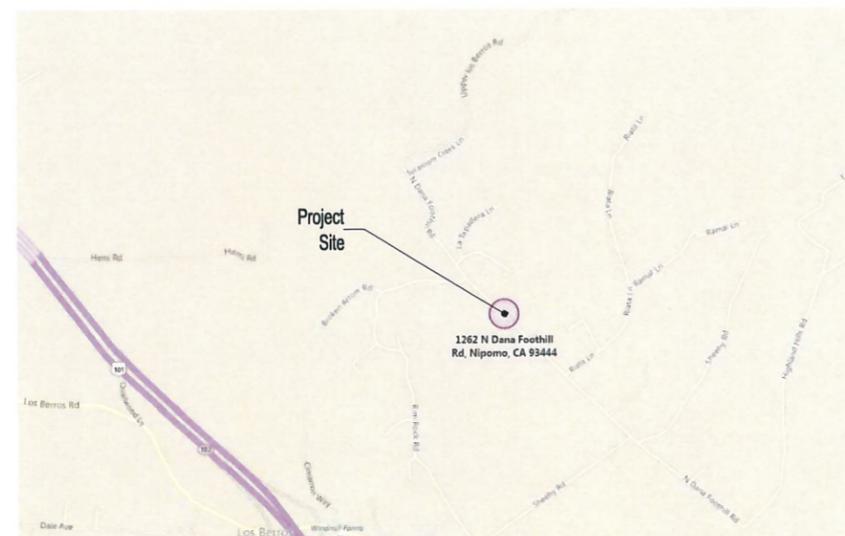
2013 CALIFORNIA ENERGY CODE  
 2013 CALIFORNIA BUILDING CODE, VOL 1&2 (2009 IBC)  
 2013 CALIFORNIA ELECTRICAL CODE (2008 NEC)  
 2013 CALIFORNIA FIRE CODE (2009 IFC)  
 2013 CALIFORNIA GREEN BUILDING CODE (NEW)  
 2013 CALIFORNIA MECHANICAL CODE (2009 UMC)  
 2013 CALIFORNIA PLUMBING CODE (2009 UPC)  
 2013 CALIFORNIA REFERENCE STANDARDS CODE  
 2013 CALIFORNIA RESIDENTIAL CODE (NEW) (2009 IRC)  
 COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19  
 COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23  
 COUNTY FIRE CODE ORDINANCE - TITLE 16  
 COUNTY LAND USE ORDINANCE - TITLE 22

## SQUARE FOOTAGES

### PROJECT DATA:

<b>MAIN HOUSE:</b>	
MAIN FLOOR (FINISHED):	4536 SQ. FT.
GARAGE	1536 SQ. FT.
LOWER FLOOR (UNCONDITIONED):	1200 SQ. FT.
<b>TOTAL:</b>	<b>7272 SQ. FT.</b>
SECONDARY DWELLING:	1200 SQ. FT.
BARN/SHOP:	2925 SQ. FT.

## VICINITY MAP



## SHEET INDEX

<b>GENERAL</b>	
T-1.0	TITLE SHEET
<b>SITE PLAN/DETAILS</b>	
SP-1	PROPOSED SITE PLAN
SP-2	PROPOSED SITE PLAN - ENLARGED
SP-3	PROPOSED SITE PLAN - ENLARGED
<b>CIVIL SHEETS</b>	
CE-1	CIVIL TITLE AND NOTE SHEET
CE-2	GRADING & DRAINAGE PLAN
CE-3	EROSION PLAN
CE-4	SEPTIC DESIGN SHEET

### LANDSCAPE SHEETS

CP1.0	CONCEPTUAL PLANT SCHEDULE & NOTES
CP1.1	CONCEPTUAL LANDSCAPE PLAN

### ARCHITECTURAL SHEETS

A-1.0	OVERALL MAIN FLOOR PLAN
A-1.1	OVERALL MAIN FLOOR PLAN WITH DIMENSIONED SITE WALLS
A-1.2	PARTIAL MAIN FLOOR PLAN
A-1.3	PARTIAL MAIN FLOOR PLAN
A-1.4	PARTIAL MAIN FLOOR PLAN
A-1.5	LOWER FLOOR PLAN (UNCONDITIONED SPACE)
A-2.0	ARCHITECTURAL BUILDING ELEVATIONS
A-2.1	ARCHITECTURAL BUILDING ELEVATIONS
A-2.2	ARCHITECTURAL BUILDING ELEVATIONS
A-2.3	ARCHITECTURAL BUILDING ELEVATIONS
SS1	ARCHITECTURAL SITE SECTION
SS2	ARCHITECTURAL SITE SECTION
CE1	COLOR ISOMETRIC RENDERINGS
CE2	COLOR ISOMETRIC RENDERINGS
G-1.0	SECONDARY DWELLING FLOOR PLAN
G-2.0	SECONDARY DWELLING ARCHITECTURAL BUILDING ELEVATIONS
G-2.1	SECONDARY DWELLING COLOR ISOMETRIC RENDERINGS
B-1.0	BARN/SHOP FLOOR PLAN
B-2.0	BARN/SHOP ARCHITECTURAL BUILDING ELEVATIONS

**HARRIS**  
 Architecture & Design  
 151 West Branch Street, Suite E  
 Arroyo Grande, CA 93420 (805) 574-1550

REVISIONS

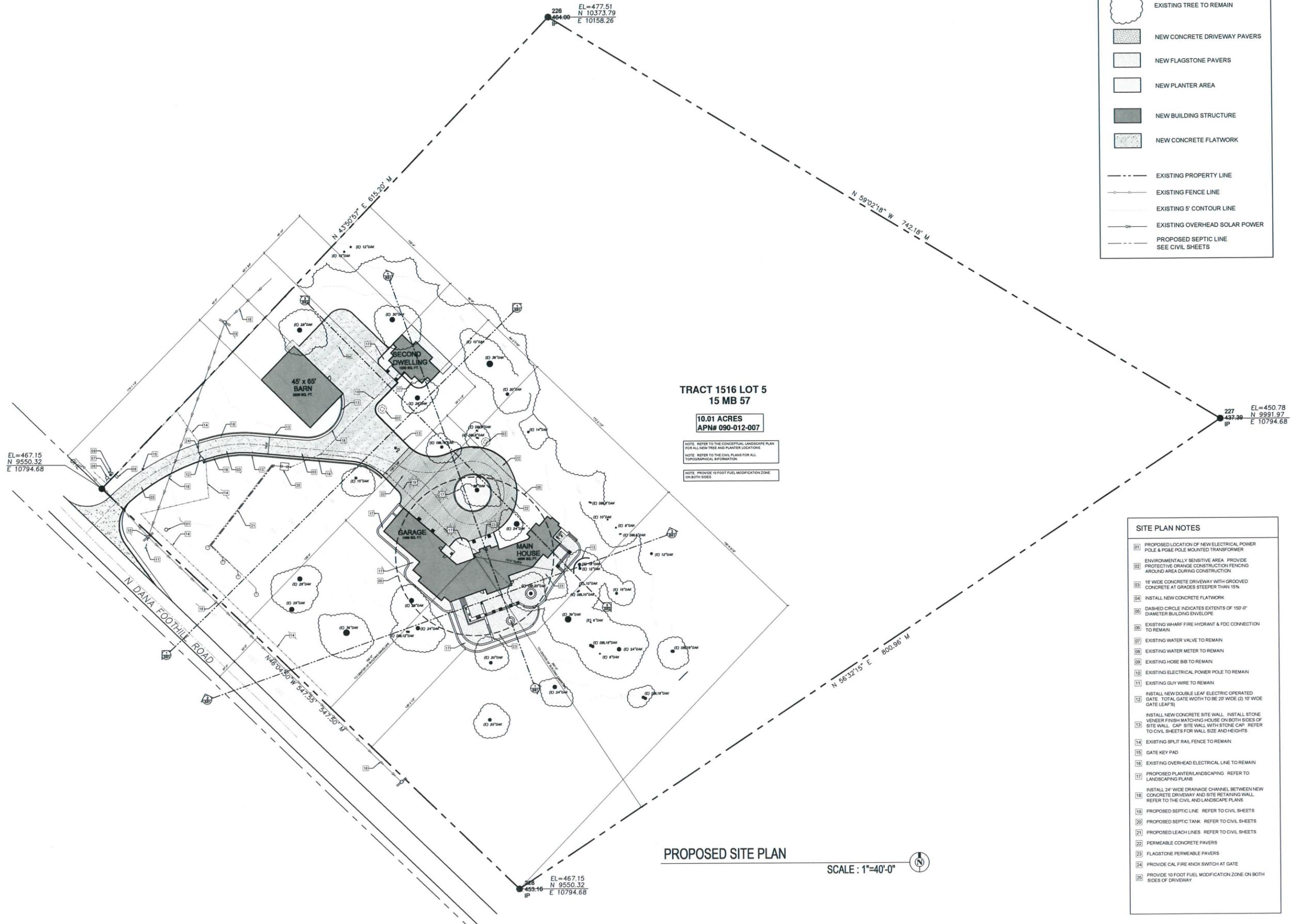
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PROJECT TITLE  
**EDWARDS RESIDENCE**  
 1262 NORTH DANA FOOTHILL ROAD  
 NIPOMO, CALIFORNIA 93444

DRAWN BY: JKG  
 October 14, 2016  
 CHECKED:  
 PROJECT NO.:

T1.0

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TRACT 1516 LOT 5  
15 MB 57

10.01 ACRES  
APN# 090-012-007

NOTE: REFER TO THE CONCEPTUAL LANDSCAPE PLAN FOR ALL NEW TREE AND PLANTER LOCATIONS

NOTE: PROVIDE 10 FOOT FUEL MODIFICATION ZONE ON BOTH SIDES

**SITE LEGEND**

	EXISTING TREE TO REMAIN
	NEW CONCRETE DRIVEWAY PAVERS
	NEW FLAGSTONE PAVERS
	NEW PLANTER AREA
	NEW BUILDING STRUCTURE
	NEW CONCRETE FLATWORK
	EXISTING PROPERTY LINE
	EXISTING FENCE LINE
	EXISTING 5' CONTOUR LINE
	EXISTING OVERHEAD SOLAR POWER
	PROPOSED SEPTIC LINE SEE CIVIL SHEETS

**SITE PLAN NOTES**

- PROPOSED LOCATION OF NEW ELECTRICAL POWER POLE & POSE POLE MOUNTED TRANSFORMER
- ENVIRONMENTALLY SENSITIVE AREA. PROVIDE PROTECTIVE ORANGE CONSTRUCTION FENCING AROUND AREA DURING CONSTRUCTION
- 16" WIDE CONCRETE DRIVEWAY WITH GROoved CONCRETE AT GRADES STEEPER THAN 15%
- INSTALL NEW CONCRETE FLATWORK
- DASHED CIRCLE INDICATES EXTENTS OF 150'-0" DIAMETER BUILDING ENVELOPE
- EXISTING WHARF FIRE HYDRANT & FDC CONNECTION TO REMAIN
- EXISTING WATER VALVE TO REMAIN
- EXISTING WATER METER TO REMAIN
- EXISTING HOSE BIB TO REMAIN
- EXISTING ELECTRICAL POWER POLE TO REMAIN
- EXISTING GUY WIRE TO REMAIN
- INSTALL NEW DOUBLE LEAF ELECTRIC OPERATED GATE. TOTAL GATE WIDTH TO BE 20' WIDE (2) 10' WIDE GATE LEAFS
- INSTALL NEW CONCRETE SITE WALL. INSTALL STONE VENEER FINISH MATCHING HOUSE ON BOTH SIDES OF SITE WALL. CAP SITE WALL WITH STONE CAP. REFER TO CIVIL SHEETS FOR WALL SIZE AND HEIGHTS
- EXISTING SPLIT RAIL FENCE TO REMAIN
- GATE KEY PAD
- EXISTING OVERHEAD ELECTRICAL LINE TO REMAIN
- PROPOSED PLANTER/LANDSCAPING REFER TO LANDSCAPING PLANS
- INSTALL 24" WIDE DRAINAGE CHANNEL BETWEEN NEW CONCRETE DRIVEWAY AND SITE RETAINING WALL. REFER TO THE CIVIL AND LANDSCAPE PLANS
- PROPOSED SEPTIC LINE. REFER TO CIVIL SHEETS
- PROPOSED SEPTIC TANK. REFER TO CIVIL SHEETS
- PROPOSED LEACH LINES. REFER TO CIVIL SHEETS
- PERMEABLE CONCRETE PAVERS
- FLAGSTONE PERMEABLE PAVERS
- PROVIDE CAL FIRE KNOX SWITCH AT GATE
- PROVIDE 10 FOOT FUEL MODIFICATION ZONE ON BOTH SIDES OF DRIVEWAY

PROPOSED SITE PLAN  
SCALE: 1"=40'-0"

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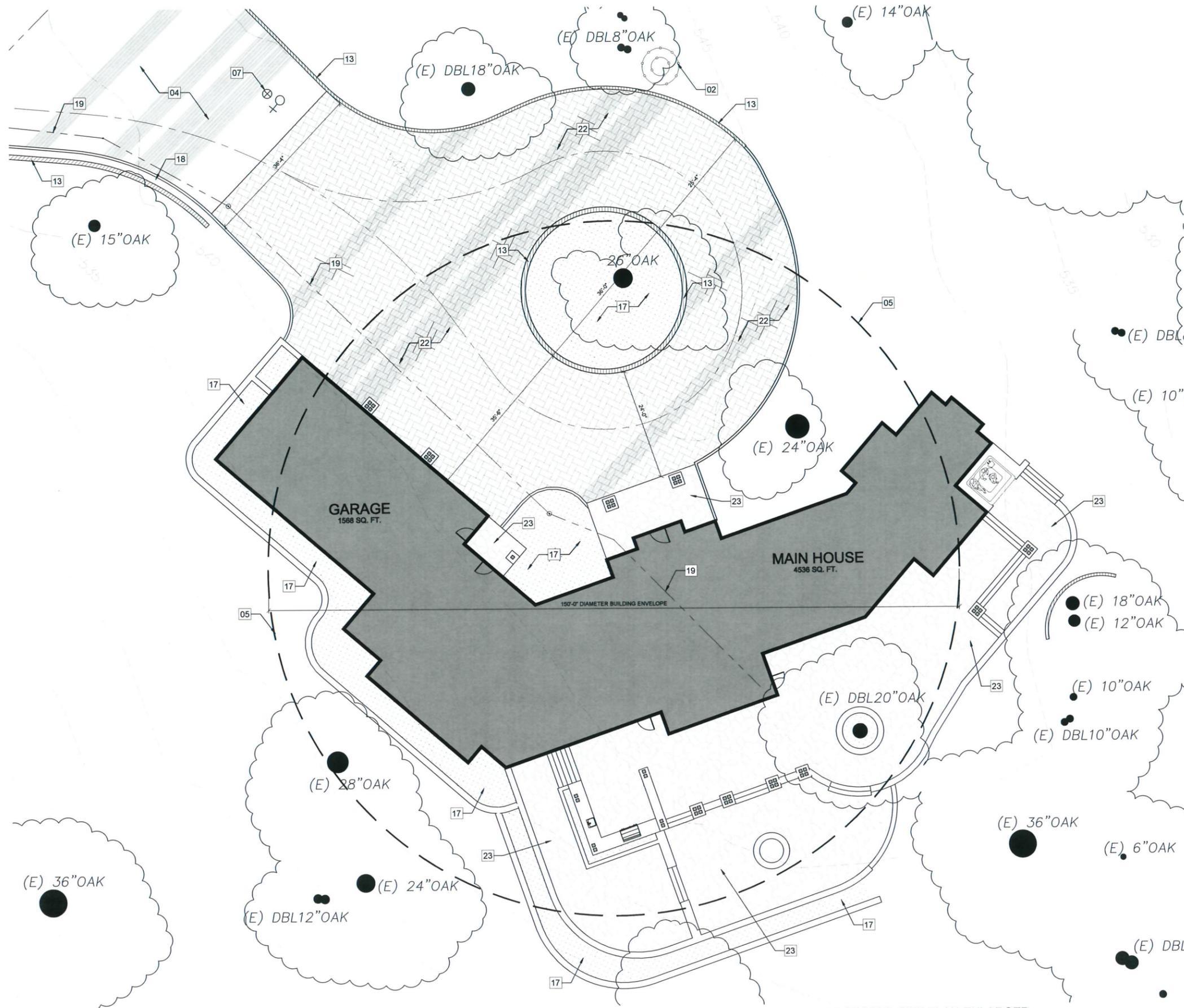
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SP-1

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- SITE PLAN NOTES**
- 01 PROPOSED LOCATION OF NEW ELECTRICAL POWER POLE & POSE POLE MOUNTED TRANSFORMER
  - 02 ENVIRONMENTALLY SENSITIVE AREA. PROVIDE PROTECTIVE ORANGE CONSTRUCTION FENCING AROUND AREA DURING CONSTRUCTION
  - 03 18\"/>

PROPOSED SITE PLAN-ENLARGED  
SCALE: 1"=10'-0"



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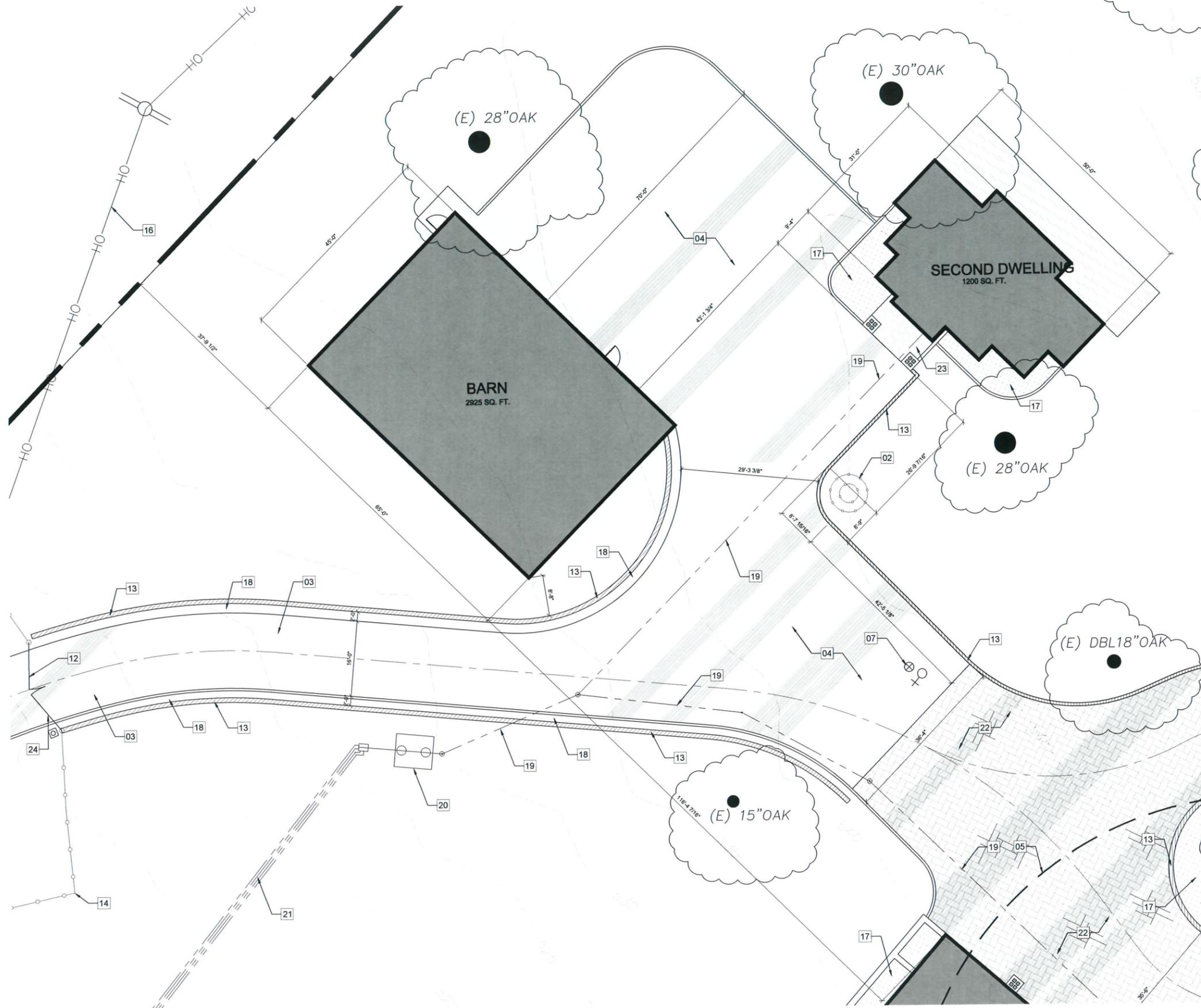
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PROJECT TITLE  
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NIPOMO, CALIFORNIA 93444

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PROJECT NO.:

SP-2

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- SITE PLAN NOTES**
- 01 PROPOSED LOCATION OF NEW ELECTRICAL POWER POLE & PG&E POLE MOUNTED TRANSFORMER
  - 02 ENVIRONMENTALLY SENSITIVE AREA. PROVIDE PROTECTIVE ORANGE CONSTRUCTION FENCING AROUND AREA DURING CONSTRUCTION
  - 03 18" WIDE CONCRETE DRIVEWAY WITH GROOVED CONCRETE AT GRADES STEEPER THAN 15%
  - 04 INSTALL NEW CONCRETE FLATWORK
  - 05 DASHED CIRCLE INDICATES EXTENTS OF 150'-0" DIAMETER BUILDING ENVELOPE
  - 06 EXISTING WHARF FIRE HYDRANT & FDC CONNECTION TO REMAIN
  - 07 EXISTING WATER VALVE TO REMAIN
  - 08 EXISTING WATER METER TO REMAIN
  - 09 EXISTING HOSE BIB TO REMAIN
  - 10 EXISTING ELECTRICAL POWER POLE TO REMAIN
  - 11 EXISTING GUY WIRE TO REMAIN
  - 12 INSTALL NEW DOUBLE LEAF ELECTRIC OPERATED GATE. TOTAL GATE WIDTH TO BE 22' WIDE (2) 10' WIDE GATE LEAFS)
  - 13 INSTALL NEW CONCRETE SITE WALL. INSTALL STONE VENEER FINISH MATCHING HOUSE ON BOTH SIDES OF SITE WALL. CAP SITE WALL WITH STONE CAP. REFER TO CIVIL SHEETS FOR WALL SIZE AND HEIGHTS.
  - 14 EXISTING SPLIT RAIL FENCE TO REMAIN
  - 15 GATE KEY PAD
  - 16 EXISTING OVERHEAD ELECTRICAL LINE TO REMAIN
  - 17 PROPOSED PLANTER/LANDSCAPING. REFER TO LANDSCAPING PLANS
  - 18 INSTALL 24" WIDE DRAINAGE CHANNEL BETWEEN NEW CONCRETE DRIVEWAY AND SITE RETAINING WALL. REFER TO THE CIVIL AND LANDSCAPE PLANS
  - 19 PROPOSED SEPTIC LINE. REFER TO CIVIL SHEETS
  - 20 PROPOSED SEPTIC TANK. REFER TO CIVIL SHEETS
  - 21 PROPOSED LEACH LINES. REFER TO CIVIL SHEETS
  - 22 PERMEABLE CONCRETE PAVERS
  - 23 FLAGSTONE PERMEABLE PAVERS
  - 24 PROVIDE CAL FIRE KNOX SWITCH AT GATE
  - 25 PROVIDE 10 FOOT FUEL MODIFICATION ZONE ON BOTH SIDES OF DRIVEWAY

