



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

## THIS IS A NEW PROJECT REFERRAL

**DATE:** 10/26/2016

**TO:** \_\_\_\_\_

**FROM:** Brandi Cummings (805-781-1006 or bcummings@co.slo.ca.us)  
South County Team / Development Review

**PROJECT DESCRIPTION:** DRC2016-00030 FISHER – Proposed minor use permit for the construction of a mixed-use building, including: A) approx. 2,513 SF of office/retail commercial space, and B) four one-bedroom residential units varying in size from 532 SF to 685 SF; three of the four residential units will be designated as affordable units. Height: 35 feet, 3 stories. Site disturbance: 7,000 square feet. Project location is 1991 21<sup>st</sup> Street in Oceano.  
APN(s): 062-116-005

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

**PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?**

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

**PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?**

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

**PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.**

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Date

\_\_\_\_\_

Name

\_\_\_\_\_

Phone



# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

### APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

DRC2016-00030

FISHER

MINOR USE PERMIT

CONSTRUCTION OF A MIXED-USE BUILDING, INCLUDING: A) APPROXIMATELY SCSLB/ OCNO

AR CBD CR

### APPLICANT INFORMATION Check box for contact

person assigned to this project

Landowner Name ALBERT M FISHER Daytime Phone 805-489-2249  
 Mailing Address 1358 STRAND WAY OCEANO CA Zip Code 93445  
 Email Address: FISHOK@AOL.COM

Applicant Name ALBERT M FISHER & MICHAEL FISHER Daytime Phone 805 489 2249  
 Mailing Address 1358 STRAND WAY OCEANO Zip Code 93445  
 Email Address: FISHOK@AOL.COM

Agent Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
 Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Email Address: \_\_\_\_\_

### PROPERTY INFORMATION

Total Size of Site: 6994 39 FT Assessor Parcel Number(s): D62.116 005  
 Legal Description: LOT 19, 20, BLOCK 37 MAP NO. 2 TOWN OF OCEANO  
 Address of the project (if known): 1991 21 ST OCEANO CA  
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: \_\_\_\_\_  
 Describe current uses, existing structures, and other improvements and vegetation on the property: \_\_\_\_\_

### PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): MIXED USE  
2169 sq FT RESIDENTIAL  
2513 sq FT COMMERCIAL

### LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature] Date 9/22/2016





# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other **MIXED USE**

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): NONE

Describe existing and future access to the proposed project site: 21st

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):  
North: RESIDENTIAL South: HWY #1  
East: RESIDENTIAL West: GROCERY STORE

**For all projects, answer the following:**

Square footage and percentage of the total site (approximately) that will be used for the following:  
Buildings: 3498 sq. feet 50 % Landscaping: 746 sq. feet 0.6 %  
Paving: 2750 sq. feet 39.4 % Other (specify) \_\_\_\_\_  
Total area of all paving and structures: 2750  sq. feet  acres  
Total area of grading or removal of ground cover: \_\_\_\_\_  sq. feet  acres  
Number of parking spaces proposed: 120 Height of tallest structure: 35 FT  
Number of trees to be removed: 0 Type: \_\_\_\_\_  
Setbacks: Front 2 FT Right 30 FT Left 2 FT Back 0 PARTIAL

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for provision: D. C. S. D.  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy) EXPIRED

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for sewage disposal: SOUTH COUNTY  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy) EXPIRED

Fire Agency: List the agency responsible for fire protection: OCEANO/5-CITIES #12

For commercial/industrial projects answer the following:  
Total outdoor use area: 3498  sq. feet  acres  
Total floor area of all structures including upper stories: 4682 sq. feet

For residential projects, answer the following:  
Number of residential units: 4 Number of bedrooms per unit: 1  
Total floor area of all structures including upper stories, but not garages and carports: 3498 sf  
Total of area of the lot(s) minus building footprint and parking spaces: 2892 sf



**Water Supply Information**

- What type of water supply is proposed?  
 Individual well     Shared well     Community water system
- What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain BATHROOM EACH UNIT  
 Industrial - Explain \_\_\_\_\_
- What is the expected daily water demand associated with the project? MINIMUM MAIN LINE
- How many service connections will be required? \_\_\_\_\_
- Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: EXISTING WATER METER
- Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach. N/A
- Does water meet the Health Agency's quality requirements?  
 Bacteriological?     Yes     No  
 Chemical?     Yes     No  
 Physical     Yes     No  
 Water analysis report submitted?     Yes     No
- Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis( OK or  Problems)  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours / \_\_\_\_\_ GPM  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

- Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy. SEE ATTACHED REPORT
- What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
- Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
- Has a piezometer test been completed? ?  
 Yes     No    If 'Yes', please attach. ?
- Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

**If a community sewage disposal system is to be used:**

- Is this project to be connected to an existing sewer line?     Yes     No  
 Distance to nearest sewer line: 10 FT    Location of connection: 21 ST
- What is the amount of proposed flow? MINI GPD
- Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

- What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- Name of Solid Waste Disposal Company: SOUTH COUNTY
- Where is the waste disposal storage in relation to buildings? 2 MILES WEST
- Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

- Name of School District: LUCIA MAR SCHOOL DIST.
- Location of nearest police station: SHERIFF SUB-STATION 2 BLOCKS WEST
- Location of nearest fire station: DEANO F/D 4 BLOCKS WEST
- Location of nearest public transit stop: 2 FEET - FRONT OF PROJECT
- Are services (grocery/other shopping) within walking distance (1/2 mile or closer) of the project?  
 Yes     No GROCERY STORE X-STREET.