PROPOSED SITE PLAN-ENLARGED  
SCALE: 1"=10'-0"

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NIPOMO, CALIFORNIA 93444

DRAWN BY: JKG  
October 14, 2016  
CHECKED:  
PROJECT NO.:

**SP-3**

# GRADING AND DRAINAGE PLANS

FOR  
EDWARDS RESIDENCE,  
1262 DANA FOOTHILL ROAD  
NIPOMO, CA 93444

APN: 090-012-007

## APPLICABLE CODES:

CBC-2013 CALIFORNIA BUILDING CODE VOL. 162 (2012 IBC)  
CPC-2007 CALIFORNIA PLUMBING CODE  
CMC-CALIFORNIA MECHANICAL CODE

## GRADING NOTES:

- THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE CONDITION OF THE JOB SITE DURING THE COURSE OF CONSTRUCTION FOR THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE DESIGN PROFESSIONAL FROM ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING LIABILITY ARISING FROM NEGLIGENCE OF THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC AND PRIVATE PROPERTY ADJACENT TO THE WORK AREA AND SHALL EXERCISE DUE CAUTION TO AVOID DAMAGE TO SUCH PROPERTY. THE CONTRACTOR SHALL REPLACE AND REPAIR TO THEIR ORIGINAL CONDITIONS ALL EXISTING IMPROVEMENTS WITHIN OR ADJACENT TO THE WORK AREA WHICH ARE NOT DESIGNED FOR REMOVAL, AND ARE DAMAGED OR REMOVED AS A RESULT OF THIS OPERATION.
- IN THE EVENT THAT PROJECT CONSTRUCTION CONTINUES DURING WET WINTER MONTHS, THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MAINTAIN OR WINTERIZE THE ROADS FOR EMERGENCY VEHICLES.
- THE CONTRACTOR IS RESPONSIBLE TO BE FULLY INFORMED OF AND TO COMPLY WITH ALL LAWS, ORDINANCES, CODES, REQUIREMENTS, AND STANDARDS WHICH IN ANY MANNER AFFECT THE COURSE OF CONSTRUCTION OF THIS PROJECT, THOSE ENGAGED OR EMPLOYED IN THE CONSTRUCTION, OR THE MATERIALS USED IN THE CONSTRUCTION.
- ALL GRADING SHALL CONFORM TO THE COUNTY OF SAN LUIS OBISPO ORDINANCES AND STANDARDS PERTAINING THERETO (2010 CALIFORNIA BUILDING CODE, APPENDIX J) AND SHALL BE SUPERVISED AS ENGINEERED GRADING IN ACCORDANCE WITH CITY OF SANTA BARBARA ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DISTURBED SHALL BE RESET AT CONTRACTOR'S EXPENSE.
- IN THE EVENT CONSTRUCTION STAKING BASED ON PRAXIS PLANS, DRAWINGS, OR OTHER DOCUMENTS IS PERFORMED BY ANOTHER FIRM, PRAXIS SHALL BE HELD HARMLESS AND RELEASED FROM ALL LIABILITY ARISING FROM THE USE OF SAID PLANS, DRAWINGS, OR OTHER DOCUMENTS.
- PRIOR TO COMMENCING ANY WORK WITHIN THE CITY RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN AN OPEN-STREET PERMIT FROM THE CITY PUBLIC WORKS DEPARTMENT. UNLESS SECURED BY A SUBDIVISION AGREEMENT, SECURITY BASED ON AN APPROVED PRAXIS ESTIMATE FOR THE WORK PERFORMED WITHIN THE RIGHT OF WAY AND INSURANCE AS REQUIRED SHALL BE PROVIDED PRIOR TO ISSUANCE OF A PERMIT.
- UNLESS OTHERWISE NOTED, ALL TREES ARE TO BE PROTECTED IN PLACE. ALL TREES LOCATED NEAR OR AROUND CONSTRUCTION OPERATIONS SHALL HAVE ORANGE BARRIER INSTALLED ON T-POST ALONG THE DRIP LINE OF THE TREE DURING CONSTRUCTION.
- SHOULD ANY CULTURAL MATERIALS BE DISCOVERED DURING GRADING OR DEVELOPMENT, ALL WORK SHALL BE HALTED AND A QUALIFIED ARCHAEOLOGIST/HISTORIAN CONTACTED TO ASSESS THE FINDS AND IMPOSE MITIGATION MEASURES, IF NECESSARY, PRIOR TO RESUMPTION OF CONSTRUCTION.
- IF, DURING GRADING OR CONSTRUCTION, ANY PLUGGED AND ABANDONED OR UNRECORDED WELLS ARE UNCOVERED OR DAMAGED, THE DEPARTMENT OF CONSERVATION OF OIL, GAS AND GEOTHERMAL RESOURCES SHALL BE CONTACTED TO INSPECT AND APPROVE ANY REMEDIATION REQUIRED.
- AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOBSITE. HOWEVER, ALL EXISTING UTILITY AND OTHER UNDERGROUND STRUCTURES MAY NOT BE SHOWN ON THIS PLAN AND THEIR LOCATIONS WHEN SHOWN ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES AND OTHER FACILITIES, BOTH KNOWN AND UNKNOWN, PRIOR TO AND DURING CONSTRUCTION. THE CONTRACTOR SHALL CONTACT U.S.A. (811) FOR UTILITY LOCATION 48 HOURS PRIOR TO ANY EXCAVATION OR TRENCHING.
- THE CONTRACTOR SHALL MARK ALL UTILITY LOCATIONS AND SHALL POTHOLE ALL UTILITY CROSSINGS, PRIOR TO STAKING AND PRIOR TO ANY PIPELINE EXCAVATION TO ALLOW GRADE REVISIONS IF NECESSITATED BY ACTUAL LOCATIONS.
- THE CONTRACTOR SHALL MAINTAIN AN UP TO DATE AND ACCURATE RECORD OF ALL CHANGES TO THE PLANS. NO CHANGES SHALL BE MADE WITHOUT APPROVAL OF THE PROJECT ENGINEER.
- ALL GRADING AND DRAINAGE IMPROVEMENTS SHALL BE OBSERVED BY A LICENSED CIVIL ENGINEER TO DETERMINE IF THE IMPROVEMENTS ARE IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THE REQUEST FOR THE FINAL INSPECTION ONLY WHEN THE IMPROVEMENTS HAVE BEEN COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS. THE CIVIL ENGINEER SHALL BE PRESENT WHEN THE FINAL INSPECTION IS MADE.
- THE CUT AND FILL QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR SHALL, AFTER EXAMINING THE PLAN, SOILS REPORT AND THE SITE TERRAIN, PREPARE HIS BID PRICE FOR THE PROJECT BASED ON HIS OWN ANALYSIS OF THE WORK REQUIRED.
- THE SOILS ENGINEER MUST APPROVE ALL SOIL COMPACTION INCLUDING THE STABILITY OF ALL SLOPES, BOTH THOSE THAT ARE CREATED BY AND THOSE REMAINING AFTER GRADING OPERATIONS.
- CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND BUILDING OFFICIAL SHALL BE NOTIFIED 48 HOURS PRIOR TO PLACEMENT OF ANY FILL.
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE COUNTY OF SAN LUIS OBISPO STANDARDS AND SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED AND MADE A PART HEREOF IN THE PRELIMINARY SOILS REPORT. COMPACTION TESTS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE SOILS ENGINEER.
- FILL MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE SOILS ENGINEER.
- THE GEOTECHNICAL ENGINEER SHALL REVIEW ALL EXCAVATIONS PRIOR TO BACKFILLING AND SHALL BE NOTIFIED OF ANY ITEM ENCOUNTERED DURING THE GRADING OPERATIONS THAT MIGHT AFFECT FOUNDATION STABILITY SO RECOMMENDATIONS CAN BE MADE BY THE SOILS ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING OF PAD AREA TO WITHIN ±0.1' IF ELEVATION OF DESIGN ELEVATION PAD SHOULD BE FOUND TO BE MORE THAN ±0.1' OFF OF DESIGN ELEVATION AFTER COMPLETION AND ACCEPTANCE OF GRADING, THE CONTRACTOR SHALL RETURN AND CORRECT THE GRADING AT NO COST TO THE OWNER.
- ALL AREAS ON THE SITE ON WHICH STRUCTURES ARE TO BE PLACED MUST BE COMPACTED TO 95% MAXIMUM DRY DENSITY, FOR A MINIMUM DISTANCE OF 5' IN ALL DIRECTIONS FROM THE FOUNDATIONS OF THE STRUCTURE OR PER THE GEOTECHNICAL REPORT, WHICHEVER IS GREATER.
- ALL FILL SHALL CONFORM TO THE REQUIREMENTS FOR 'ENGINEERED FILL' AS DESCRIBED IN THE SOILS REPORT.
- FILL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING SIX (6) INCHES IN COMPACTED THICKNESS AND COMPACTED AT OPTIMUM MOISTURE CONTENT BY AN APPROVED METHOD.
- ENGINEERED FILL SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRELIMINARY SOILS REPORT FROM GEOTECHNICAL ENGINEER AND MUST BE COMPACTED TO 90% OF MAXIMUM DRY DENSITY AND 95% MAXIMUM DRY DENSITY IN FIRST 1' OF SUBGRADE.
- THE DESIGN ENGINEER SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING AND CONSTRUCTION TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN HIS JURISDICTION.
- UPON COMPLETION OF GRADING AND BEFORE THE START OF CONSTRUCTION, A FINAL SOILS REPORT COVERING THE SITE PREPARATION AND GRADING SHALL BE SUBMITTED BY THE SOILS ENGINEER.
- ALL GRADING SHALL CONFORM TO APPENDIX CHAPTER 33 OF THE CALIFORNIA BUILDING CODE AND STANDARDS PERTAINING THERETO.
- ALL CUT SLOPES SHALL NOT BE STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE APPROVED IN THE SOILS REPORT.
- ALL FILL SLOPES SHALL NOT BE STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FINISHED SLOPES NEARER THAN FIVE FEET FORM BUILDING FOUNDATIONS SHOULD BE GRADED NO STEEPER THAN 5:1. A SLOPE RATIO OF 2:1 SHOULD PROVIDE ADEQUATE STABILITY FOR SLOPES FARTHER THAN FIVE FEET FROM FOOTING LINES.
- AN OSHA PERMIT IS REQUIRED WHEN WORKERS MUST ENTER TRENCHES OR EXCAVATION FIVE (5) FEET OR DEEPER.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION. CONTRACTORS SHALL OBTAIN APPLICABLE O.S.H.A. PERMITS WHEN WORKMEN MUST ENTER TRENCHES GREATER THAN FIVE FEET. REFER TO SOILS REPORT FOR ALLOWABLE SLOPES.

- ALL FILL AREAS SHALL BE CLEARED OF ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURAL FILL AND THE AREA SCARIFIED TO A DEPTH OF 12".
- ALL SLOPES IN EXCESS OF 3' IN VERTICAL HEIGHT SHALL BE PREPARED AND MAINTAINED TO CONTROL AGAINST EROSION.
- GRADING WORK WILL BE SUPERVISED AS ENGINEERED GRADING IN ACCORDANCE WITH APPENDIX CHAPTER 33 OF THE CALIFORNIA BUILDING CODE.
- FILL AREAS SLOPING STEEPER THAN 5:1 SHALL BE KEYED AND BENCHED TO SUPPORT THE FILL.
- BERMS OF DRAINAGE DEVICES SHALL BE PLACED AT THE TOP OF ALL FILL SLOPES.
- PRAXIS SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED IN WRITING BY PRAXIS.
- IF THE CONTRACTOR IS IN DOUBT AS TO THE MEANING OF ANY PART OF THE PLAN AND SPECIFICATIONS OR FINDS DISCREPANCIES IN OR OMISSIONS FROM THE DRAWING OR SPECIFICATIONS, HE SHALL SUBMIT A WRITTEN REQUEST FOR AN INTERPRETATION OR A CORRECTION TO THE PROJECT, PRIOR TO FILING HIS BID FOR THE PROJECT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREVENT A DUST ABSENCE FROM ORIGINATING FROM THE SITE OF WORK AS A RESULT OF HIS OPERATIONS DURING THE EFFECTIVE PERIOD OF THIS CONTRACT. DUST CONTROL SHALL CONFORM TO CITY OF SANTA BARBARA AIR POLLUTION CONTROL DISTRICT REGULATIONS. PREVENTATIVE MEASURES TO BE TAKEN BY THE CONTRACTOR SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
  - WATER SHALL BE APPLIED TO ALL UNPAVED AREAS AS REQUIRED TO PREVENT THE SURFACES FROM BECOMING DIRTY ENOUGH TO PERMIT DUST FORMATION.
  - PAVED SURFACES OVER WHICH VEHICULAR TRAFFIC IS PERMITTED TO TRAVEL SHALL BE KEPT FREE OF DIRT.

## AIR POLLUTION NOTES

- REDUCE THE AMOUNT OF DISTURBED AREA WHERE POSSIBLE.
- USE WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. INCREASED WATERING FREQUENCY WOULD BE REQUIRED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WATER SHOULD BE USED WHENEVER POSSIBLE.
- ALL DIRT STOCK-PILE AREAS SHOULD BE SPRAYED DAILY AS NEEDED.
- PERMANENT DUST CONTROL MEASURES IDENTIFIED IN THE APPROVED PROJECT REVEGETATION AND LANDSCAPE PLANS SHALL BE IMPLEMENTED AS SOON AS POSSIBLE FOLLOWING COMPLETION OF ANY SOIL DISTURBING ACTIVITIES.
- EXPOSED GROUND AREAS THAT ARE PLANNED TO BE REWORKED AT DATES GREATER THAN ONE MONTH AFTER INITIAL GRADING SHALL BE SOWN WITH A FAST GERMINATING NATIVE GRASS SEED AND WATERED UNTIL VEGETATION IS ESTABLISHED.
- ALL DISTURBED SOIL AREAS NOT SUBJECT TO REVEGETATION SHALL BE STABILIZED USING APPROVED CHEMICAL SOIL BINDERS, JUTE NETTING, OR OTHER METHODS APPROVED IN ADVANCE BY THE APCD.
- ALL ROADWAYS, DRIVEWAYS, SIDEWALKS, ETC. TO BE PAVED SHALL BE COMPLETED AS SOON AS POSSIBLE. IN ADDITION, BUILDING PADS SHALL BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.
- VEHICLE SPEEDS FOR ALL CONSTRUCTION VEHICLES SHALL NOT EXCEED 15 MPH ON ANY UNPAVED SURFACE AT THE CONSTRUCTION SITE.
- ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHALL MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CVC SECTION 23114.
- INSTALL WHEEL WASHERS WHERE VEHICLES ENTER AND EXIT UNPAVED ROADS ONTO STREETS, OR WASH OFF TRUCKS AND EQUIPMENT LEAVING THE SITE.
- SWEEP STREETS AT THE END OF EACH DAY IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PAVED ROADS. WATER SWEEPERS WITH RECLAIMED WATER SHALL BE USED WHERE FEASIBLE.
- PORTABLE ENGINES AND PORTABLE EQUIPMENT USED DURING CONSTRUCTION SHALL BE REGISTERED IN THE STATEWIDE PORTABLE EQUIPMENT REGISTRATION PROGRAM OR MUST OBTAIN A PERMIT TO OPERATE FROM THE APCD PRIOR TO THE START OF CONSTRUCTION. EXAMPLES OF SUCH PORTABLE ENGINES INCLUDES, BUT ARE NOT LIMITED TO, INTERNAL COMBUSTION ENGINES USED IN CRANES, PUMPS, AND WELDING POWER GENERATION. EXAMPLES OF PORTABLE EQUIPMENT INCLUDE, BUT ARE NOT LIMITED TO, CONFINED AND UNCONFINED ABRASIVE BLATING OPERATIONS AND TUB GRINDERS.

## EROSION CONTROL NOTES

- EROSION CONTROL MEASURES SHALL BE FULLY INSTALLED AT ALL TIMES.
- ALL SITE ACCESSES SHALL BE PROTECTED AGAINST EROSION AT ALL TIMES THAT WORK IS NOT BEING PERFORMED ON THE SITE, INCLUDING EVENINGS, WEEKENDS AND HOLIDAYS. SUCH PROTECTION MAY BE REMOVED TO PROVIDE ACCESS TO THE SITE DURING WORK HOURS IF AND WHEN IT IS NOT REQUIRED DUE TO WEATHER CONDITIONS.
- THE FIRST DOWNSTREAM STORM DRAIN INLET SHALL BE PROTECTED PER DETAIL.
- ALL STOCKPILES SHALL BE PROTECTED AGAINST WIND AND WATER EROSION, PER DETAIL, IMMEDIATELY UPON PLACEMENT.
- PERMANENT EROSION CONTROL MEASURES SHALL BE FULLY ESTABLISHED TO THE SATISFACTION OF THE COUNTY ENGINEER PRIOR TO FINAL.
- IN THE EVENT OF OFF-SITE EROSION, THE PROPERTY OWNER AND/OR HIS REPRESENTATIVE(S) SHALL BE RESPONSIBLE FOR CLEANUP AND ALL ASSOCIATED COSTS OR DAMAGES.
- EROSION CONTROL PLANS REPRESENT THE MINIMUM ACCEPTABLE PROTECTION. FURTHER MEASURES WILL BE REQUIRED, TO THE SATISFACTION OF THE CITY ENGINEER IN THE EVENT OF INADEQUACY OR FAILURE.

## UNDERGROUND UTILITY STATEMENT

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THIS MAP.

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THIS DRAWING.

ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA.

UNDERGROUND SERVICE ALERT SHALL BE CONTACTED TWO WORKING DAYS PRIOR TO CONSTRUCTION BY CALLING 811 OR 1-800-642-2444.

## EARTHWORK QUANTITIES

THE FOLLOWING QUANTITIES ARE APPROXIMATE AND ARE ADDED HERON FOR PERMIT PROCESSING ONLY. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE PLANS AND TAKE OFF ANY QUANTITIES THEY NEED TO PERFORM THE WORK SHOWN ON THE PLANS. IF THE CONTRACTOR FINDS ANY DISCREPANCY WITH THE QUANTITIES SHOWN HEREON, HE SHALL MAKE THE OWNER AND ENGINEER AWARE OF THOSE DISCREPANCIES PRIOR TO COMMENCING WORK SO THAT APPROPRIATE MODIFICATIONS CAN BE MADE. THIS PLAN DOES NOT INCLUDE OVER EXCAVATION, RECOMPACTION OR SUBSIDENCE. THIS PLAN INCLUDES GRUB OF 0.1 ACROSS THE SITE, AND SHRINK 10% OF THE FILL.

CUT = 3,200 CUBIC YARDS  
FILL = 2,385 CUBIC YARDS

SITE DISTURBANCE = 1.2 ACRES  
MAX CUT = 12.5 FT  
MAX FILL = 8.5 FT

SHEET INDEX	
CE-1	TITLE AND NOTE SHEET
CE-2	GRADING AND DRAINAGE PLAN
CE-3	EROSION PLAN
CE-4	SEPTIC DESIGN SHEET

## LEGEND

EXISTING	PROPOSED	
		STORM DRAIN CATCH BASIN
		BOUNDARY
		CONTOURS MAJOR
		CONTOURS MINORS
		BUILDING OUTLINE
		SPOT ELEVATION
		PERIMETER WALL
		SITE WALL
		EXIST. CURB IMPROVEMENTS

## MAPPING

TOPOGRAPHIC MAPPING HAS BEEN COMPILED FROM A FIELD SURVEY PERFORMED BY MARK E. MOLIN INC. JOB 16035 DATED AUGUST 8, 2016.

## BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS TOPOGRAPHIC MAPPING IS BETWEEN FOUND MONUMENTS AT POINTS #41 AND #44 AS SHOWN HEREON AND NOTED TO BE NORTH 48°04'50" WEST PER 15 MB 57.

BASIS OF ELEVATIONS IS NAVD88 DERIVED FROM A NGS OPUS SOLUTION COMPILED FROM GPS OBSERVATIONS DATED 09/20/16.

## UTILITIES

SURFACE UTILITY FEATURES SHOWN HEREON WERE LOCATED AS A PART OF THE FIELD SURVEY PERFORMED BY MARK E. MOLIN INC. JOB 16035 DATED AUGUST 8, 2016.



VICINITY MAP  
NOT TO SCALE

## ABBREVIATIONS

AC - ASPHALT CONCRETE  
BW - BACK OF WALL (GRADE AT BW)  
CL - CENTERLINE  
DIP - DUCTILE IRON PIPE  
EP - EDGE OF PAVEMENT  
ESMT - EASEMENT  
(E) EXISTING  
EXIST - EXISTING  
FG - FINISHED GRADE ELEVATION  
FH - FIRE HYDRANT  
FL - FLOW LINE  
FF - FINISHED FLOOR ELEVATION  
FS - FINISHED SURFACE ELEVATION  
FW - FRONT OF WALL  
GB - GRADE BREAK  
GP - GRADING PLAN  
HDPE - HIGH DENSITY POLYETHYLENE  
HP - HIGH POINT  
INV - PIPE/DRAIN INVERT ELEVATION  
LF - LINEAR FEET  
LP - LOW POINT  
LI - LEFT  
MH - MANHOLE  
MJ - MECHANICAL JOINT  
PL - PROPERTY LINE  
POC - POINT OF CONNECTION  
PVC - POLYVINYL CHLORIDE  
R - RADII  
RCP - REINFORCED CONCRETE PIPE  
ROW - RIGHT OF WAY  
RW - RETAINING WALL  
RI - RIGHT  
SS - SANITARY SEWER  
SD - STORM DRAIN  
STE - STATION  
TF - TOP OF FOOTING ELEVATION  
TG - TOPO OF GRATE  
TW - TOP OF WALL ELEVATION  
WL - WATER LINE  
WM - WATER METER  
WV - WATER VALVE  
(XX-XX) - EXISTING ELEVATION

## PROJECT CONTACTS:

CIVIL ENGINEER:  
PRAXIS CONSOLIDATED INTERNATIONAL  
205 SUBURBAN ROAD, SUITE 1  
SAN LUIS OBISPO, CA 93401  
PH: (805) 488-8900  
CONTACT: BILL REBIK  
br@praxisci.com

STRUCTURAL ENGINEER:  
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SAN LUIS OBISPO, CA 93401  
PH: (805) 488-8900  
CONTACT: DAVID RAFIEE  
draf@praxisci.com

SURVEY:  
MARK E. MOLIN, INC.  
LICENSED LAND SURVEYOR  
CA #17929 MT #18577  
1075 HEMINGWAY LANE  
TEMPLETON, CA 93465  
PH: (805) 674-4185  
CONTACT: MARK MOLINA

GEOTECH:  
GSI SOILS INC. (REPORT DATED 3/04/16)  
524 EAST CHAPEL STREET  
SANTA MARIA, CA 93454  
PH: (805) 348-1040  
CONTACT: RICK ARMERO

ARCHITECT:  
HARRIS ARCHITECTURE & DESIGN  
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ARROYO GRANDE CA 93420  
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CONTACT: JOSH GARDNER  
jg@cadesign@gmail.com

OWNER:  
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PO BOX 8018  
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tedwards@vedwards.com

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TITLE SHEET  
EDWARDS RESIDENCE LOT 17, 18  
COUNTY OF SAN LUIS OBISPO

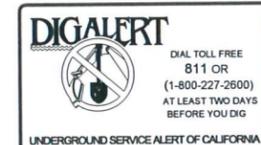
JOB NUMBER:  
16013

DATE ISSUED:

PRINTED October 14, 2016

SHEET:  
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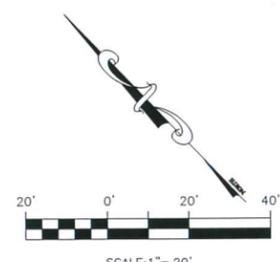
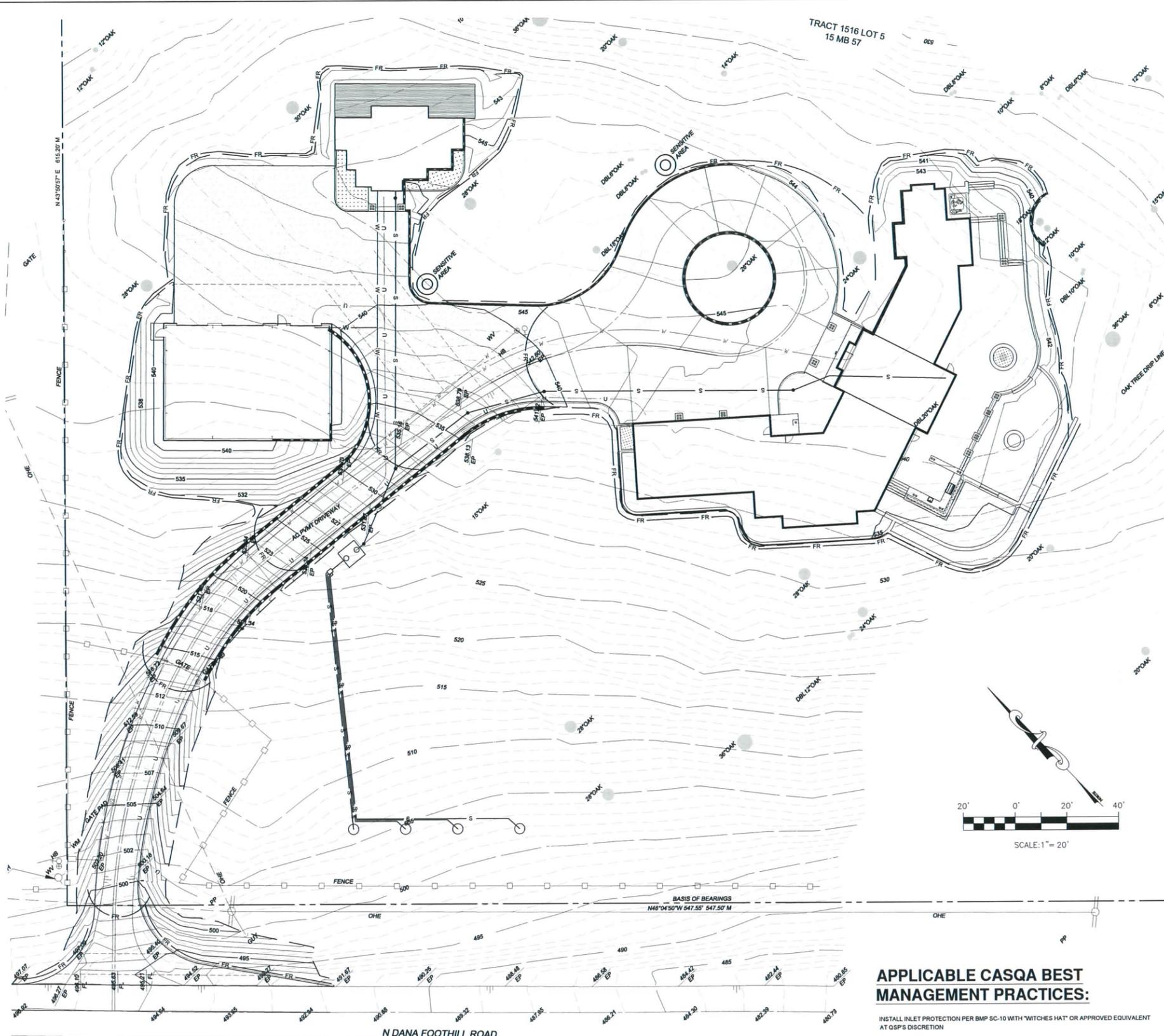
OF





**EROSION CONTROL STANDARD NOTES:**

- ALL DISTURBED SURFACES RESULTING FROM GRADING OPERATIONS SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION. THIS CONTROL MAY CONSIST OF EFFECTIVE PLANTING, SUCH AS RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED. THE PROTECTION FOR THE SLOPES SHALL BE INSTALLED AS SOON AS PRACTICABLE AND PRIOR TO CALLING FOR FINAL INSPECTION. THE BUILDING OFFICIAL MAY REQUIRE WATERING OF PLANTED AREAS TO ASSURE GROWTH. WHERE IT IS DETERMINED BY THE BUILDING OFFICIAL THAT CUT SLOPES ARE NOT SUBJECT TO EROSION DUE TO THE EROSION-RESISTANT CHARACTER OF THE MATERIALS, SUCH PROTECTION MAY BE OMITTED. CHECK DAMS, CRIBBING, RIPRAP OR OTHER DEVICES OR METHODS SHALL BE EMPLOYED TO CONTROL EROSION. DUST FROM GRADING OPERATION MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE GRADING SITE TO PREVENT DUST PROBLEMS.
- THIS PLAN IDENTIFIES POTENTIAL SOURCES OF POLLUTANTS OF STORM WATER, PRESENTS POLLUTION CONTROL MEASURES, AND ASSISTS IN ENSURING IMPLEMENTATION AND MAINTENANCE OF THE BEST MANAGEMENT PRACTICES (BMPs) LOCATED HEREIN. SEDIMENT IS A POTENTIAL POLLUTANT AND THE BMPs WERE SELECTED AND PLACED FOR OPTIMAL EROSION AND SEDIMENTATION CONTROL.
- THE NEED FOR EROSION CONTROL DEVICES WILL VARY ACCORDING TO THE SEASON DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE BMPs WHEREVER NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
- TEMPORARY EROSION CONTROL DEVICES ARE TO BE MAINTAINED BY THE CONTRACTOR AND KEPT IN OPERATION UNTIL SUBSEQUENT PROJECT WORK ELIMINATES THEIR NEED. IT MAY BE NECESSARY TO MOVE, ADJUST, REPLACE, OR CHANGE THE SHAPE OF THE EROSION CONTROL DEVICES DURING THE COURSE OF THE PROJECT. EROSION CONTROL MEASURES SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER OR COUNTY INSPECTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THIS PLAN AND FOR MAINTENANCE OF BMPs. ALL CONTRACTORS AND THEIR PERSONNEL WHOSE WORK CAN CONTRIBUTE TO OR CAUSE POLLUTION OF STORM WATER SHOULD BE MADE FAMILIAR WITH THIS POLLUTION PREVENTION PLAN. ADEQUATE TRAINING FOR IMPLEMENTATION OF THE MEASURES PRESENTED HEREIN SHALL BE PROVIDED BY THE CONTRACTOR TO THEIR PERSONNEL.
- THE EROSION CONTROL DEVICES ON THIS PLAN ARE A GENERAL CONCEPT OF WHAT MAY BE REQUIRED. EROSION CONTROL DEVICES MAY BE RELOCATED, DELETED OR ADDITIONAL ITEMS MAY BE REQUIRED DEPENDING ON THE ACTUAL SOIL CONDITIONS ENCOUNTERED. EROSION CONTROL DEVICES MAY BE PLACED AT THE DISCRETION OF THE ENGINEER OR THE COUNTY INSPECTOR.
- CHANGES IN CONSTRUCTION OR IN A CONDITION WHICH ARE NOT COVERED BY THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE OSD SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP AND THIS EROSION AND SEDIMENTATION CONTROL PLAN AS REQUIRED, ADDRESSING THE CHANGING SITE CONDITIONS.
- A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS AND STOCKPILE SHALL BE AVAILABLE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- ALL PROTECTIVE DEVICES DIRECTED TO BE INSTALLED SHALL BE IN PLACE AT THE END OF EACH WORK DAY WHEN THE FIVE DAY RAIN PROBABILITY EXCEEDS 50% AS FORECAST BY THE NATIONAL WEATHER SERVICE (<http://www.noaa.gov/>).
- THIS PLAN MUST BE KEPT ON-SITE DURING CONSTRUCTION ACTIVITY AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE LOCAL AGENCY.
- CONTRACTOR WILL INSPECT BMPs BEFORE, AFTER AND EVERY 24 HOURS DURING EXTENDED STORM EVENTS. THE CONTRACTOR WILL RECORD CONDITIONS OF THE BMPs AND ANY ACTIVITIES REQUIRED FOR MAINTAINING, REPAIRING BMPs, MONITORING INCLUDES MAINTAINING A FILE DOCUMENTING ON-SITE INSPECTIONS, PROBLEMS ENCOUNTERED, CORRECTIVE ACTIONS, AND NOTES AND A RELOCATE MAP OF REMEDIAL IMPLEMENTATION MEASURES. COPIES OF THESE REPORTS WILL BE KEPT ON-SITE AND WILL BE AVAILABLE FOR REVIEW.
- THIS PLAN OFFERS METHODS FOR CONTROL OF SOIL EROSION AND SEDIMENT DURING GRADING AND CONSTRUCTION OPERATIONS. NO WARRANTY IS STATED OR IMPLIED THAT, DURING AN UNUSUAL STORM EVENT, IMPLEMENTATION OF THESE METHODS WILL PREVENT DAMAGE AS A RESULT OF SOIL EROSION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPER INSTALLATION OF BMPs, ANY AND ALL DAMAGE TO OWNER'S PROPERTY, ADJACENT PROPERTY, AND CONTRACTORS ON GOING WORK.
- LOCATION OF DEBRIS RECEPTACLES, VEHICLES STAGING AREA AND MATERIALS STORAGE AREA TO BE DETERMINED BY CONTRACTOR.
- PETROLEUM PRODUCTS, CHEMICALS, AND OTHER POTENTIAL POLLUTANT MATERIAL KEPT ON-SITE IN MINOR QUANTITIES WILL BE STORED IN WATERPROOF CONTAINERS AND CONTINUALLY MONITORED TO PREVENT LEAKS OR ACCIDENTAL RELEASES.
- ALL MATERIAL EXCAVATED OR GRADED SHALL BE SUFFICIENTLY WATERED TO PREVENT EXCESSIVE AMOUNTS OF DUST. WATERING SHALL OCCUR AT LEAST TWICE DAILY WITH COMPLETE COVERAGE, PREFERABLY IN THE LATE MORNING AND AFTER WORK IS FINISHED FOR THE DAY.
- ALL CLEARING, GRADING, EARTH MOVING, OR EXCAVATION ACTIVITIES SHALL CEASE DURING PERIODS OF HIGH WINDS SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST OR VISIBLE SITE DISTURBANCE.
- ALL MATERIAL TRANSPORTED OFF-SITE SHALL BE EITHER SUFFICIENTLY WATERED OR SECURELY COVERED TO PREVENT EXCESSIVE AMOUNTS OF DUST.
- THE AREA DISTURBED BY CLEARING, GRADING, EARTH MOVING, OR EXCAVATION OPERATIONS SHALL BE MINIMIZED SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST.
- PERMANENT DUST CONTROL MEASURES DESCRIBED HEREIN SHALL BE IMPLEMENTED AS SOON AS POSSIBLE FOLLOWING COMPLETION OF ANY SOIL DISTURBING ACTIVITIES.
- ON-SITE VEHICLE SPEED SHALL BE LIMITED TO 15 MPH FOR ANY UNPAVED SURFACE.
- ALL UNPAVED AREAS WITH VEHICLE TRAFFIC SHALL BE WATERED AT LEAST TWICE PER DAY, USING NON-POTABLE WATER.
- STREETS ADJACENT TO THE PROJECT SITE SHALL BE SWEEP DAILY TO REMOVE SILT WHICH MAY HAVE ACCUMULATED FROM CONSTRUCTION ACTIVITIES SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST FROM LEAVING THE SITE.
- DUST CONTROL SHALL COMPLY TO THE APPROVED DUST CONTROL PLAN.
- WHEN WINTER GRADING OPERATIONS TAKE PLACE, THE FOLLOWING MEASURES MUST BE TAKEN TO MITIGATE ACCELERATED EROSION.
  - VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.
  - BETWEEN OCTOBER 15TH AND APRIL 15TH, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
  - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
  - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
  - THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- EROSION CONTROL MEASURES SHALL BE FULLY INSTALLED AT ALL TIMES.
- ALL SITE ACCESSES SHALL BE PROTECTED AGAINST EROSION AT ALL TIMES THAT WORK IS NOT BEING PERFORMED ON THE SITE, INCLUDING EVENINGS, WEEKENDS AND HOLIDAYS. SUCH PROTECTION MAY BE REMOVED TO PROVIDE ACCESS TO THE SITE DURING WORK HOURS IF AND WHEN IT IS NOT REQUIRED DUE TO WEATHER CONDITIONS.
- THE FIRST DOWNSTREAM STORM DRAIN INLET SHALL BE PROTECTED PER DETAIL.
- ALL STOCKPILES SHALL BE PROTECTED AGAINST WIND AND WATER EROSION, PER DETAIL, IMMEDIATELY UPON PLACEMENT.
- PERMANENT EROSION CONTROL MEASURES SHALL BE FULLY ESTABLISHED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO FINAL.
- IN THE EVENT OF OFF-SITE EROSION, THE PROPERTY OWNER AND/OR HIS REPRESENTATIVE(S) SHALL BE RESPONSIBLE FOR CLEANUP AND ALL ASSOCIATED COSTS OR DAMAGES.
- EROSION CONTROL PLANS REPRESENT THE MINIMUM ACCEPTABLE PROTECTION. FURTHER MEASURES WILL BE REQUIRED, TO THE SATISFACTION OF THE CITY ENGINEER IN THE EVENT OF INADEQUACY OR FAILURE.



**LEGEND:**



**APPLICABLE CASQA BEST MANAGEMENT PRACTICES:**

- INSTALL INLET PROTECTION PER BMP SC-10 WITH "WITCHES HAT" OR APPROVED EQUIVALENT AT OSP'S DISCRETION
- STABILIZED CONSTRUCTION ENTRANCE/EXIT PER BMP TC-1
- INSTALL TEMPORARY SILT FENCE PER BMP SC-1, OPTIONAL AT OSP'S DISCRETION
- INSTALL TEMPORARY VEHICLE AND EQUIPMENT MAINTENANCE AREA
- INSTALL TEMPORARY CONCRETE WASTE MANAGEMENT AREA
- INSTALL TEMPORARY VEHICLE AND EQUIPMENT FUELING AREA
- INSTALL TEMPORARY STOCKPILE MANAGEMENT AREA
- INSTALL TEMPORARY MATERIAL DELIVERY AND STORAGE AREA

**DIGALERT**  
 DIAL TOLL FREE  
 811 OR  
 (1-800-227-2600)  
 AT LEAST TWO DAYS  
 BEFORE YOU DIG  
 UNDERGROUND SERVICE ALERT OF CALIFORNIA

PRELIMINARY  
NOT FOR  
CONSTRUCTION

**PRAXIS**  
 Ideas into Action  
 205 Suburban Road, Suite 1  
 San Luis Obispo, CA 93401  
 praxis@praxis.com www.praxis.com

REGISTERED PROFESSIONAL ENGINEER  
 WILLIAM L. REINHOLD  
 No. C 35337  
 Exp. \_\_\_\_\_  
 STATE OF CALIFORNIA

EROSION PLAN  
 EDWARDS RESIDENCE LOT 17, 18  
 COUNTY OF SAN LUIS OBISPO

JOB NUMBER:  
16013

DATE ISSUED:

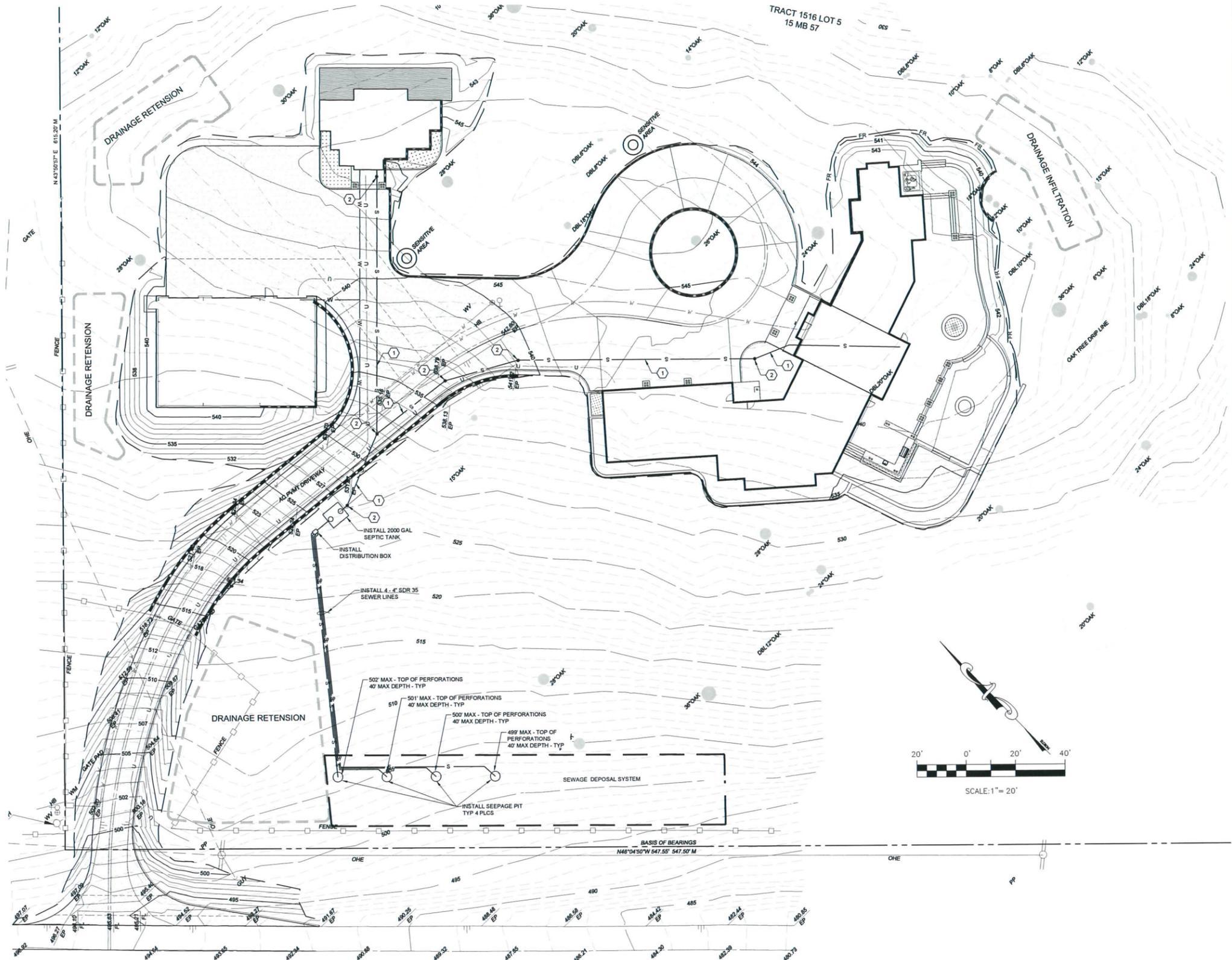
PRINTED October 14, 2016

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OR

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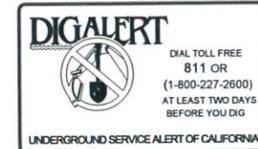
**SEPTIC NOTE**