**Historic and Archeological Information**

- Please describe the historic use of the property: NONE
- Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?  
 Yes     No  
 If yes, please describe: \_\_\_\_\_
- Has an archaeological surface survey been done for the project site?  
 Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- Days of Operation: 7-DAYS Hours of Operation: OPTIONAL
- How many people will this project employ? UNKNOWN
- Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- What type of industrial waste materials will result from the project? Explain in detail: NONE
- Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.
- Please estimate the number of employees, customers and other project-related traffic trips from the project: Between 7:00 - 9:00 a.m. UNKNOWN Between 4:00 to 6:00 p.m. UNKNOWN

10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No PUBLIC TRANSIT IN FRONT OF PROJECT  
 If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  Yes  No  
 If yes, please describe: \_\_\_\_\_

**Agricultural Information**

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No  
 2. If yes, is the site currently under land conservation contract?  Yes  No  
 3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan): TENANT GAME ROOM  
BBQ WALKWAY BBQ COMMON AREA
2. Will the development occur in phases?  Yes  No  
 If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No  
 If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
 If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: WOULD CONSIDER - ?

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
NONE
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No  
 If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?

Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): NONE

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned to the project

# MIXED USE OFFICE / APARTMENTS

1991 21st ST.  
APN 062-116-005

OCEANO, CA  
DRC2008-00022

PROJECT OWNER:  
ALBERT FISHER  
1358 STRAND WAY  
OCEANO, CA. 93445  
(805) 489-2249

PROJECT ARCHITECT:  
LIV-IN ENVIRONMENTS  
GREGORY SOTO ARCHITECT  
P.O. BOX 1392  
ARROYO GRANDE, CA. 93421  
PHONE # 805-481-1066

GENERAL CONTRACTOR:  
BEACH FRONT BUILDERS  
1151 PIKE LN. #6  
OCEANO, CA  
(805) 782-4050

SURVEYOR:  
JENSEN-LENGER SURVEYS  
1203 CARPENTER CANYON RD.  
ARROYO GRANDE, CA. 93420  
PHONE # 805-489-1127

SOIL ENGINEER:  
GEO SOLUTIONS, INC  
220 HIGH ST.  
SAN LUIS OBISPO, CA  
93401  
PHONE # 805-543-8549

ACOUSTICAL CONSULTANT:  
DR. DAVID DUBBINK  
864 OSOS ST., STE. D  
SAN LUIS OBISPO, CA  
93401  
PHONE # 805-541-5325

ARCHAEOLOGICAL CONSULTANT:  
CA SINGER & ASSOC., INC  
PO BOX 99  
CAMBRIA, CA 93428-0099  
PHONE # 805-927-0455

## SITE WORK

(NO GRADING OVER 50 CU. YDS.)

Finishing Grading: The General Contractor is responsible for finish grading the site to provide proper drainage and grades to start of landscaping.

A min. of 2% drainage for a min. of 5'-0" away from the building foundation shall be provided.

The contractor shall control dust at all times by maintaining appropriate moisture content or other methods approved by the County Engineer. Dust control shall be maintained at all times until all disturbed areas are landscaped.

All existing drainage ditches, swales and established drainage courses shall not be disturbed and if they are disturbed, they shall be graded, shall be restored back to their original location and shall be certified by a Registered Civil Engineer or Land Surveyor at the expense of the Contractor.

Mud, silt, sand, gravel, or any kind of dirt delivered to the street by trucks getting in and out of the job shall be removed by the Contractor. Stockpiling of any material on the County Right of Way is prohibited.

The Contractor shall be responsible for the protection and preservation of all survey monuments or property corners. Disturbed monuments shall be restored back to their original location and shall be certified by a registered Civil Engineer or Land Surveyor.

It shall be the responsibility of the Contractor(s) to be fully informed of and to comply with all laws, ordinances, codes, requirements, and standards which in any manner affect the course of construction, and the materials used in the construction.

The Contractor agrees that he shall assume sole and complete responsibility for the job site conditions during the course of construction of this project, including safety for all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify and hold the County of San Luis Obispo and its employees harmless from any and all liability.

The Contractor shall be responsible for the protection of public and private property adjacent to the work area and shall exercise due caution to avoid damage to such property. The Contractor shall replace or repair to their original condition all existing improvements within or adjacent to the work area which are not designated for removal and which are damaged or removed as a result of his operations.

## UTILITY NOTES

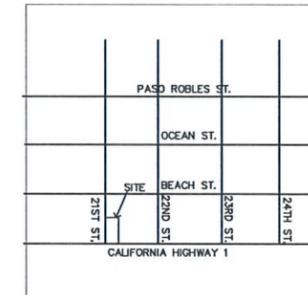
1. All existing utility and other underground structures may not be shown on this plan and their location where shown is approximate. Construction contractor shall assume sole and complete responsibility for locating or having located all underground utilities and related facilities and for protecting same during the course of construction. Contact Underground Service Alert (USA of So. Cal.) (800) 642-2444 two working days prior to the start of construction for assistance from the respective utilities.

2. Any necessary relocation of Gas Company, Cable T.V., General Telephone, or Pacific Gas & Electric shall be at the developers' expense.

3. Any work to be undertaken in the vicinity of PG&E facilities must comply with the minimum requirements set out on the High Voltage Electrical Safety Orders of the California Division of Industrial Safety.

4. Utilities: All pipes and utilities placed in the ground shall be placed in a 4 inch min. sand bed with 12 inches of native material over the top of each pipe of utility (except that in streets, trenches shall be sanded to the top and computed per requirements). All utilities on site shall be placed underground per County and utility company approved method of construction.

## VICINITY MAP



## STATISTICS.

PROJECT: MIXED USE OFFICE AND RESIDENTIAL

SITE AREA: 6994 S.F.

APN: 062-116-005

NUMBER OF BUILDINGS: 1

BUILDING AREA:  
TOTAL RESIDENCE= 2334 S.F.  
TOTAL RETAIL/ OFFICE= 2513 S.F.  
TOTAL= 4847 S.F.

PROPOSED BUILDING AREAS & USES:

SUITE 1: RESIDENTIAL	573 S.F.
SUITE 2: RESIDENTIAL	532 S.F.
SUITE 3: RESIDENTIAL	532 S.F.
SUITE 4: RESIDENTIAL	685 S.F.
SUITE A: RETAIL	445 S.F.
SUITE B: RETAIL	506 S.F.
SUITE C: OFFICE	470 S.F.
SUITE D: OFFICE	452 S.F.
SUITE E: OFFICE	640 S.F.

LOTS OPEN SPACE: 2913.59 SF. ( 41.6 % )

SEE "OPEN SPACE PLAN" THIS SHEET

LANDSCAPE AREA: 746 SF. (10.6 %)

PAVED AREA: 2750 SF (39.4 %)  
(EXCLUDES PARKING UNDER THE BUILDING)

PARKING REQUIRED:  
RETAIL : 951 SF/300 = 3.17  
OFFICE : 1562 SF/ 200 = 7.8  
RESIDENTIAL: (4) 1- BEDROOMS = 4  
GUEST : 1

SUB-TOTAL REQUIRED: 15.9 SPACES

20% REDUCTION FOR MIXED USE = 3.19

TOTAL REQUIRED: 12.8 SPACES

PARKING PROVIDED: 12 SPACES (ON SITE)  
3 SPACES (OFF SITE AT CURB)