ADDITIONAL SEPTIC DESIGN TO FOLLOW PERCOLATION TEST DATA



**SEPTIC NOTES**

- 1 INSTALL 4" PVC SEWER LATERAL @ 2% MIN. GRADE
- 2 INSTALL SS SEWER CLEANOUT
- 3 INSTALL 2000 GAL. SEPTIC TANK
- 4 INSTALL DISTRIBUTION BOX



PRELIMINARY  
NOT FOR  
CONSTRUCTION



SEPTIC PLAN  
EDWARDS RESIDENCE LOT 17, 18  
COUNTY OF SAN LUIS OBISPO

JOB NUMBER  
16013

DATE ISSUED

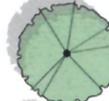
PRINTED October 14, 2016

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# PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT. SIZE	GAL.	PLANT SIZE	GROWTH RATE	40%	75%	QTY.
	<i>Albizia julibrissen</i> / Silk Tree	15 gal	1.25'Gal	8'-9"H X 3'-6"W	Fast 25"/Yr	12'-20"H X 12'-20"W	20'-30"H X 15'-20"W	5
	<i>Cercidium microphyllum</i> / Foothill Palo Verde	15 gal	1'Gal	4'-5"H X 3'-4"W	Slow 1"/Yr	5'-8"H X 5'-6"W	12'-20"H X 10'-15"W	14
	<i>Cercis occidentalis</i> / Western Redbud Multi-trunk	15 gal	0.75'Gal	4'-5"H X 3'-4"W	Moderate 1'-3"/Yr	5'-8"H X 3'-6"W	12'-20"H X 10'-15"W	4
	<i>Chilopsis linearis</i> / Desert Willow	15 gal	1'Gal	8'-9"H X 3'-4"W	Moderate 15"-24"/Yr	8'-12"H X 6'-8"W	15'-25"H X 8'-10"W	3
	<i>Gleditsia triacanthos</i> Inermis 'Shademaster'™ / Shademaster Locust	15 gal	1.25'Gal	8'-9"H X 5'-6"W	Fast 25"/Yr	15'-25"H X 15'-25"W	35'-40"H X 35'-40"W	7
	<i>Populus fremontii</i> / Fremont Cottonwood	15 gal	1.25'Gal	10'-12"H X 5'-6"W	Fast 25"/Yr	12'-20"H X 12'-20"W	35'-40"H X 35'-40"W	3
	<i>Prosopis glandulosa</i> / Honey Mesquite	15 gal	1.25'Gal	8'-9"H X 5'-6"W	Fast 25"/Yr	15'-25"H X 15'-25"W	25'-35"H X 25'-35"W	4
	<i>Vitex agnus-castus</i> / Chaste Tree	15 gal	1'Gal	4'-5"H X 3'-4"W	Fast 25"/Yr	8'-12"H X 6'-8"W	10'-15" X 15'-20"H	5
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT. SIZE	GAL.	PLANT SIZE	GROWTH RATE	40%	75%	QTY.
	<i>Lophostemon confertus</i> / Brisbane Box	15 gal	1.25'Gal	8'-9"H X 5'-6"W	Fast 25"/Yr	12'-30"H X 12'-18"W	30'-50"H X 10'-30"W	13
	<i>Lysiloma thoribari</i> / Feather Bush	15 gal	1.25'Gal	8'-9"H X 3'-4"W	Fast 25"/Yr	8'-10"H X 8'-10"W	12'-15"H X 12'-15"W	2
	<i>Olea europaea</i> 'Sevillano' / Olive	24'box	2'Gal	10'-12"H X 5'-6"W	Slow 1"/Yr	12'-20"H X 12'-20"W	25'-35"H X 25'-35"W	10
	<i>Quercus agrifolia</i> / Coast Live Oak Replacement Tree - See Oak Tree Mitigation	15 gal	1.25'Gal	4'-5"H X 3'-4"W	Slow 1"/Yr	8'-12"H X 6'-8"W	12'-20"H X 10'-15"W	4
	<i>Quercus engelmannii</i> / Engelmann Oak	15 gal	1'Gal	8'-9"H X 3'-4"W	Slow 1"/Yr	8'-12"H X 6'-8"W	12'-20"H X 10'-15"W	7
	<i>Schinus molle</i> / California Pepper	15 gal	1.75'Gal	8'-9"H X 5'-6"W	Fast 25"/Yr	15'-25"H X 15'-25"W	25'-35"H X 25'-35"W	13
PALM TREES	BOTANICAL NAME / COMMON NAME	CONT. SIZE	GAL.	PLANT SIZE	GROWTH RATE	40%	75%	QTY.
	<i>Dracaena draco</i> / Dragon Tree	24'box	2.5'Gal	4'-5"H X 3'-4"W	Slow 1"/Yr	8'-12"H X 6'-8"W	15'-35"H X 15"W	1

## SKYLINE PRESERVATION SCREENING COMPLIANCE

PROPOSED LANDSCAPE SCREENING SHALL COMPLY PER STANDARDS DESIGNATED BY THE COUNTY OF SAN LUIS OBISPO VIEW SHED AREA VISUAL RESOURCE PRESERVATION MEASURES. PLANT SPECIES PROJECTED HEIGHT AT MATURITY, TIME FRAME FOR MATURITY, AND PLACEMENT OR LOCATION ARE INDICATED HEREIN. INITIAL SCREENING SHALL BE 40%, REACHING 75% UPON MATURITY.

# CONCEPT PLANT SCHEDULE

	<b>VERTICAL TEXTURAL SPECIMEN ACCENT SHRUB</b> Agave deserti / Desert Agave Caesalpinia gillesii / Yellow Bird of Paradise Hesperaloe parviflora / Red Yucca Kniphofia uvana / Torch Lily	50
	<b>SPECIMEN CACTI, CYCADS AND DRACENAS</b> Beaucarnea recurvata / Pony Tail Palm Euphorbia ingens / Candelabra Tree Opuntia cactusnana / Spineless Prickly Pear Yucca elata / Soap Tree Yucca Yucca linearifolia / Linear Leaf Yucca Yucca rostrata / Beaked Yucca Yucca whipplei / Chaparral Yucca	27
	<b>NATIVE GRASS VERTICAL TEXTURAL ACCENT</b> Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass Muhlenbergia capillaris / Pink Muhly Muhlenbergia ngens / Deer Grass Pennisetum setaceum 'Rubrum' / Purple Fountain Grass Stipa tenuissima / Finestem Needlegrass	65
	<b>LARGE NATIVE SHRUB OR SMALL MULTI-TRUNK TREE</b> Ayoyoni huegeli / Blue Hibiscus Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Manzanita Arctostaphylos pajaronensis / Pajaro Manzanita Ceanothus arboreus 'Powder Blue' / Ceanothus Cotinus coggygria / Smoke Tree Fremontodendron californicum / California Flannel Bush Garrya elliptica / Coast Silk Tassel Hibiscus syriacus / Rose Of Sharon	21
	<b>2'-5' HIGH FLOWERING NATIVE SHRUBS OR GROUND COVER</b> Low density, Low water use Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Manzanita Caesalpinia gillesii / Yellow Bird of Paradise Calliandra californica / Red Baja Fairy Duster Cistus laurifolius / Crimson Spout Rockrose Encelia farinosa / Brittle Bush Eriogonum giganteum / St. Catherine's Lace Euphorbia rigida / Yellow Spurge Hesperaloe parviflora / Red Yucca Hibiscus syriacus / Rose Of Sharon Justicia californica / Beloperone Kniphofia uvana / Torch Lily Lavatera bicolor / Tree Mallow Muhlenbergia ngens / Deer Grass Salvia greggii / Lipstick / Autumn Sage Salvia leucantha 'Indigo Spire' / Indigo Spire Sage Salvia leucophylla / Purple Leaf Sage Salvia x 'Poza Blue' / Poza Blue Sage Salvia x sylvestris 'Amethyst' / Meadow Sage Santolina chamaecyparissus / Lavender Cotton Sinningia speciosa / Jigoka	6,586 sf
	<b>DESIGNATED ROCK GARDEN PLANTS</b> Achillea millefolium 'Cense Queen' / Dark Pink Yarrow Agave attenuata 'Huntington Blue' / Century Plant Agave attenuata 'Kara's Stripes' / Agave Aster x 'Blue Autumn' / Hardy Aster Festuca ovina glauca / Blue Sheep Fescue Justicia californica / Beloperone Myoporum parvifolium 'Tucson' / Trailing Myoporum Oenothera biennis 'Siskiyou' / Mexican Evening Primrose Penstemon digitalis / Beard-tongue Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary Salvia sonomensis / Creeping Sage Santolina chamaecyparissus / Lavender Cotton Verbena tenuisecta / Rock Verbena	3,295 sf
	<b>COMPACTED GLASS II ROAD BASE (DG)</b> Optional Polyseal Surface Treatment or Crushed Granite Wearing Course	1,404 sf
	<b>NON-IRRIGATED NATURALIZED NATIVE GROUND COVER AREA</b> Hydroseeded Native Wild Flower Perennial & Native Grass Seed Mix for erosion control. Area to receive temporary irrigation if necessary for seed germination and establishment. Chenopodium californicum / Goosefoot Clarkia amoena / Farewell to Spring Elymus glaucus / Blue Wildrye Eriogonum cinereum / Ashleaf Buckwheat Eschscholzia californica / California Poppy Festuca microstachya / Samli Fescue Hazardia ssp. arvensis / Sawtoothed Goldenroset Lupinus nanus / Sky Lupine Melica californica / Melic Mimulus aurantiacus / Sticky Monkey Flower Nemophila menziesii / Baby Blue Eyes Phacelia campanularia / California Desert Bluebell Salvia apiana / White Sage Stipa tenuisecta / Nodding Needlegrass	16,661 sf
	<b>RIVER COBBLE GROUND COVER OR MULCH AREA</b>	2,533 sf

## LANDSCAPE WATER USE COMPLIANCE

- NEW CONSTRUCTION SHALL COMPLY WITH THE MODEL EFFICIENT LANDSCAPE LANDSCAPE ORDINANCE (MWELO) TITLE 23, DIVISION 2, CHAPTER 2.7 PER CA. DEP. OF WATER RESOURCES.
- THE PROPOSED IRRIGATED LANDSCAPE AREA EXCEEDS 2500 SQUARE FEET AND THEREFORE SHALL CONFORM TO THE COUNTY OF SAN LUIS OBISPO WATER EFFICIENT LANDSCAPE PERFORMANCE BASED COMPLIANCE PACKAGE.

### OWNER(S):

Todd & Keri Edwards  
1020 McNeil Avenue  
Santa Maria, CA 93454  
e-mail: tedwards@liveoak.com  
k.edwards@liveoak.com

### PROJECT:

**Edwards  
Residence**  
1262 N. Dana Foothill Rd.  
Nipomo, CA 93444  
APN: 090-012-007



### REVISIONS

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DATE 10/13/2016  
DRAWN BY LGG  
CHECKED LGG  
JOB NO. LX

### SHEET TITLE

CONCEPTUAL  
PLANT  
SCHEDULE-NOTES

### SHEET NO.

CP1.0

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# OAK TREE MITIGATION

**OAK #1** → INDICATES IMPACTED EXIST. OAK TREE TO REMAIN AND PROTECTED IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION

TOTAL DEVELOPMENT IMPACTED OAKS = 8

QUERCUS AGRIFOLIA - LIVE OAKS (8)

QUERCUS ENLEMANNII - MESA OAKS (8)

TOTAL OAKS FOR MITIGATION = 16

**NOTES:**

- ALL OAK TREES SHALL BE PRESERVED ON SITE.
- ALL DEVELOPMENT WITHIN THE CRITICAL ROOT ZONE OF THE OAKS SHALL BE SHALLOW WORK NO GREATER THAN 12" DEEP.



981 Las Tunas Street  
Morro Bay, California 93428

**OWNER(S):**

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Santa Maria, CA 93454  
e-mail: tedwards@iveedwards.com  
k.edwards@iveedwards.com

**PROJECT:**

**Edwards Residence**  
1262 N. Dana Foothill Rd.  
Nipomo, CA 93444  
APN: 090-012-007



**1** VIEW SHED #1 - FROM DANA FOOTHILL ROAD EDGE OF PAVEMENT AT NORTHERN PROPERTY LINE

**2** VIEW SHED #2 - FROM DANA FOOTHILL RD. EDGE OF PAVEMENT JUST SOUTH OF MID WESTERN PROPERTY BOUNDARY

**3** VIEW SHED #3 - FROM DANA FOOTHILL RD. EDGE OF PAVEMENT AT SOUTHERN PROPERTY BOUNDARY

**NOTE:**  
SEE CORRESPONDING 11 X 17 VISUAL SIMULATION (VS) NUMBERED EXHIBITS



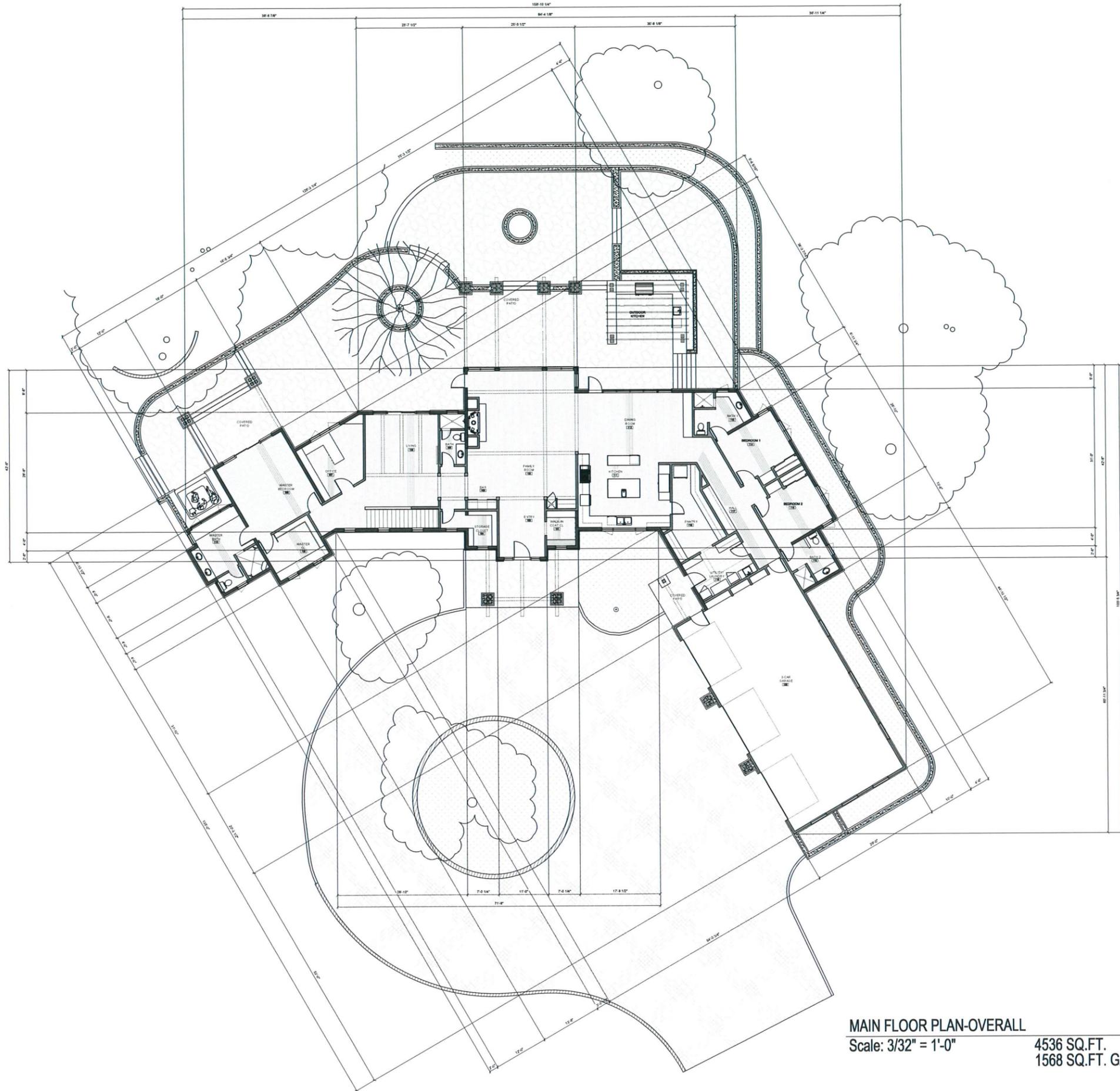
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DATE 10/13/2016  
DRAWN BY LGG  
CHECKED LGG  
JOB NO. LX

SHEET TITLE  
**CONCEPTUAL LANDSCAPE PLAN**

SHEET NO.  
**CP1.1**

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MAIN FLOOR PLAN-OVERALL

Scale: 3/32" = 1'-0"

4536 SQ.FT.  
1568 SQ.FT. GARGE



PROJECT TITLE

EDWARDS RESIDENCE  
1262 NORTH DANA FOOTHILL ROAD  
NIPOMO, CALIFORNIA 93444

DRAWN BY: JKG

October 13, 2016

CHECKED:

PROJECT NO.:

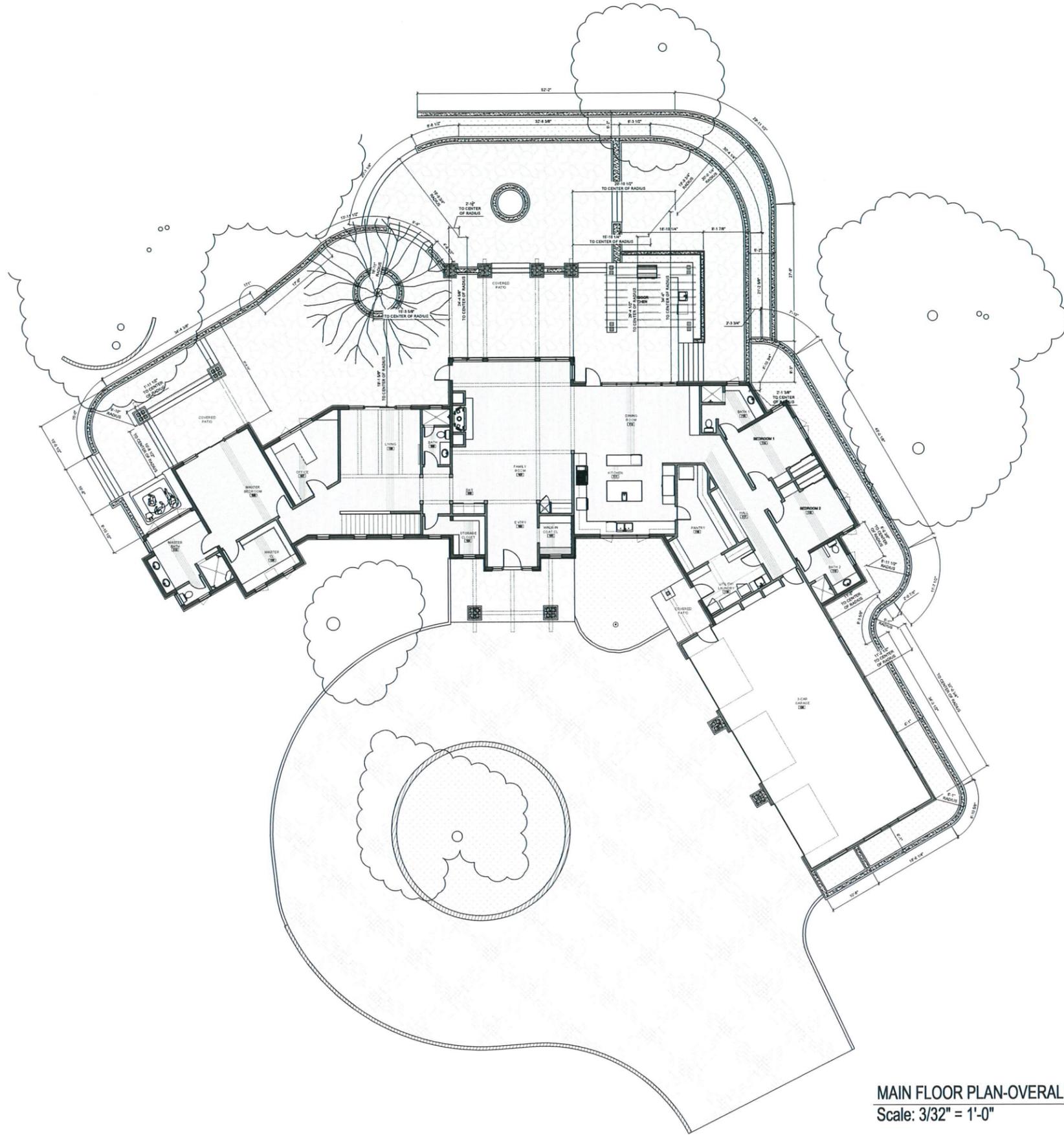
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**HARRIS**  
Architecture & Design  
151 West Branch Street - Suite E  
Arroyo Grande, CA 93420 (805) 574-1550