ZONE: C/M

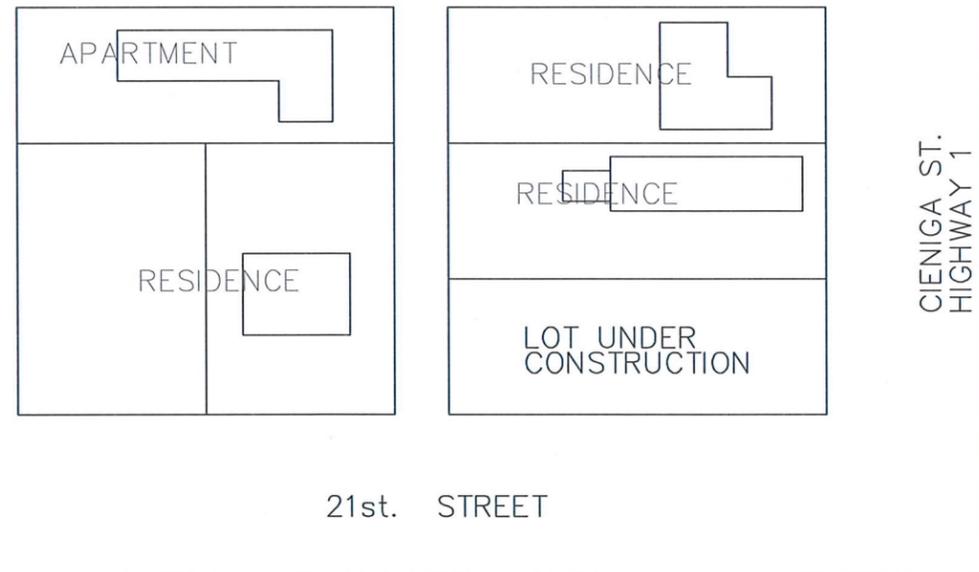
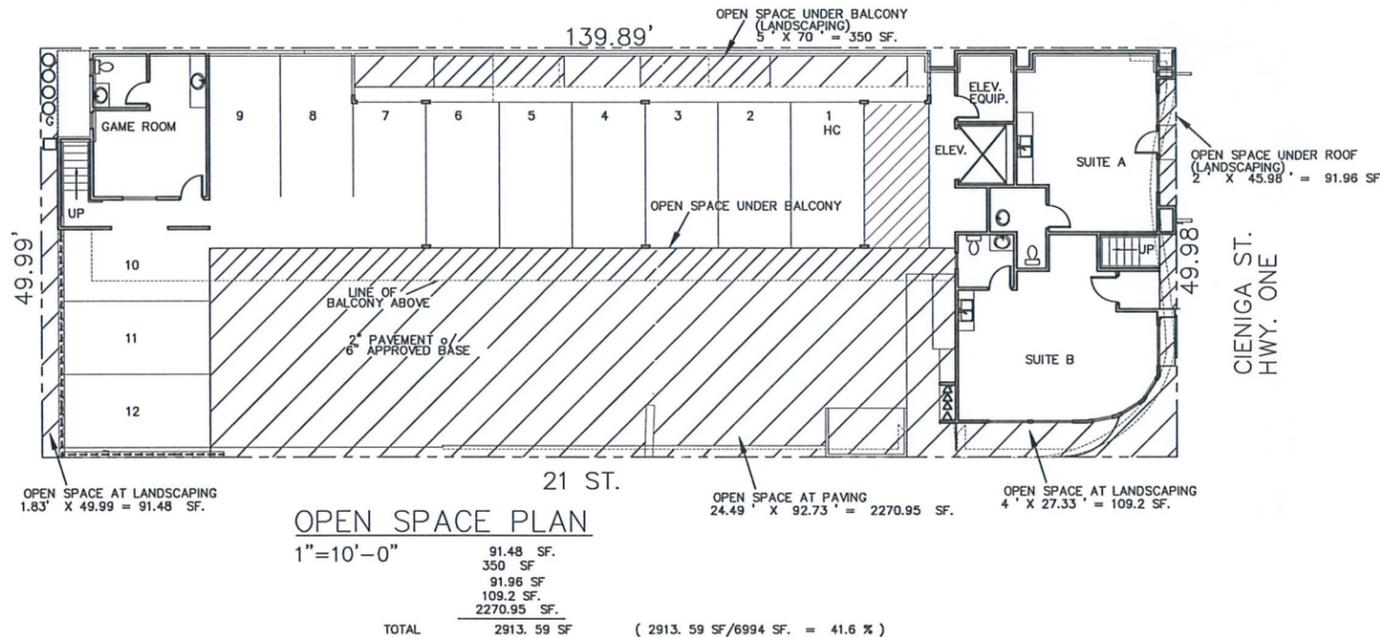
BUILDING TYPE OF CONSTRUCTION: VB

PROPOSE OCCUPANCY: RESIDENTIAL R-2 OFFICE- B RETAIL - M

SPRINKLERS IN BLDG: YES

## INDEX

T	TITLE SHEET
S	SITE PLAN & FLOOR PLANS FOR OPTION 1
1	ELEVATIONS FOR OPTION 1
2	DRAINAGE & LANDSCAPE PLAN FOR OPTION 1



## ADJACENT LAND USE - SITE AREA BUILDING LOCATIONS

1"=30'-0"



LIV-IN ENVIRONMENTS  
ARCHITECTURE & SOLAR SPACE HEATING  
GREGORY D. SOTO ARCHITECT  
P.O. BOX 1392 ARROYO GRANDE, CA 93421  
Lic. # C14960 (805) 481-1066

MIXED USE FOR:  
ALBERT FISHER  
1358 STRAND WAY  
OCEANO, CA. 93445  
PROJECT LOCATION: APN 062-116-005

Date 10/11/2016

Scale

Drawn

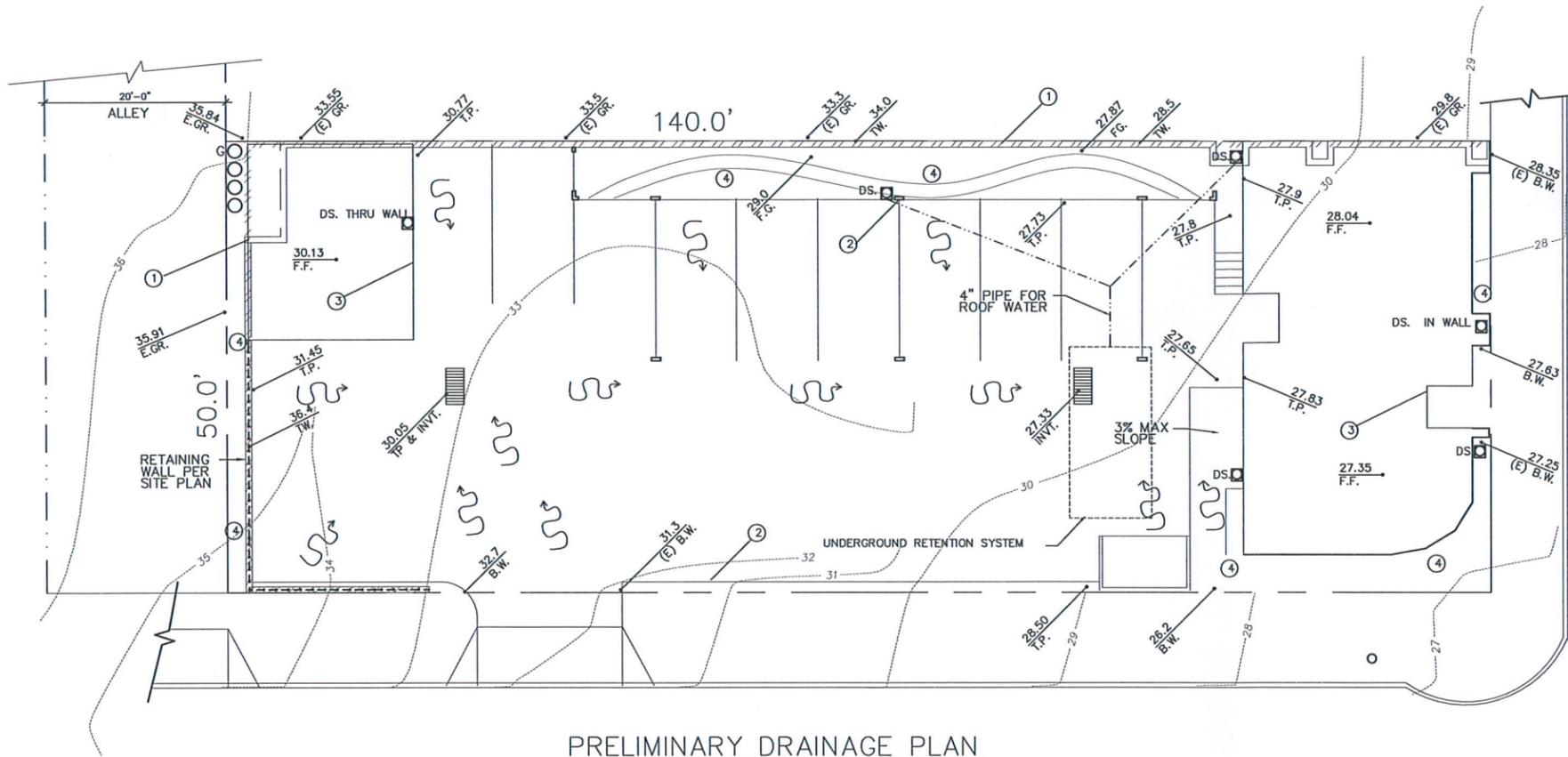
Job 1632

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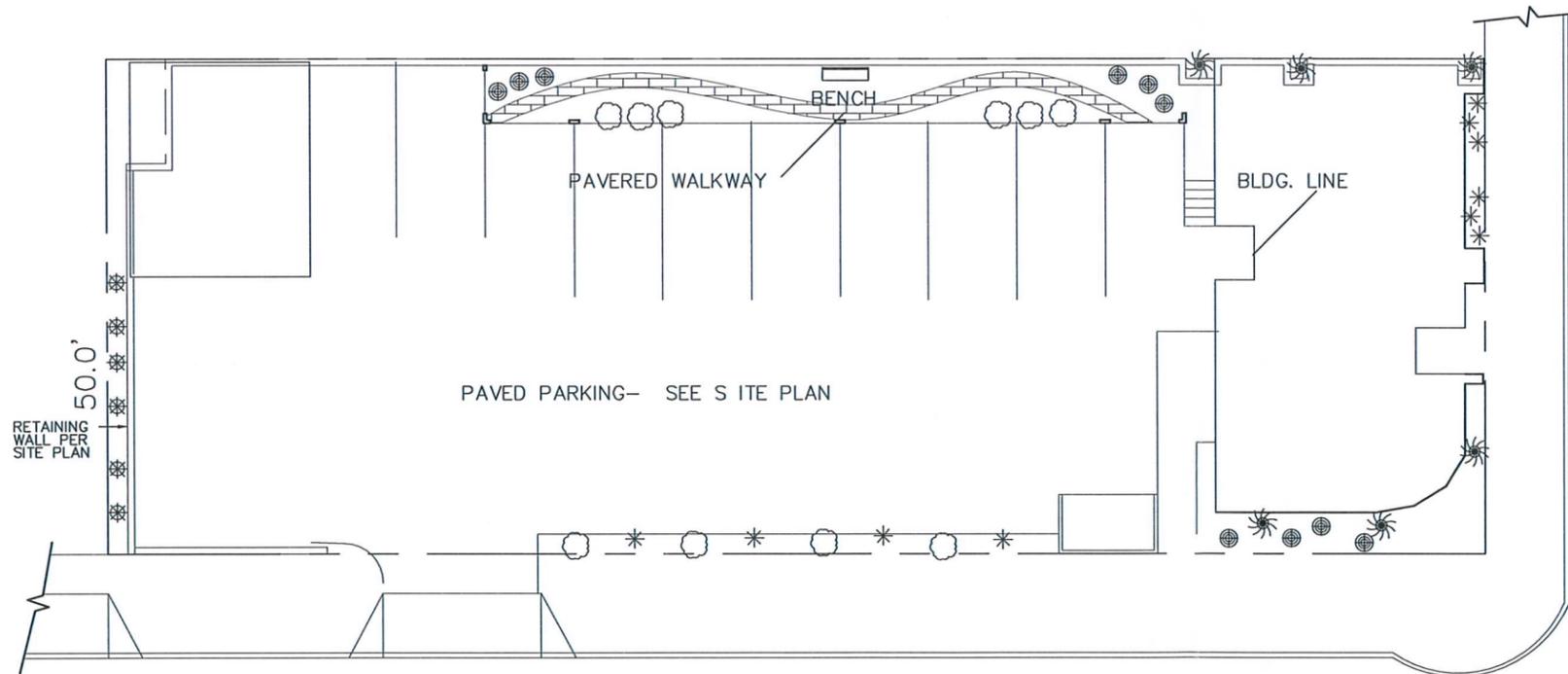
Of 1 Sheets