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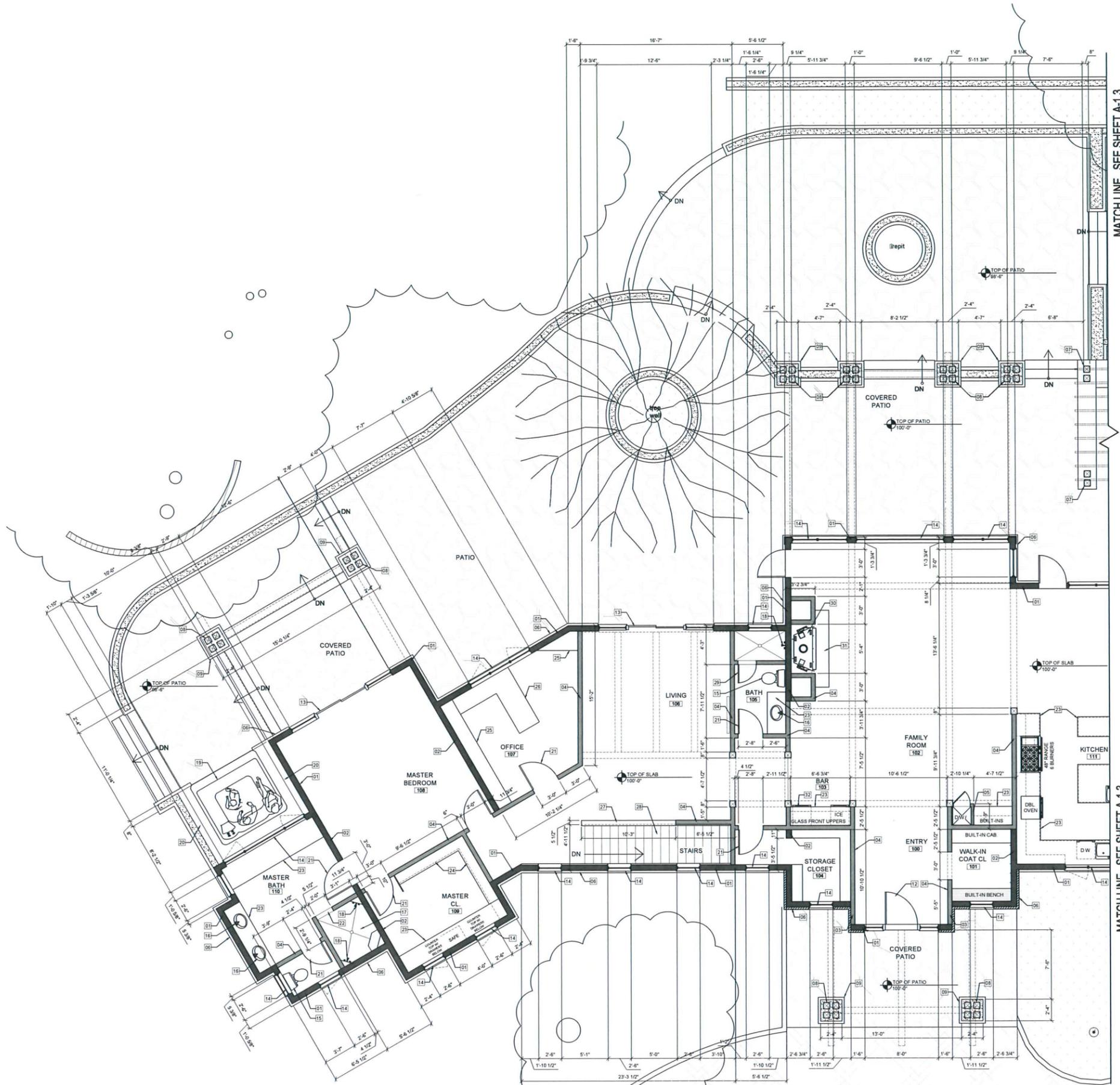
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**MAIN FLOOR PLAN-PARTIAL PLAN**  
Scale: 3/16" = 1'-0"

- FLOOR PLAN NOTES**
- 01 EXTERIOR 2X8 WOOD FRAMED WALL @ 24" O.C. FILLED WITH R-25 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR & EXTERIOR WALL MATERIALS.
  - 02 INTERIOR 2X8 WOOD FRAMED WALL @ 24" O.C. FILLED WITH R-25 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR WALL MATERIALS.
  - 03 EXTERIOR 2X8 WOOD FRAMED WALL @ 24" O.C. FILLED WITH R-19 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR & EXTERIOR WALL MATERIALS.
  - 04 INTERIOR 2X8 WOOD FRAMED WALL @ 16" O.C. FILLED WITH R-19 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR WALL MATERIALS.
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  - 06 ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON A NON-CORROSIVE WIRE LATH ON PLYWOOD SHEATHING. STONE VENEER: BUCKS COUNTY COUNTRY LEDGESTONE BY BERAL. STONE VENEER TO BE DRYSTACK AND TO HAVE TIGHT FIT MORTAR JOINTS. PROVIDE 3" THICK STONE VENEER LEDGE CAP SUPPORTED BY STEEL ANGLE & ADHERED TO THE PLYWOOD SHEATHING AT LOCATIONS SHOWN ON THE ELEVATIONS AND SECTIONS. REFER TO DETAIL (FROM SHEET A-1) CONTRACTOR TO PROVIDE MOCK-UP BEFORE CONSTRUCTION.
  - 07 10" X 10" RE-SAWN DOUGLASS FIR TIMBER POST, #1 & BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER & ARCHITECT.
  - 08 WRAP STEEL COLUMN WITH RE-SAWN DOUGLASS FIR TRIM #1 & BETTER (MITER CORNERS) TO APPEAR AS A 10" X 10" TIMBER POST, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER & ARCHITECT.
  - 09 INSTALL NEW ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON NON-CORROSIVE WIRE LATH ON CONCRETE POST BASE PIER. INSTALL 3" THICK STONE CAP ON TOP OF CONCRETE PIER AROUND WOOD COLUMN. REFER TO STRUCTURAL SHEETS FOR PIER SIZE. REFER TO DETAIL (FROM SHEET A-1) FOR DETAIL.
  - 10 INSTALL NEW WOOD GARAGE DOORS. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.
  - 11 INSTALL NEW EXTERIOR HALF GLASS DOOR (CLAD EXTERIOR & WOOD INTERIOR). REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.
  - 12 INSTALL NEW CUSTOM HALF GLASS ENTRY DOOR WITH COMBINATION SIDELIGHTS AND TRANSOMS. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.
  - 13 INSTALL NEW COMBINATION SLIDING GLASS DOOR & SIDELIGHTS (CLAD EXTERIOR & WOOD INTERIOR). REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.
  - 14 INSTALL NEW WINDOW (CLAD EXTERIOR & WOOD INTERIOR). REFER TO THE WINDOW ELEVATIONS AND WINDOW SCHEDULE ON SHEET A-1.
  - 15 TOILET (SEE PLUMBING SCHEDULE ON SHEET A-1).
  - 16 SINK & SINK FAUCET (SEE PLUMBING SCHEDULE ON SHEET A-1).
  - 17 INSTALL NEW SHOWER WITH BUILT-UP TILED SHOWER FLOOR. REFER TO THE FINISH SCHEDULE FOR THE TILE SPECIFICATIONS.
  - 18 SHOWER FAUCET AND CONTROLS (SEE PLUMBING SCHEDULE ON SHEET A-1).
  - 19 INSTALL NEW HOT TUB/SPA (SEE PLUMBING SCHEDULE ON SHEET A-1).
  - 20 INSTALL PLATFORM AROUND HOT TUB/SPA. REFER TO THE FINISH SCHEDULE FOR PLATFORM SURFACE MATERIAL.
  - 21 INSTALL NEW INTERIOR WOOD DOOR. REFER TO THE DOOR SCHEDULE AND DOOR ELEVATIONS ON SHEET A-1 FOR DOOR SIZE, STYLE AND MATERIAL.
  - 22 INSTALL 1" X 1" OPENING AT SHOWER. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.
  - 23 INSTALL COUNTERTOP WITH CABINETS/DRAWERS BELOW. REFER TO THE DETAILED PLANS AND INTERIOR ELEVATIONS ON SHEET A-1 FOR CABINET DIMENSIONS AND LAYOUT. REFER TO THE CABINET & CASEWORK AND COUNTERTOP SCHEDULES FOR THE CABINET & COUNTERTOP SPECIFICATIONS.
  - 24 INSTALL NEW ROD & SHELF. REFER TO THE DETAILED PLANS AND INTERIOR ELEVATIONS ON SHEET A-1 FOR LAYOUT AND DIMENSIONS. REFER TO THE CABINET & CASEWORK SCHEDULE ON SHEET A-1.
  - 25 BUILT-IN CABINET & CASEWORK. REFER TO THE DETAILED PLANS AND INTERIOR ELEVATIONS ON SHEETS A-1 FOR LAYOUT AND DIMENSIONS. REFER TO THE CABINET & CASEWORK SCHEDULE ON SHEET A-1.
  - 26 DESK. REFER TO THE DETAILED PLANS AND INTERIOR ELEVATIONS ON SHEET A-1 FOR LAYOUT AND DIMENSIONS. REFER TO THE CABINET & CASEWORK SCHEDULE ON SHEET A-1.
  - 27 17" HIGH LOW WALL WITH FINISHED WOOD CAP. SEE DETAIL (FROM SHEET A-1).
  - 28 INSTALL NEW WOOD STAIRS. REFER TO THE STAIR DETAILS ON SHEET A-1.
  - 29 INSTALL NEW GLASS SHOWER DOOR. REFER TO THE DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.
  - 30 INSTALL NEW GAS FIREPLACE INSERT. REFER TO THE APPLIANCE SCHEDULE ON SHEET A-1. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.
  - 31 INSTALL NEW FIREPLACE HEARTH. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.
  - 32 INSTALL NEW UNDER COUNTER REFRIGERATOR. REFER TO THE APPLIANCE SCHEDULE ON SHEET A-1. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.



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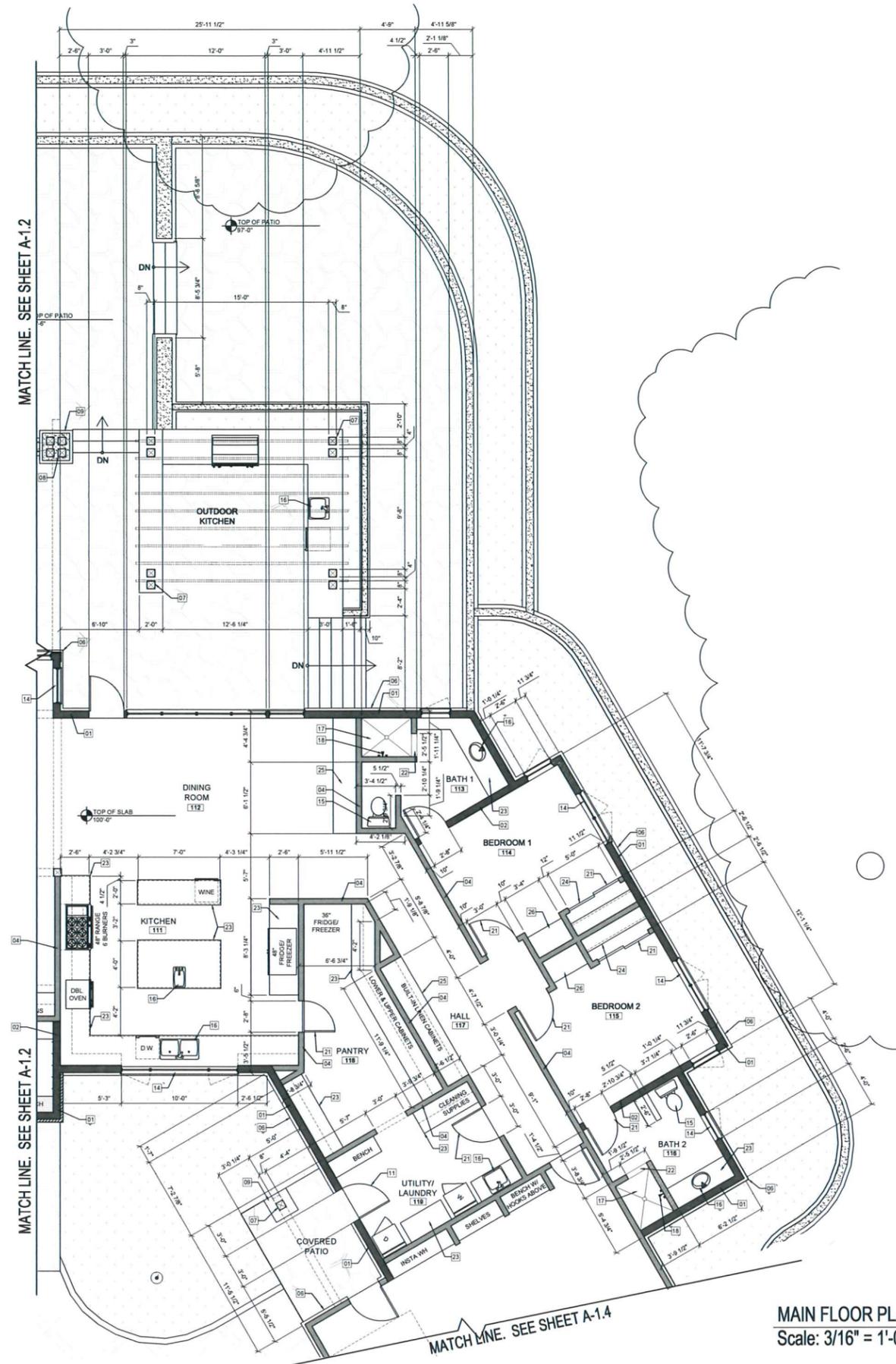
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**PROJECT TITLE**  
**EDWARDS RESIDENCE**  
1262 NORTH DANA FOOTHILL ROAD  
NIPOMO, CALIFORNIA 93444

**DRAWN BY:** JKG  
October 13, 2016  
**CHECKED:**  
**PROJECT NO.:**

**A1.2**

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MAIN FLOOR PLAN-PARTIAL PLAN  
Scale: 3/16" = 1'-0"



FLOOR PLAN NOTES

- 01 EXTERIOR 2X8 WOOD FRAMED WALL @ 24" O.C. FILLED WITH R-25 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR & EXTERIOR WALL MATERIALS.
02 INTERIOR 2X8 WOOD FRAMED WALL @ 16" O.C. FILLED WITH R-25 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR WALL MATERIALS.
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26 DESK. REFER TO THE DETAILED PLANS AND INTERIOR ELEVATIONS ON SHEET A-1 FOR LAYOUT AND DIMENSIONS. REFER TO THE CABINET & CASEWORK SCHEDULE ON SHEET A-1.
27 1" HIGH LOW WALL WITH FINISHED WOOD CAP. SEE DETAIL (ON SHEET A-1).
28 INSTALL NEW WOOD STAIRS. REFER TO THE STAIR DETAILS ON SHEET A-1.
29 INSTALL NEW GLASS SHOWER DOOR. REFER TO THE DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.
30 INSTALL NEW GAS FIREPLACE INSERT. REFER TO THE APPLIANCE SCHEDULE ON SHEET A-1. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.
31 INSTALL NEW FIREPLACE HEARTH. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.
32 INSTALL NEW UNDER COUNTER REFRIGERATOR. REFER TO THE APPLIANCE SCHEDULE ON SHEET A-1. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.

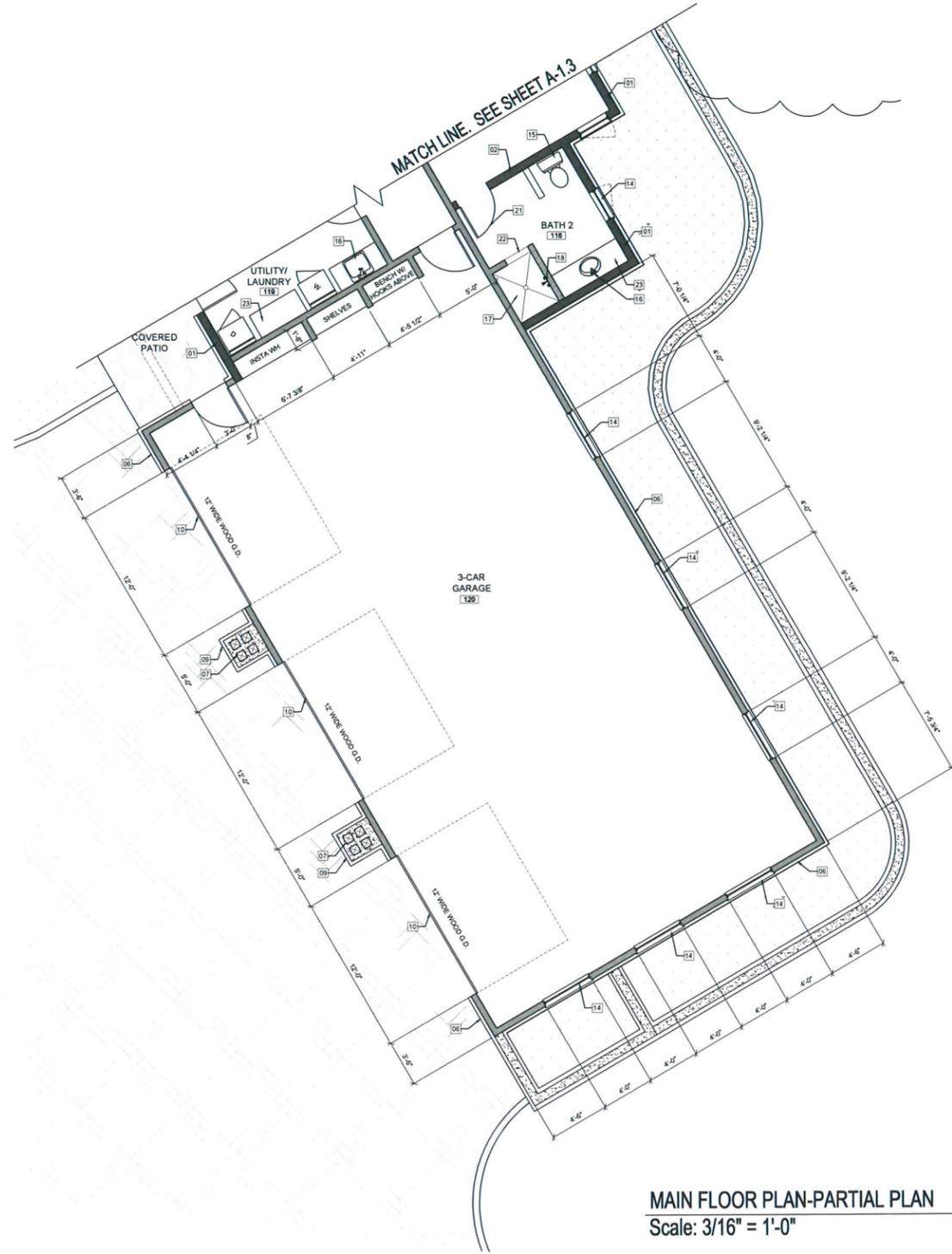
HARRIS Architecture & Design
151 West Branch Street, Suite E
Arroyo Grande, CA 93420 (805) 574-1550

Table with 4 columns and 4 rows for REVISIONS, containing revision numbers and descriptions.

PROJECT TITLE
EDWARDS RESIDENCE
1262 NORTH DANA FOOTHILL ROAD
NIPOMO, CALIFORNIA 93444

DRAWN BY: JKG
October 13, 2016
CHECKED:
PROJECT NO.:

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**FLOOR PLAN NOTES**

- 01 EXTERIOR 2X8 WOOD FRAMED WALL @ 24" O.C. FILLED WITH R-25 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR & EXTERIOR WALL MATERIALS.
- 02 INTERIOR 2X8 WOOD FRAMED WALL @ 16" O.C. FILLED WITH R-25 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR WALL MATERIALS.
- 03 EXTERIOR 2X8 WOOD FRAMED WALL @ 24" O.C. FILLED WITH R-19 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR & EXTERIOR WALL MATERIALS.
- 04 INTERIOR 2X8 WOOD FRAMED WALL @ 16" O.C. FILLED WITH R-19 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR WALL MATERIALS.
- 05 INTERIOR 2X4 WOOD FRAMED WALL @ 16" O.C. FILLED WITH R-13 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR WALL MATERIALS.
- 06 ADHESIVE STONE VENEER (1" x 1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON A NON-CORROSIVE WIRE LATH ON PLYWOOD SHEATHING. STONE VENEER: BUCKS COUNTY COUNTRY LEDGESTONE BY BORGAL. STONE VENEER TO BE DRYSTACK AND TO HAVE TIGHT FIT MORTAR JOINTS. PROVIDE 3" THICK STONE VENEER LEDGE CAP SUPPORTED BY STEEL ANGLE & ADHERED TO THE PLYWOOD SHEATHING AT LOCATIONS SHOWN ON THE ELEVATIONS AND SECTIONS. REFER TO DETAIL (1) ON SHEET A-1. CONTRACTOR TO PROVIDE MOCK-UP BEFORE CONSTRUCTION.
- 07 10" X 10" RE-SAWN DOUGLASS FIR TIMBER POST, #1 & BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER & ARCHITECT.
- 08 WRAP STEEL COLUMN WITH RE-SAWN DOUGLASS FIR TRIM #1 & BETTER (MITER CORNERS) TO APPEAR AS A 10" X 10" TIMBER POST, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER & ARCHITECT.
- 09 INSTALL NEW ADHESIVE STONE VENEER (1" x 1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON NON-CORROSIVE WIRE LATH ON CONCRETE POST BASE PIER. INSTALL 3" THICK STONE CAP ON TOP OF CONCRETE PIER AROUND WOOD COLUMN. REFER TO STRUCTURAL SHEETS FOR PIER SIZE. REFER TO DETAIL (1) ON SHEET A-1 FOR DETAIL.
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- 12 INSTALL NEW CUSTOM HALF GLASS ENTRY DOOR WITH COMBINATION SIDELIGHTS AND TRANSOMS. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.
- 13 INSTALL NEW COMBINATION SLIDING GLASS DOOR & SIDELIGHTS (CLAD EXTERIOR & WOOD INTERIOR). REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.
- 14 INSTALL NEW WINDOW (CLAD EXTERIOR & WOOD INTERIOR). REFER TO THE WINDOW ELEVATIONS AND WINDOW SCHEDULE ON SHEET A-1.
- 15 TOILET (SEE PLUMBING SCHEDULE ON SHEET A-1).
- 16 SINK & SINK FAUCET (SEE PLUMBING SCHEDULE ON SHEET A-1).
- 17 INSTALL NEW SHOWER WITH BUILT-UP TILED SHOWER FLOOR. REFER TO THE FINISH SCHEDULE FOR THE TILE SPECIFICATIONS.
- 18 SHOWER FAUCET AND CONTROLS (SEE PLUMBING SCHEDULE ON SHEET A-1).
- 19 INSTALL NEW HOT TUB/SPA (SEE PLUMBING SCHEDULE ON SHEET A-1).
- 20 INSTALL PLATFORM AROUND HOT TUB/SPA. REFER TO THE FINISH SCHEDULE FOR PLATFORM SURFACE MATERIAL.
- 21 INSTALL NEW INTERIOR WOOD DOOR. REFER TO THE DOOR SCHEDULE AND DOOR ELEVATIONS ON SHEET A-1 FOR DOOR SIZE, STYLE AND MATERIAL.
- 22 INSTALL 17" X 17" OPENING AT SHOWER. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.
- 23 INSTALL COUNTERTOP WITH CABINETS/DRAWERS BELOW. REFER TO THE DETAILED PLANS AND INTERIOR ELEVATIONS ON SHEET A-1 FOR CABINET DIMENSIONS AND LAYOUT. REFER TO THE CABINET & CASEWORK AND COUNTERTOP SCHEDULES FOR THE CABINET & COUNTERTOP SPECIFICATIONS.
- 24 INSTALL NEW ROD & SHELF. REFER TO THE DETAILED PLANS AND INTERIOR ELEVATIONS ON SHEET A-1 FOR LAYOUT AND DIMENSIONS. REFER TO THE CABINET & CASEWORK SCHEDULE ON SHEET A-1.
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**HARRIS**  
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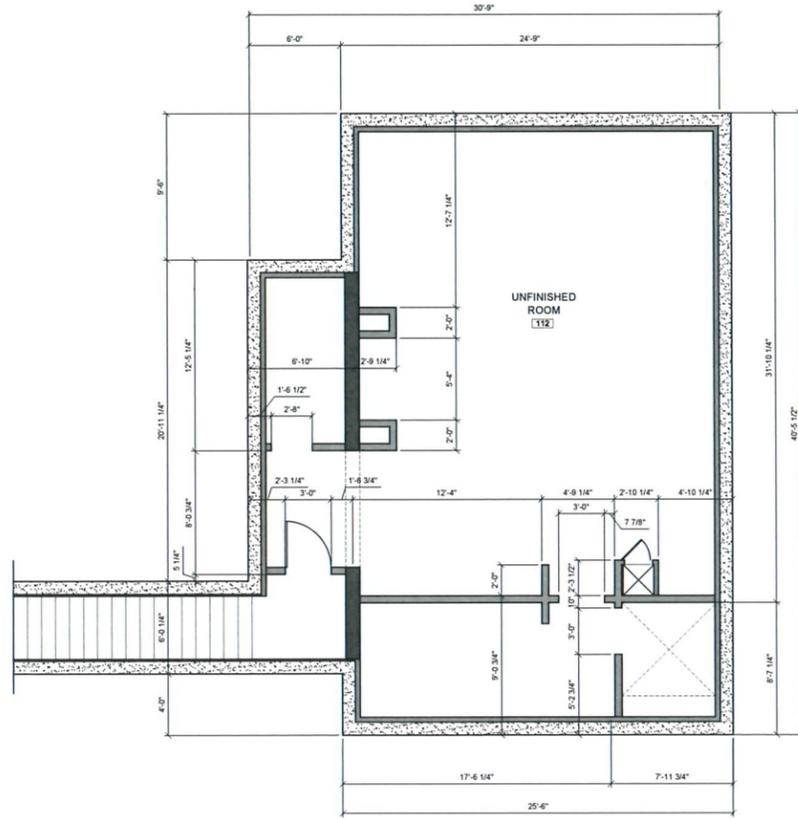
REVISIONS

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DRAWN BY: JKG  
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**A1.4**



UNFINISHED LOWER FLOOR PLAN  
Scale: 3/16" = 1'-0" 1200 SQ. FT.