PRELIMINARY DRAINAGE PLAN  
1/8" = 1'-0"



PRELIMINARY LANDSCAPE PLAN  
1/8" = 1'-0"



LEGEND

- PROPERTY LINE
- FG FINISHED GRADE
- TP TOP OF PAVING
- TC TOP OF CONCRETE
- INVT TOP OF INVERT
- (E) EXISTING
- ~ FLOWLINE
- DS. DOWNSPOUT
- TW. TOP OF WALL
- SITE DRAIN  
All drains to tie together with 4" P.V.C. pipe

PLAN KEY NOTES

- ① RETAINING WALL
- 2. Line of pavement.
- 3. Building line
- 4. Landscape area

CTY. APPROVED  
PLANT LIST- PAGE NO.

PLANT LEGEND

20		MYOPORUM PARVIFOLIUM	1 GAL	2' (H) GROUND COVER
1		ABRONIA LATIFOLIA YELLOW SAND VERBENA	1 GAL	2' (H) FLOWER
21		OSTEOSPERMUM AFRICAN DAISSY	1 GAL	3' (H) FLOWER
16		JASMINUM HUMILE ITALIAN JASMINE	1 GAL	VINE
		VINE ( IN A POT )	1 GAL	CLINGING VINE

WATER CONSERVATION

This design will utilize plant material and irrigation systems that are suited to the site soil, climate, and environmental conditions. The plant material chosen will thrive in this area with low water usage and low maintenance. All plants proposed will grow in Sunset Zone 12-15.

The irrigation system is a drip emitter in the flower beds, the entire system will be automated for programming and monitoring of water use.