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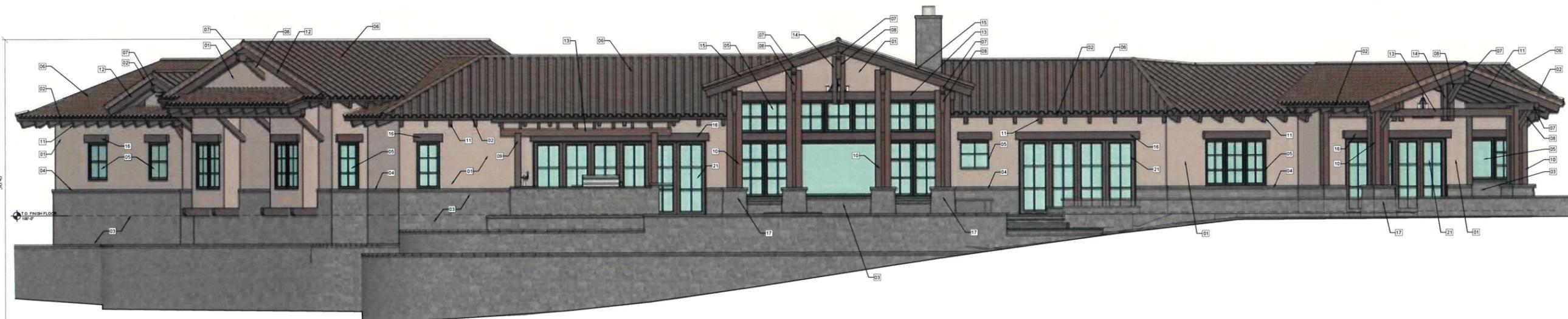
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**1 WEST ELEVATION**  
Scale: 3/16" = 1'-0"



ELEVATION NOTES			
01	INSTALL NEW STUCCO FINISH ON NEW PLYWOOD SHEATHING. STUCCO COLOR BY LA HABRA. FINAL COLOR TO BE DETERMINED BY OWNER & ARCHITECT	18	INSTALL NEW WOOD GARAGE DOORS. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1 FOR DOOR SIZE
02	2X4 CEDAR FASCIA, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER & ARCHITECT	19	INSTALL NEW EXTERIOR HALF GLASS DOOR WITH A CLAD EXTERIOR & WOOD INTERIOR. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1
03	ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON A NON-CORROSIVE WIRE LATH ON PLYWOOD SHEATHING. STONE VENEER: BUCKS COUNTY COUNTRY LEDGE STONE BY BORAL. STONE VENEER TO BE DRYSTACK AND TO HAVE TIGHT FIT MORTAR JOINTS. CONTRACTOR TO PROVIDE MOCK-UP BEFORE CONSTRUCTION	20	INSTALL NEW CUSTOM WOOD HALF GLASS ENTRY DOOR WITH COMBINATION SIDELIGHTS AND TRANSOMS. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1
04	3" THICK STONE VENEER LEDGE CAP SUPPORTED BY STEEL ANGLE & ADHERED TO PLYWOOD SHEATHING. PROVIDE METAL DRIP EDGE FLASHING ABOVE STONE CAP. REFER TO DETAIL 11 ON SHEET A-1	21	INSTALL NEW COMBINATION SLIDING GLASS DOOR & SIDELIGHTS WITH CLAD EXTERIOR & WOOD INTERIOR. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1
05	INSTALL NEW WINDOW WITH CLAD EXTERIOR & WOOD INTERIOR. WINDOWS TO BE EAGLE CLAD COLOR BOURBON. REFER TO DOOR & WINDOW SCHEDULE FOR WINDOW TYPE AND SIZE		
06	INSTALL NEW CLAY TILE ROOF OVER ICE & WATER SHIELD MEMBRANE OVER NEW PLYWOOD SHEATHING. CLAY TILE ROOF: TWO-PIECE MISSION SANDCAST 2300 SERIES BY REDD AND CLAY TILE. FINAL COLOR SELECTIONS TO BE DETERMINED BY OWNER & ARCHITECT		
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08	6" X 6" RE-SAWN DOUGLASS FIR TIMBER KNEE BRACE #1 & BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER & ARCHITECT		
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**2 SOUTH ELEVATION**  
Scale: 1/4" = 1'-0"

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Anaheim, CA 92802 (805) 574-1550

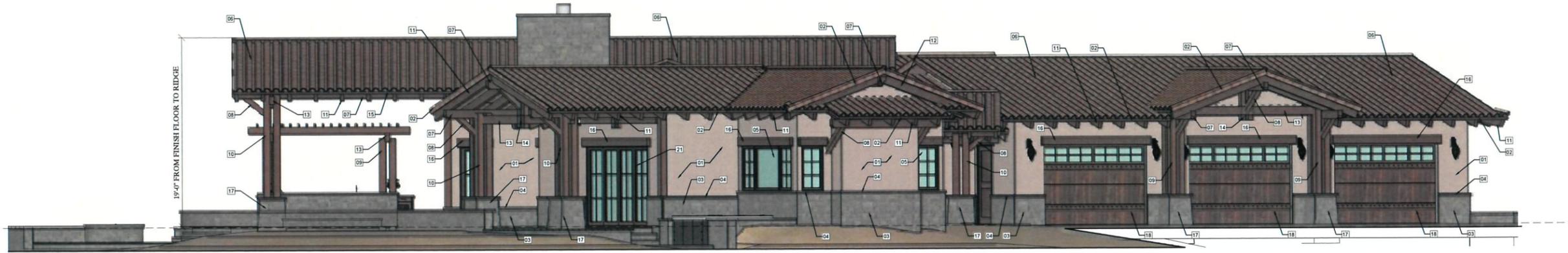
REVISIONS	
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PROJECT TITLE  
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1262 NORTH DANA FOOTHILL ROAD  
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DRAWN BY: JKG  
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1 EAST ELEVATION  
Scale: 3/16" = 1'-0"



STONE VENEER



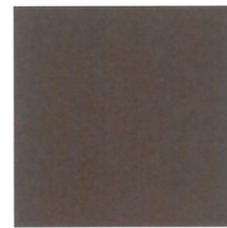
STUCCO COLOR



CLAY TILE ROOF



TIMBER STAIN



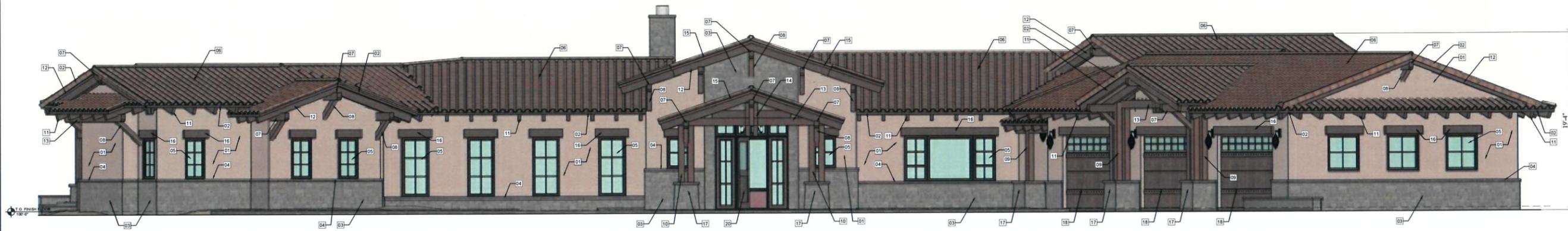
WINDOW/DOOR  
COLOR

ELEVATION NOTES

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REVISIONS

NO.	DATE	DESCRIPTION
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2 NORTH ELEVATION  
Scale: 3/16" = 1'-0"

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1262 NORTH DANA FOOTHILL ROAD  
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STONE VENEER



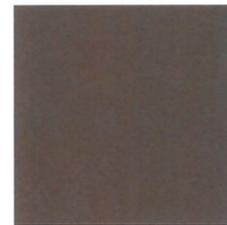
STUCCO COLOR



CLAY TILE ROOF



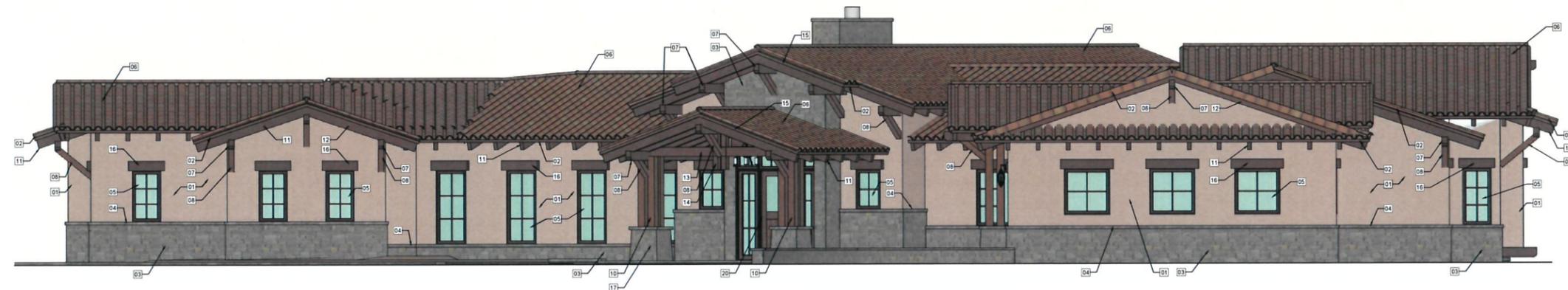
TIMBER STAIN



WINDOW/DOOR  
COLOR

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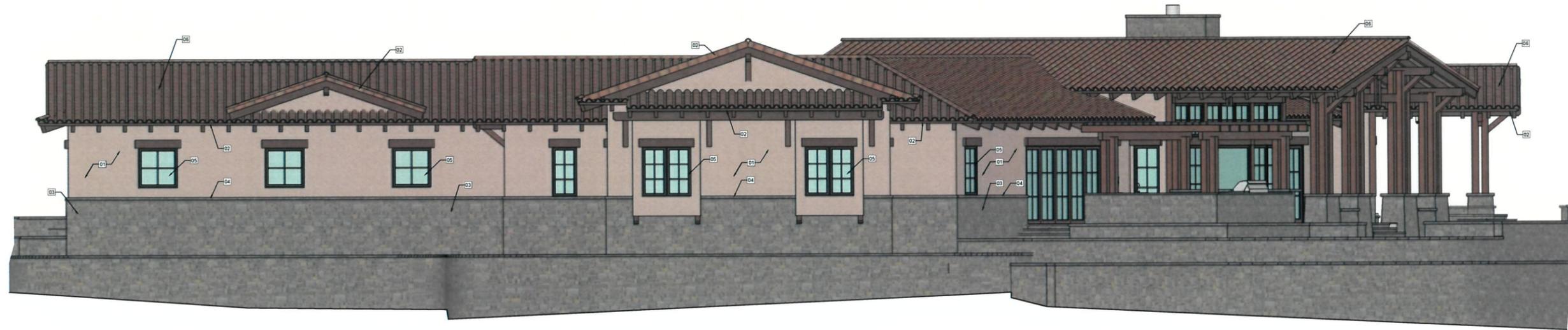


2 NORTH WEST ELEVATION  
Scale: 3/16" = 1'-0"

REVISIONS

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1 SOUTH WEST ELEVATION  
Scale: 3/16" = 1'-0"



STONE VENEER



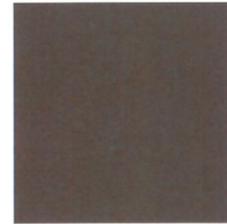
STUCCO COLOR



CLAY TILE ROOF



TIMBER STAIN



WINDOW/DOOR  
COLOR

ELEVATION NOTES

- |  |  |   |
|--|--|---|
| <p>01 INSTALL NEW STUCCO FINISH ON NEW PLYWOOD SHEATHING. STUCCO COLOR BY LA HABRA. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>02 2X4 CEDAR FASCIA, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>03 ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON A NON-CORROSIVE WIRE LATH ON PLYWOOD SHEATHING. STONE VENEER: BUCKS COUNTY COUNTRY LEDGE STONE BY BORAL. STONE VENEER TO BE DRYSTACK AND TO HAVE TIGHT FIT MORTAR JOINTS. CONTRACTOR TO PROVIDE MOCK-UP BEFORE CONSTRUCTION.</p> <p>04 3" THICK STONE VENEER LEDGE CAP SUPPORTED BY STEEL ANGLE &amp; ADHERED TO PLYWOOD SHEATHING. PROVIDE METAL DRIP EDGE FLASHING ABOVE STONE CAP. REFER TO DETAIL 1' ON SHEET A-1.</p> <p>05 INSTALL NEW WINDOW WITH CLAD EXTERIOR &amp; WOOD INTERIOR. WINDOWS TO BE EAGLE CLAD COLOR BOURNICH. REFER TO DOOR &amp; WINDOW SCHEDULE FOR WINDOW TYPE AND SIZE.</p> <p>06 INSTALL NEW CLAY TILE ROOF OVER ICE &amp; WATER SHIELD MEMBRANE OVER NEW PLYWOOD SHEATHING. CLAY TILE ROOF: TWO-PIECE MISSION SANDCAST 2300 SERIES BY REDLAND CLAY TILE. FINAL COLOR SELECTIONS TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> <p>07 8" X 12" RE-SAWN DOUGLASS FIR TIMBER PURLIN #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> <p>08 6" X 6" RE-SAWN DOUGLASS FIR TIMBER KNEE BRACE #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> | <p>09 10" X 10" RE-SAWN DOUGLASS FIR TIMBER POST #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> <p>10 WRAP STEEL COLUMN WITH RE-SAWN DOUGLASS FIR TRIM #1 &amp; BETTER (MITER CORNERS) TO APPEAR AS A 10" X 10" TIMBER POST, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> <p>11 4" X 10" RE-SAWN DOUGLASS FIR TIMBER RAFTERS #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> <p>12 4" X 10" RE-SAWN DOUGLASS FIR TIMBER BARGE RAFTER #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> <p>13 8" X 12" RE-SAWN DOUGLASS FIR TIMBER BEAM #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> <p>14 6" X 6" RE-SAWN DOUGLASS FIR TIMBER KING POST #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> <p>15 2X8 CEDAR FASCIA, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> <p>16 3" X 10" RE-SAWN DOUGLASS FIR TIMBER HEADER TRIM #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT.</p> <p>17 INSTALL NEW ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON NON-CORROSIVE WIRE LATH ON CONCRETE POST BASE PIECE. REFER TO DETAIL 1' ON SHEET A-1.</p> | <p>18 INSTALL NEW WOOD GARAGE DOORS. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1 FOR DOOR SIZE.</p> <p>19 INSTALL NEW EXTERIOR HALF GLASS DOOR WITH A CLAD EXTERIOR &amp; WOOD INTERIOR. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.</p> <p>20 INSTALL NEW CUSTOM WOOD HALF GLASS ENTRY DOOR WITH COMBINATION SIDELIGHTS AND TRANSOMS. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.</p> <p>21 INSTALL NEW COMBINATION SLIDING GLASS DOOR &amp; SIDELIGHTS WITH CLAD EXTERIOR &amp; WOOD INTERIOR. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.</p> |
|--|--|---|



2 NORTH EAST ELEVATION  
Scale: 3/16" = 1'-0"

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REVISIONS

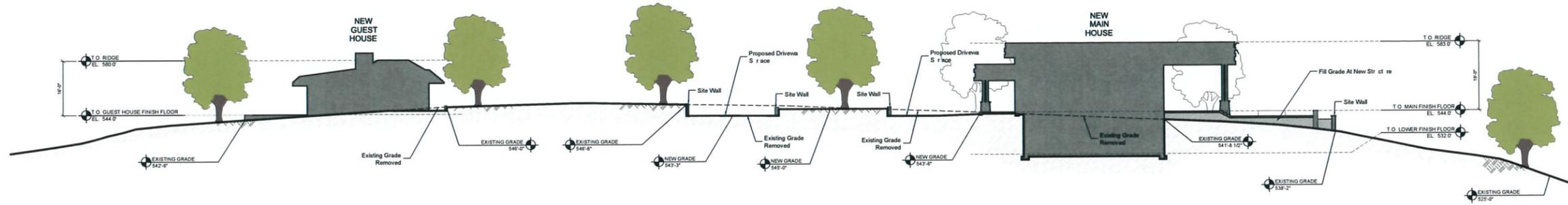
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PROJECT TITLE  
**EDWARDS RESIDENCE**  
1262 NORTH DANA FOOTHILL ROAD  
NIPOMO, CALIFORNIA 93444

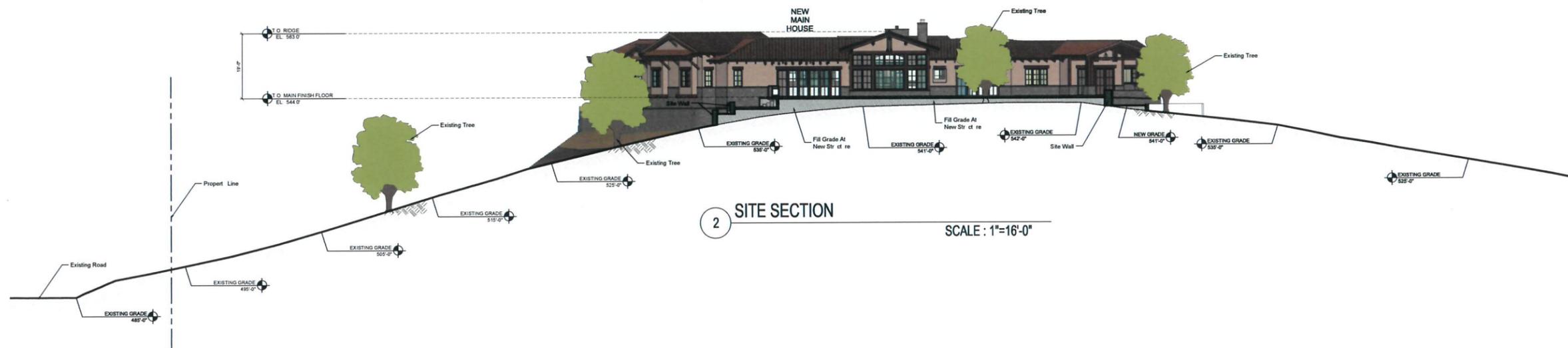
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1 SITE SECTION  
SCALE: 1"=16'-0"



2 SITE SECTION  
SCALE: 1"=16'-0"

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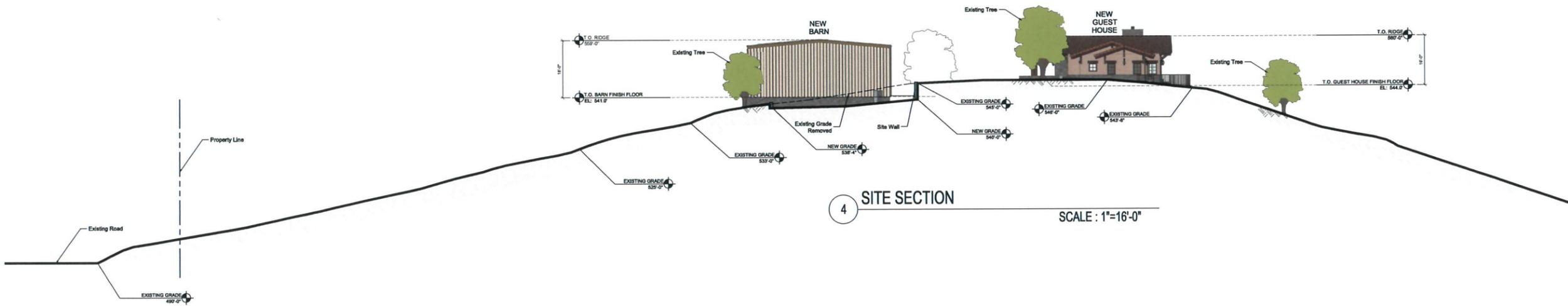
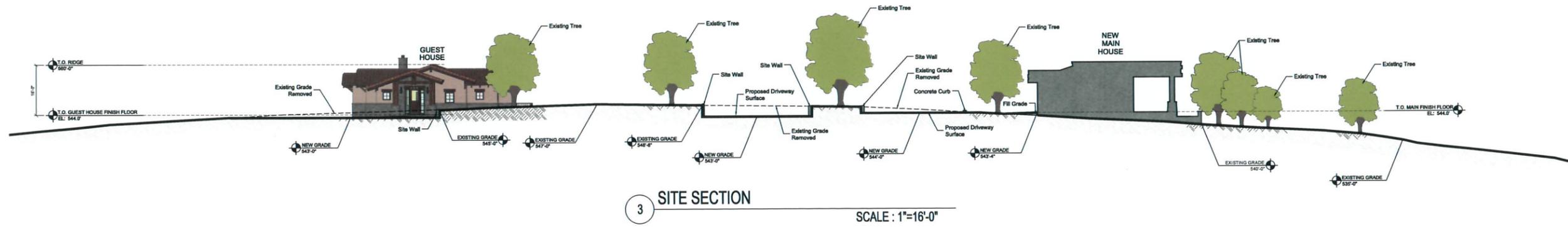
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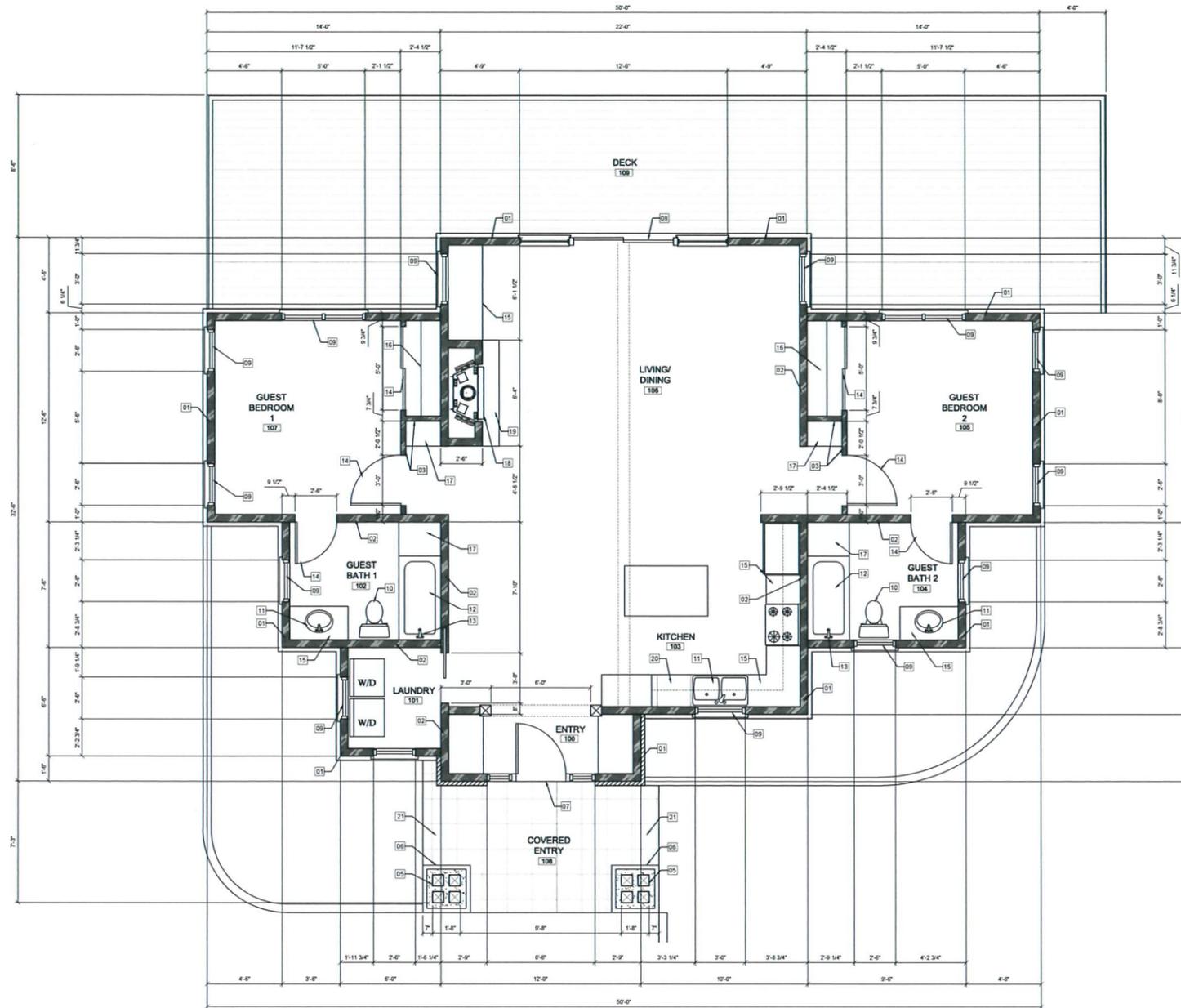
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**SECONDARY DWELLING FLOOR PLAN**  
 Scale: 1/4" = 1'-0" 1200 SQ. FT.



**FLOOR PLAN NOTES**

- 01 EXTERIOR 2X6 WOOD FRAMED WALL @ 16" O.C. FILLED WITH R-19 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR & EXTERIOR WALL MATERIALS.
- 02 INTERIOR 2X6 WOOD FRAMED WALL @ 16" O.C. FILLED WITH R-19 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR WALL MATERIALS.
- 03 INTERIOR 2X4 WOOD FRAMED WALL @ 16" O.C. FILLED WITH R-13 BATT INSULATION. SEE WALL TYPES ON SHEET A-1 FOR INTERIOR WALL MATERIALS.
- 04 ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON A NON-CORROSIVE WIRE LATH ON PLYWOOD SHEATHING. STONE VENEER: BLOCKS COUNTRY COUNTRY LEDGESTONE BY BORGAL. STONE VENEER TO BE DRY STACK AND TO HAVE TIGHT FIT MORTAR JOINTS. PROVIDE 3" THICK STONE VENEER LEDGE CAP SUPPORTED BY STEEL ANGLE & ADHERED TO THE PLYWOOD SHEATHING AT LOCATIONS SHOWN ON THE ELEVATIONS AND SECTIONS. REFER TO DETAIL 11 ON SHEET A-1. CONTRACTOR TO PROVIDE MOCK-UP BEFORE CONSTRUCTION.
- 05 10" X 10" RE-SAWN DOUGLASS FIR TIMBER POST, #1 & BETTER, STAINED WITH 2 COATS OF SIKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER & ARCHITECT.
- 06 INSTALL NEW ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON NON-CORROSIVE WIRE LATH ON CONCRETE POST BASE PIER. INSTALL 3" THICK STONE CAP ON TOP OF CONCRETE PIER AROUND WOOD COLUMN. REFER TO STRUCTURAL SHEETS FOR PIER SIZE. REFER TO DETAIL 11 ON SHEET A-1 FOR DETAIL.
- 07 INSTALL NEW CUSTOM HALF GLASS ENTRY DOOR WITH COMBINATION SIDELIGHTS. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.
- 08 INSTALL NEW COMBINATION SLIDING GLASS DOOR & SIDELIGHT (CLAD EXTERIOR & WOOD INTERIOR). REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1.
- 09 INSTALL NEW WINDOW (CLAD EXTERIOR & WOOD INTERIOR). REFER TO THE WINDOW ELEVATIONS AND WINDOW SCHEDULE ON SHEET A-1.
- 10 TOILET (SEE PLUMBING SCHEDULE ON SHEET A-1).
- 11 SINK & SINK FAUCET (SEE PLUMBING SCHEDULE ON SHEET A-1).
- 12 TUB/SHOWER (SEE PLUMBING SCHEDULE ON SHEET A-1).
- 13 SHOWER FAUCET AND CONTROLS (SEE PLUMBING SCHEDULE ON SHEET A-1).
- 14 INSTALL NEW INTERIOR WOOD DOOR. REFER TO THE DOOR SCHEDULE AND DOOR ELEVATIONS ON SHEET A-1 FOR DOOR SIZE, STYLE AND MATERIAL.
- 15 INSTALL COUNTERTOP WITH CABINETS/DRAWERS BELOW. REFER TO THE DETAILED PLANS AND INTERIOR ELEVATIONS ON SHEET A-1 FOR CABINET DIMENSIONS AND LAYOUT. REFER TO THE CABINET & CASEWORK AND COUNTERTOP SCHEDULES FOR THE CABINET & COUNTERTOP SPECIFICATIONS.
- 16 INSTALL NEW ROD & SHELF. REFER TO THE DETAILED PLANS AND INTERIOR ELEVATIONS ON SHEET A-1 FOR LAYOUT AND DIMENSIONS. REFER TO THE CABINET & CASEWORK SCHEDULE ON SHEET A-1.
- 17 BUILT-IN CABINET & CASEWORK. REFER TO THE DETAILED PLANS AND INTERIOR ELEVATIONS ON SHEETS A-1 FOR LAYOUT AND DIMENSIONS. REFER TO THE CABINET & CASEWORK SCHEDULE ON SHEET A-1.
- 18 INSTALL NEW GAS FIREPLACE INSERT. REFER TO THE APPLIANCE SCHEDULE ON SHEET A-1. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.
- 19 INSTALL NEW FIREPLACE HEARTH. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.
- 20 INSTALL NEW DISHWASHER. REFER TO THE APPLIANCE SCHEDULE ON SHEET A-1. REFER TO THE INTERIOR ELEVATIONS ON SHEET A-1.
- 21 INSTALL NEW FLAGSTONE PAVERS. SEE FINISH SCHEDULE ON SHEET A-1.

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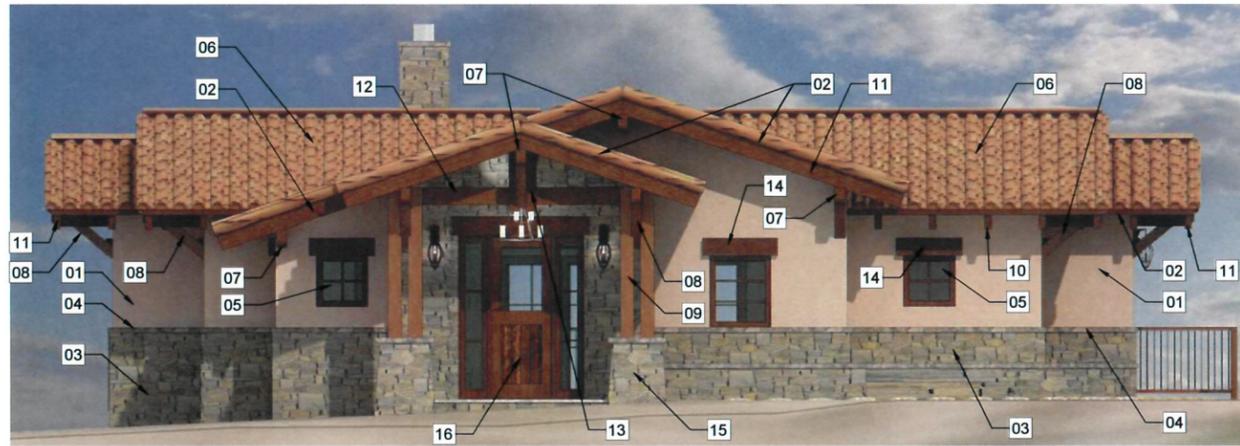
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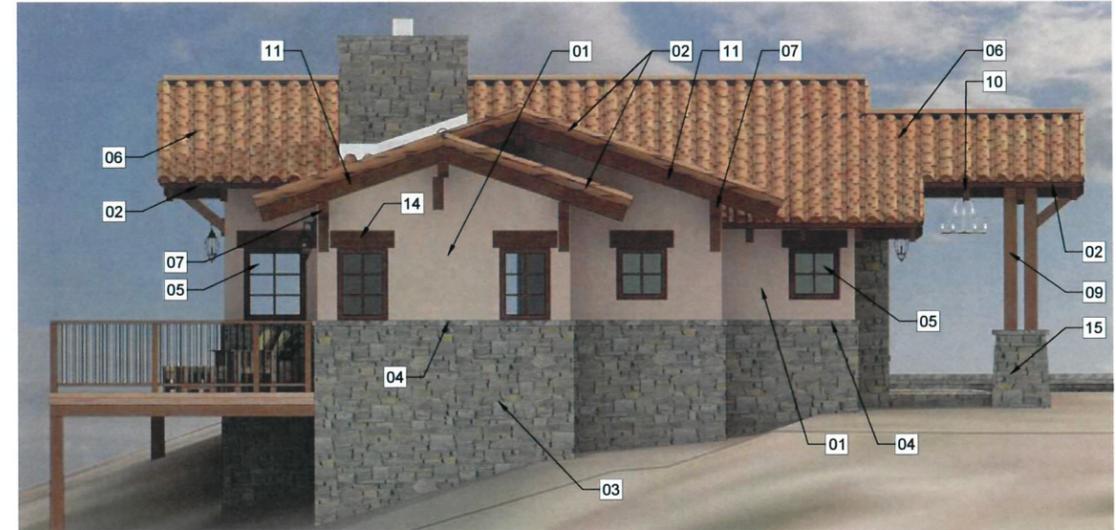
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1 **SOUTHWEST ELEVATION**  
Scale: 1/4" = 1'-0"



2 **NORTHWEST ELEVATION**  
Scale: 1/4" = 1'-0"



STONE VENEER



STUCCO COLOR



CLAY TILE ROOF



TIMBER STAIN



WINDOW/DOOR  
COLOR

**ELEVATION NOTES**

- |  |  |   |   |
|--|--|---|---|
| <p>01 INSTALL NEW STUCCO FINISH ON NEW PLYWOOD SHEATHING. STUCCO COLOR BY LA HABRA. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>02 2X4 CEDAR FASCIA, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>03 ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON A NON-CORROSIVE WIRE LATH ON PLYWOOD SHEATHING. STONE VENEER: BUCKS COUNTY COUNTRY LEDGE STONE BY BORAL. STONE VENEER TO BE DRYSTACK AND TO HAVE TIGHT FIT MORTAR JOINTS. CONTRACTOR TO PROVIDE MOCK-UP BEFORE CONSTRUCTION</p> <p>04 3" THICK STONE VENEER LEDGE CAP SUPPORTED BY STEEL ANGLE &amp; ADHERED TO PLYWOOD SHEATHING. PROVIDE METAL DRIP EDGE FLASHING ABOVE STONE CAP. REFER TO DETAIL (NON SHEET A-1)</p> <p>05 INSTALL NEW WINDOW WITH CLAD EXTERIOR &amp; WOOD INTERIOR. WINDOWS TO BE EAGLE. CLAD COLOR: BOURBON. REFER TO DOOR &amp; WINDOW SCHEDULE FOR WINDOW TYPE AND SIZE</p> | <p>06 INSTALL NEW CLAY TILE ROOF OVER ICE &amp; WATER SHIELD MEMBRANE OVER NEW PLYWOOD SHEATHING. CLAY TILE ROOF: TWO-PIECE MISSION SANDCAST 2300 SERIES BY RED AND CLAY TILE. FINAL COLOR SELECTIONS TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>07 6" X 12" RE-SAWN DOUGLASS FIR TIMBER PURLIN #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>08 6" X 6" RE-SAWN DOUGLASS FIR TIMBER KNEE BRACE #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>09 10" X 10" RE-SAWN DOUGLASS FIR TIMBER POST #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL STAIN COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>10 4" X 10" RE-SAWN DOUGLASS FIR TIMBER RAFTERS #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> | <p>11 4" X 10" RE-SAWN DOUGLASS FIR TIMBER BARGE RAFTER #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>12 8" X 12" RE-SAWN DOUGLASS FIR TIMBER BEAM #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>13 6" X 6" RE-SAWN DOUGLASS FIR TIMBER KING POST #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>14 3" X 10" RE-SAWN DOUGLASS FIR TIMBER HEADER TRIM #1 &amp; BETTER, STAINED WITH 2 COATS OF SIKKENS STAIN. FINAL COLOR TO BE DETERMINED BY OWNER &amp; ARCHITECT</p> <p>15 INSTALL NEW ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON NON-CORROSIVE WIRE LATH ON CONCRETE POST BASE PIER. REFER TO DETAIL (NON SHEET A-1)</p> | <p>16 INSTALL NEW CUSTOM WOOD HALF GLASS ENTRY DOOR WITH COMBINATION SIDELIGHTS AND TRANSOMS. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1</p> <p>17 INSTALL NEW COMBINATION SLIDING GLASS DOOR &amp; SIDELIGHTS WITH CLAD EXTERIOR &amp; WOOD INTERIOR. REFER TO DOOR SCHEDULE AND ELEVATIONS ON SHEET A-1</p> |
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3 **NORTHEAST ELEVATION**  
Scale: 1/4" = 1'-0"



4 **SOUTHEAST ELEVATION**  
Scale: 1/4" = 1'-0"

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NO.	DESCRIPTION
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PROJECT TITLE  
**EDWARDS RESIDENCE**  
1262 NORTH DANA FOOTHILL ROAD  
NIPOMO, CALIFORNIA 93444

DRAWN BY: JKG  
October 13, 2016  
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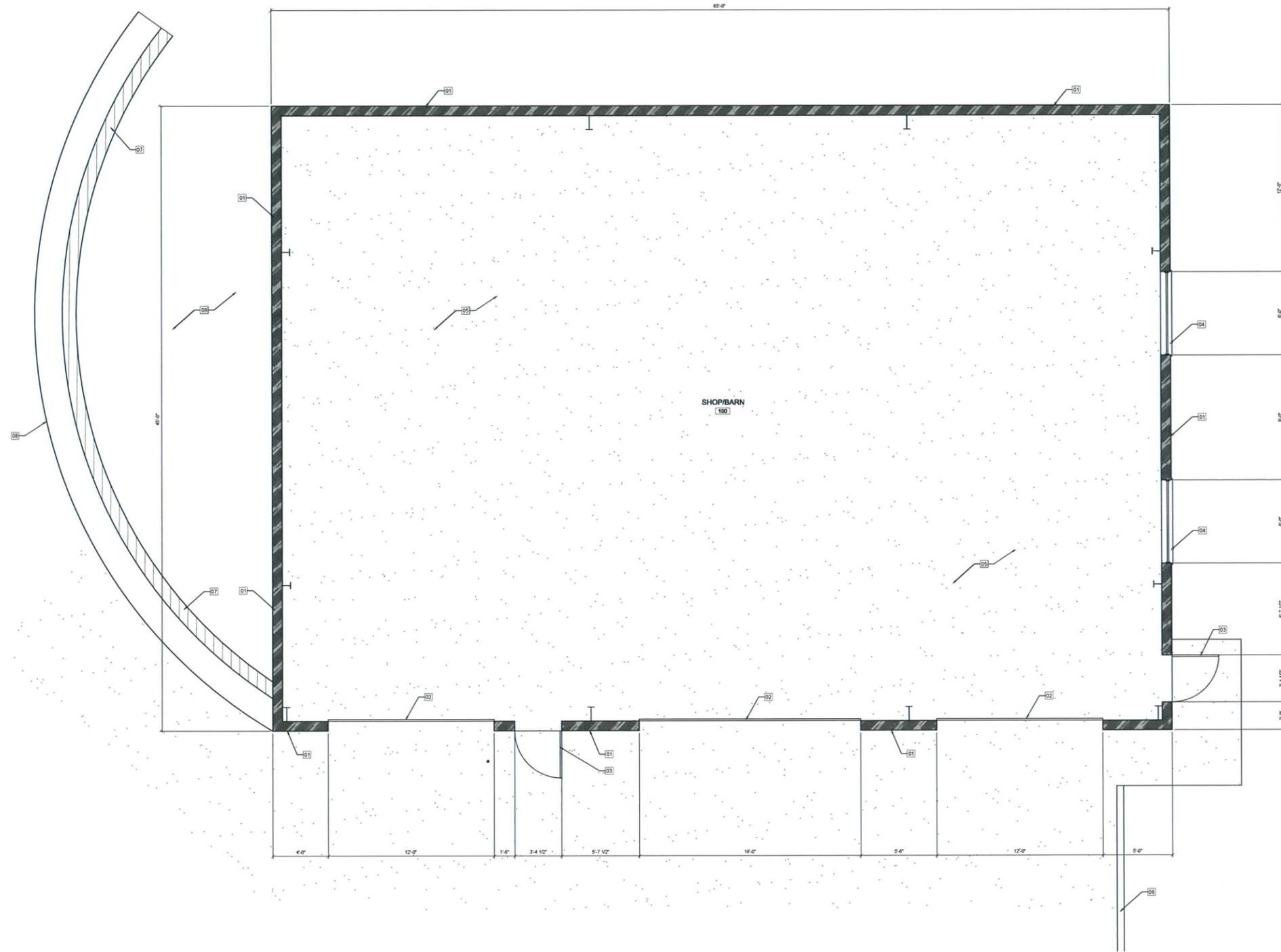
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- FLOOR PLAN NOTES**
- 01 INSTALL NEW METAL WALL PANEL ON NEW BARN STRUCTURE. METAL PANEL MODEL RPR BY VARCO PRUDEN, COLOR: COOL SIERRA TAN
  - 02 INSTALL NEW METAL ROLL-UP DOOR. REFER TO THE DOOR SCHEDULE ON SHEET A-1 FOR DOOR SIZES AND SPECIFICATIONS. COLOR: WHITE
  - 03 INSTALL NEW EXTERIOR HOLLOW METAL DOOR. REFER TO THE DOOR SCHEDULE ON SHEET A-1 FOR DOOR SIZES AND SPECIFICATIONS
  - 04 INSTALL NEW VINYL WINDOW. REFER TO THE WINDOW SCHEDULE ON SHEET A-1 FOR WINDOW SIZE AND SPECIFICATIONS
  - 05 INSTALL NEW CONCRETE SLAB. SEE STRUCTURAL SHEETS
  - 06 INSTALL NEW CONCRETE CURB. SEE CIVIL SHEETS
  - 07 INSTALL NEW CONCRETE SITE WALL WITH ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON CONCRETE WALL & 3" THICK STONE VENEER CAP ABOVE
  - 08 INDICATES EDGE OF CONCRETE DRIVEWAY SURFACE. SEE CIVIL SHEETS
  - 09 INSTALL NEW PLANTER. SEE LANDSCAPE PLANS