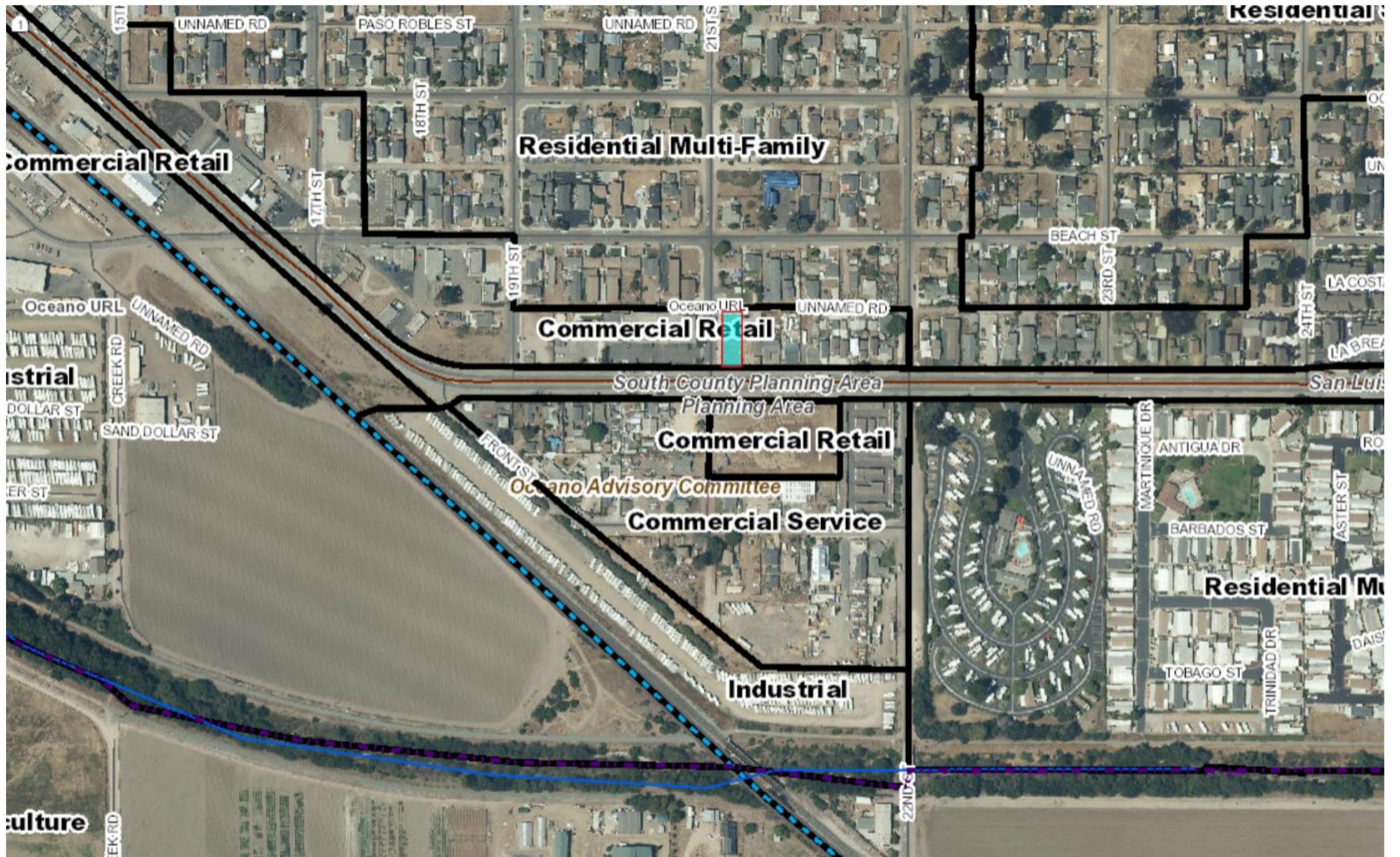
REVISIONS	BY



LIV-IN ENVIRONMENTS  
ARCHITECTURE & SOLAR SPACE HEATING  
GREGORY D. SOTO ARCHITECT  
P.O. BOX 1392 ARROYO GRANDE, CA 93421  
Lic. # C14560 (805) 481-1066