**BARN/SHOP FLOOR PLAN**  
Scale: 1/4" = 1'-0"

2925 SQ.FT.



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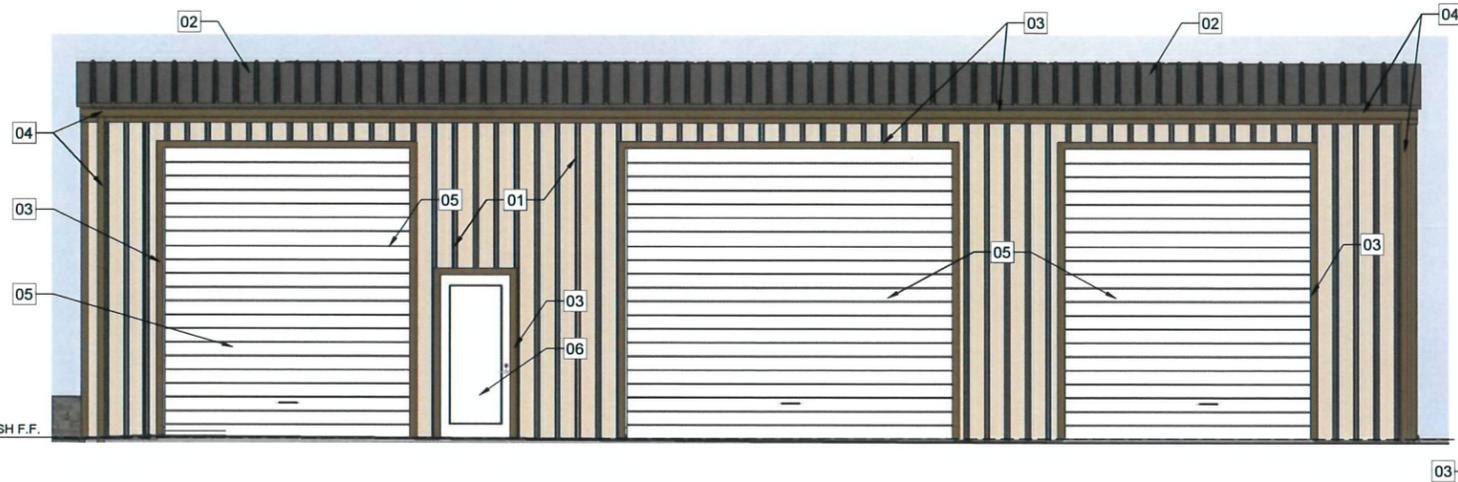
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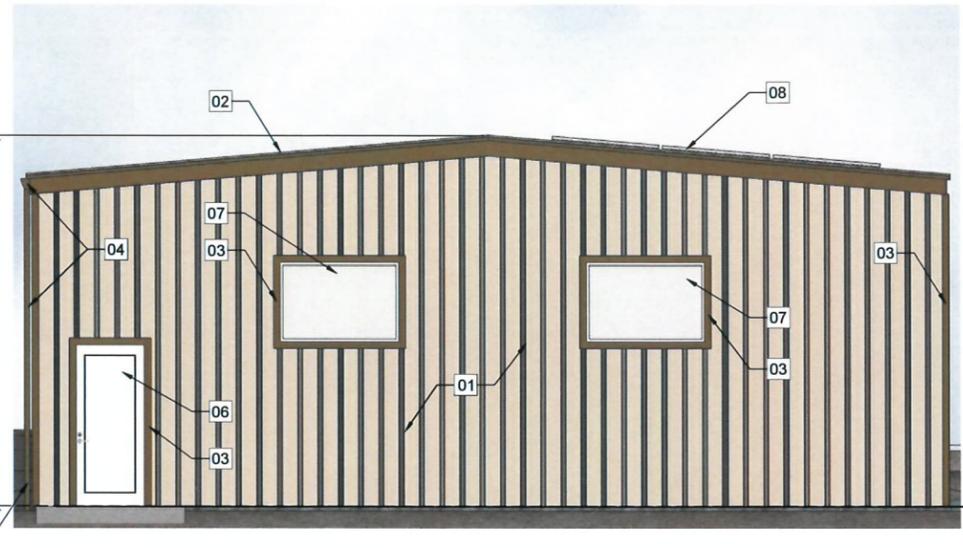
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T.O. BARN FINISH F.F.  
100'-0"



1 NORTHEAST ELEVATION  
Scale: 1/4" = 1'-0"



2 NORTHWEST ELEVATION  
Scale: 1/4" = 1'-0"



STONE VENEER



METAL SIDING PANEL PROFILE



METAL ROOF PANEL PROFILE



METAL SIDING & ROOF COLOR

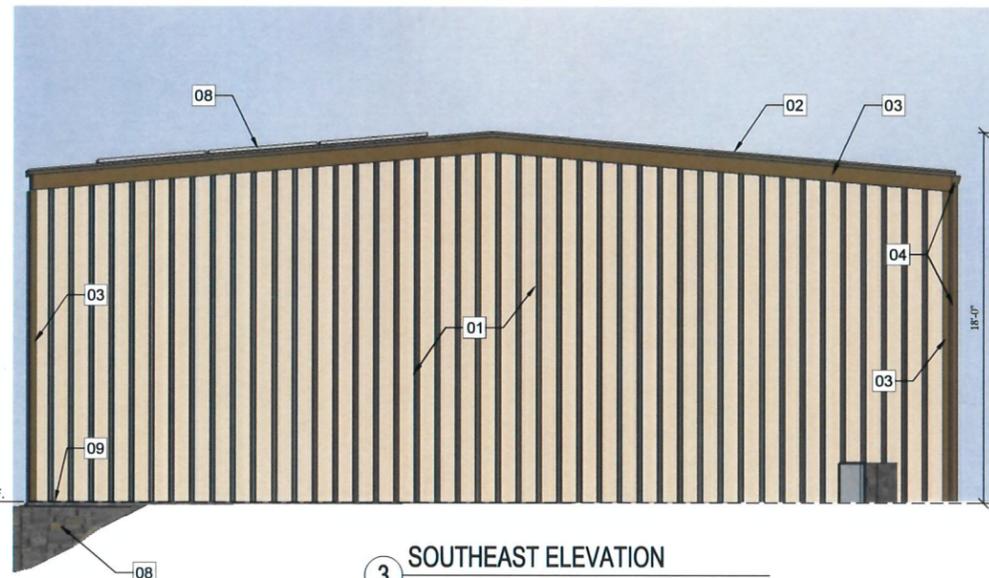


METAL TRIM, GUTTER & DOWNSPOUT COLOR

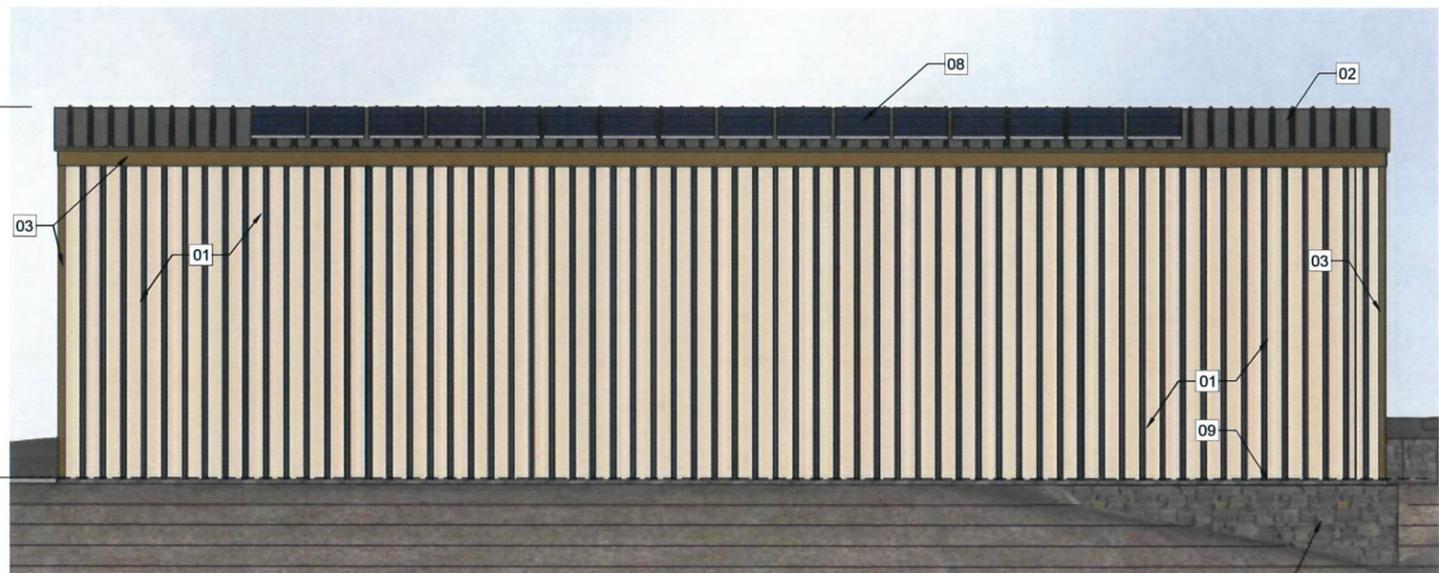
ELEVATION NOTES

- |  |   |
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| <p>01 INSTALL NEW METAL WALL PANEL ON NEW BARN STRUCTURE. METAL PANEL MODEL RRR BY VARCO PRUDEN. COLOR: COOL SIERRA TAN</p> <p>02 INSTALL NEW METAL ROOF PANEL ON NEW BARN STRUCTURE. METAL ROOF PANEL MODEL: PANEL RIB BY VARCO PRUDEN. COLOR: COOL SIERRA TAN</p> <p>03 INSTALL NEW METAL TRIM ON NEW BARN STRUCTURE. METAL TRIM TO BE BY VARCO PRUDEN. COLOR: COOL WEATHERED COPPER</p> <p>04 INSTALL NEW GUTTER &amp; DOWNSPOUT BY VARCO PRUDEN. COLOR: COOL WEATHERED COPPER</p> <p>05 INSTALL NEW METAL ROLL-UP DOOR. REFER TO THE DOOR SCHEDULE ON SHEET A-1 FOR DOOR SIZES AND SPECIFICATIONS. COLOR: WHITE</p> <p>06 INSTALL NEW EXTERIOR HOLLOW METAL DOOR. REFER TO THE DOOR SCHEDULE ON SHEET A-1 FOR DOOR SIZES AND SPECIFICATIONS.</p> | <p>07 INSTALL NEW VINYL WINDOW. REFER TO THE WINDOW SCHEDULE ON SHEET A-1 FOR WINDOW SIZE AND SPECIFICATIONS</p> <p>08 INSTALL NEW SOLAR PANELS ON SOUTH FACING ROOF. REFER TO THE ROOF PLAN ON SHEET A-1</p> <p>09 ADHESIVE STONE VENEER (1"-1 1/2" THICK) ON THIN SET ADHESIVE MORTAR ON NEW FOUNDATION WALL. STONE VENEER: BUCKS COUNTY COUNTRY LEDGE STONE BY BORAL. STONE VENEER TO BE DRYSTACK AND TO HAVE TIGHT FIT MORTAR JOINTS. CONTRACTOR TO PROVIDE WOOD-KIP BEFORE CONSTRUCTION</p> <p>10 3" THICK STONE VENEER LEDGE CAP SUPPORTED BY STEEL ANGLE &amp; ADHERED TO FOUNDATION WALL. PROVIDE METAL DRIP EDGE FLASHING ABOVE STONE CAP. REFER TO DETAIL (10N SHEET A-1)</p> |
|--|---|

T.O. BARN FINISH F.F.  
100'-0"



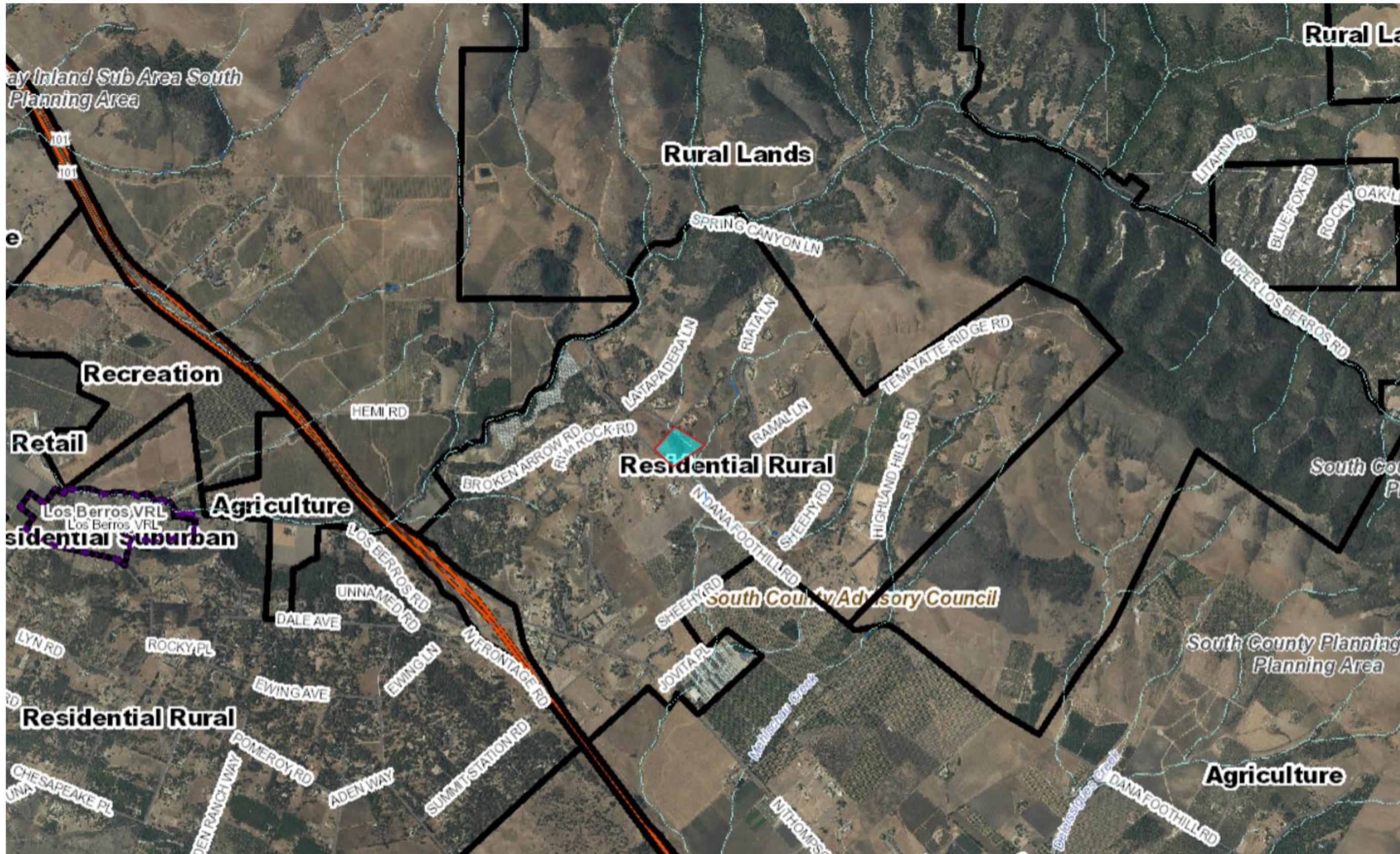
3 SOUTHEAST ELEVATION  
Scale: 1/4" = 1'-0"



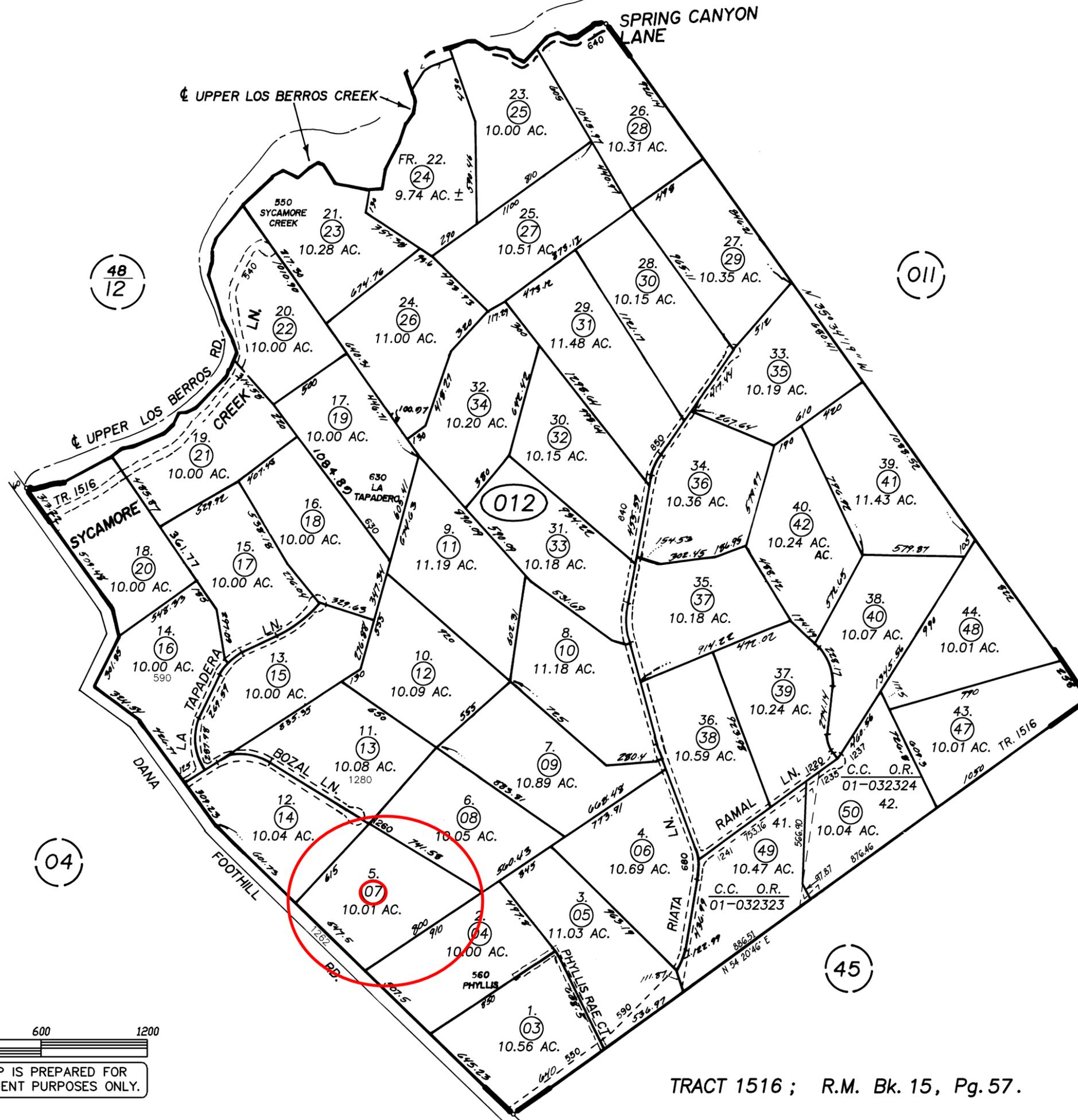
4 SOUTHWEST ELEVATION  
Scale: 1/4" = 1'-0"

REVISIONS

1	2	3	4
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47/31

47/30

48/12

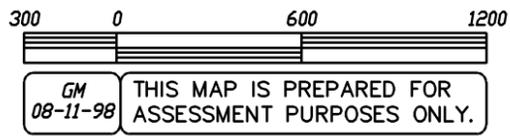
011

012

04

45

REVISIONS	
TECH	DATE
GM	08-11-98
CB	03-09-99
GB	09-05-01
GB	09-06-01





# Parcel Summary Report For Parcel # 090-012-007

10/22/2016  
2:14:02PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role      Name and Address

OWN    EDWARDS JAMES T  
         PO BOX 6016 SANTA MARIA CA 93456-6016  
OWN    EDWARDS JAMES & KERI FAMILY TRUST  
  
OWN    EDWARDS KARI L

### Address Information

Status              Address  
P                      01262 NO DANA FOOTHILL RD SCSC

### Lot Information:

<u>Tract / Twncshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
1516	0000	0005	South Cty. Plan	South County P	RR			Y	SL	

### Parcel Information

Status      Description  
Active      TR 1516 LT 5

### Notes

#### Tax Districts

LUCIA MAR  
SAN LUIS OBISPO JT(27,40)  
AREA NO. 21  
SAN LUIS  
NO. 04  
ARROYO GRANDE



# Parcel Summary Report For Parcel # 090-012-007

10/22/2016  
2:14:02PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

COASTAL SAN LUIS

### Case Information

**Case Number:**

**Case Status:**

DRC2016-00029            REC            Primary Parcel

**Description:**

MODIFY BUILDING ENF FOR NEW RESIDENTIAL SFD

PRE2016-00012            MET            Primary Parcel

**Description:**

NEW SFR WITH ATTACHED GARAGE, GUEST HOUSE AND BARN ON 10 ACRE PROPERTY.

G830017M            DEN            Related Parcel

**Description:**

LU CHANGE AG TO RESIDENTIAL RURAL

G850001M            APV            Related Parcel

**Description:**

LUE CHANGE AG TO RESIDENTIAL RURAL

S860276T            RDD            Related Parcel

**Description:**

SUBDIVISION OF 44 LOTS

S950144T            CMP            Related Parcel

**Description:**

AMEND MITIGATION AGREEMENT FOR TR 1516