MIXED USE FOR:  
ALBERT FISHER  
1358 STRAND WAY  
OCEANO, CA. 93445  
PROJECT LOCATION: APN 062-116-005

Date	10/11/2016
Scale	
Drawn	
Job	1632
Sheet	2
Of	Sheets



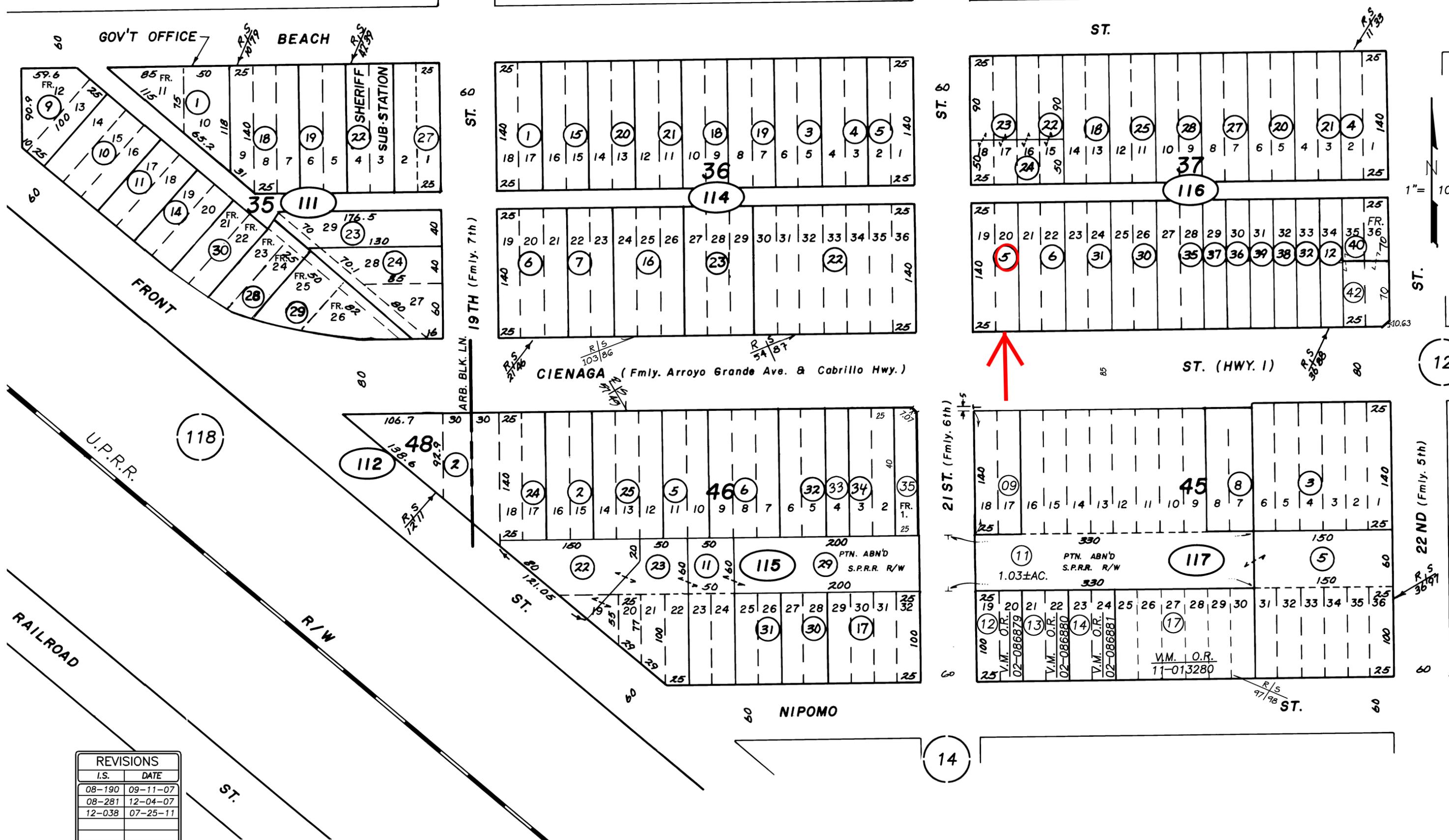


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089

09

062-11

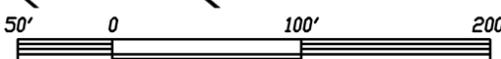


1" = 100'

12

14

REVISIONS	
I.S.	DATE
08-190	09-11-07
08-281	12-04-07
12-038	07-25-11



LZ 11-02-01 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



# Parcel Summary Report For Parcel # 062-116-005

10/26/2016  
2:57:51PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role    Name and Address

OWN    WHISPERING SAND DEVELOPMENT INC  
          1358 STRAND WAY OCEANO CA 93445-9759

OWN    WHISPERING SAND DEVELOPMENT INC A C

### Address Information

Status            Address  
 P                    01991 21ST ST OCNO

### Lot Information:

<u>Tract / Twncshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
TNOCNO	0037	0019	Oceano	South County P	CR	AR		Y	VP / VP	E91070801 / E010329
TNOCNO	0037	0020	Oceano	South County P	CBD			Y		

### Parcel Information

Status    Description  
 Active    TN OCEANO BL 37 LT 19&20

#### Notes

SITE PLAN MAY COME IN FOR VEHICLE STORAGE YARD WHICH IS AN ALLOWED USE IN CR. THIS LOT AND THE LOT NEXT DOOR WOULD NEED TO BE USED TO GET TO THE 10,000SF REQUIRED FOR VEHICLE STORAGE. HOUSE ON LOT NEXT DOOR WOULD HAVE TO BE A CARETAKER

Tax Districts  
 UNIT: SWC/SF 12/18/07

LUCIA MAR  
 SAN LUIS OBISPO JT(27,40)  
 ARROYO GRANDE  
 COASTAL SAN LUIS  
 COUNTY-ZONE NO. 03  
 SAN LUIS  
 NO. 04



# Parcel Summary Report For Parcel # 062-116-005

10/26/2016  
2:57:52PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

SOUTH SAN LUIS OBISPO COUNTY  
OCEANO  
AREA NO. 21

### Case Information

**Case Number:**

**Case Status:**

COD2009-00320      CLD      Primary Parcel

**Description:**

STORED MOBILE HOME (UNFOUNDED)

DRC2008-00022      EXP      Primary Parcel

**Description:**

CONSTRUCTION OF A MIXED-USE BUILDING, INCLUDING: A) APPROXIMATELY 2,513 SQUARE FEET OF OFFICE/RETAIL COMMERCIAL SPACE; AND B) FOUR ONE-BEDROOM RESIDENTIAL UNITS VARYING IN SIZE FROM 532 SQUARE FEET TO 685 SQUARE FEET. THREE OF THE FOUR RESIDENTIAL UNITS WILL BE DESIGNATED AS AFFORDABLE UNITS. HEIGHT: 35 FEET, 3 STORIES. SITE DISTURBANCE: 7,000 SQUARE FEET.

DRC2016-00030      REC      Primary Parcel

**Description:**

CONSTRUCTION OF A MIXED-USE BUILDING, INCLUDING: A) APPROXIMATELY 2,513 SQUARE FEET OF OFFICE/RETAIL COMMERCIAL SPACE; AND B) FOUR ONE-BEDROOM RESIDENTIAL UNITS VARYING IN SIZE FROM 532 SQUARE FEET TO 685 SQUARE FEET. THREE OF THE FOUR RESIDENTIAL UNITS WILL BE DESIGNATED AS AFFORDABLE UNITS. HEIGHT: 35 FEET, 3 STORIES. SITE DISTURBANCE: 7,000 SQUARE FEET.

E010329      CLD      Primary Parcel

**Description:**

STORAGE ON A VACANT LOT

P010438P      APP      Primary Parcel

**Description:**

COFFEEHOUSE

PMT2002-12476      EXP      Primary Parcel

**Description:**

COFFEE CAFE IN HCD COMMERCIAL COACH ON A FOUNDATION SYSTEM BY W. SOMMERMEYER 11658/ARCH OF RECORD .E.SPEIDEL 18283

PMT2008-01954      FNL      Primary Parcel

**Description:**

DEMO MODULAR - 960 SF PMT2002-12476 (COFFEE CAFE HCD COMM COACH)

PRE2013-00028      CAN      Related Parcel

**Description:**

FOOD SITE FOR FOOD SERVICE TO THE NEEDY