



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 2/5/2014

TO: _____

FROM: Stephanie Fuhs (805-781-5721 or sfuhs@co.slo.ca.us)
South CountyTeam / Development Review

PROJECT DESCRIPTION: SUB2013-00042 TR3059 MAL-HUN – Proposed tract map with conditional use permit for a 13 lot subdivision. 1.92 acre project site located at 1560/1600 S. Elm St in Oceano. APNs: 062-074-014 and -015.

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

Conc. Tract Map w/ CUP

PLANNED UNIT DEVELOPMENT - CUP & TENATIVE TRACT MAP - 13 LOTS TRACT SLB/ OCNO SEF

AR RSF

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- Public Lot
- Receiving Site
- Reversion to Acreage
- Voluntary Merger
- Lot Line Adjustment
- Sending Site
- Reconsideration
- Certificate of Compliance
- Parcel Map
- Road Abandonment
- Condominium (new or conversion)
- Tract Map
- Road Name

APPLICANT INFORMATION

 Check box for contact person assigned to this project

Landowner Name Belridge Park II, LLC Daytime Phone 805.544.3570
 Mailing Address 668 Marsh Street, San Luis Obispo, CA Zip Code 93401
 Email Address: DBarcus@Takkens.com

Applicant Name Belridge Park II, LLC Daytime Phone 805.544.3570
 Mailing Address 668 Marsh Street, San Luis Obispo, CA Zip Code 93401
 Email Address: DBarcus@Takkens.com

Agent Name Casey O'Connor Daytime Phone 805.440.8040
 Mailing Address 668 Marsh Street, San Luis Obispo, CA Zip Code 93401
 Email Address: _____

PROPERTY INFORMATION

Total Size of Site: 1.92 acree Assessor Parcel Number(s): 062-074-014/015
 Legal Description: Parcel 2 and 3 of Parcel map CO-74-108 Co-SLO Book 15
 Address of the project (if known): 1560/1600 S. Elm, Oceano, CA pg 44
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Elm St. between Basin and Paso Robles St. in Oceano

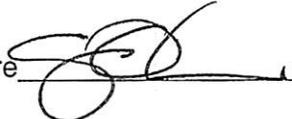
Describe current uses, existing structures, and other improvements and vegetation on the property:
Single family Residence

PROPOSED PROJECT

Describe the proposed project (incl. size of all proposed parcels): See attached

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature 

Date 12-31-13

FOR STAFF USE ONLY

Minimum Parcel Size: _____ sq. feet acres by PAS? by Ordinance?

LAND DIVISION APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Project Information:

What is the proposed density or parcel size?: 5,000 to 8,000 sq. Foot lot
Number of existing lots, parcels or certificates: 2 Existing parcel sizes: .93 / .99 acre
What will the property be used for after division: single family residences
Is the property part of a previous subdivision that you filed? Yes No
If Yes, what was the map number: Tract No: _____ CO _____ COAL _____
Have you reviewed county records to determine if the subject property has ever been the subject of:
A recorded certificate of compliance or a recorded map? Yes No
Building permits or other approval? Yes No

If you answered Yes to either question, please provide copies of all applicable materials.

Off-Site Improvements: Will off-site road or drainage improvements be required? Yes No

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Describe existing and future access to the proposed project site: See attached drawings

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Single Family Res. South: SFR
East: SFR West: SFR

Proposed water source: On-site well Shared well Other _____
 Community System - List the agency or company responsible for provision: OCSO
Do you have a valid will-serve letter? Yes (If yes, please submit copy) No

Proposed sewage disposal: Individual on-site system Other OCSO
 Community System - List the agency or company responsible for sewage disposal: _____
Do you have a valid will-serve letter? Yes (If yes, please submit copy) No

Fire Agency: List the agency responsible for fire protection: Five Cities Fire Authority

List available or proposed utilities: Gas Telephone Electricity Cable TV

Adjustments: Are you requesting any adjustments? Yes No If Yes, please complete:

Parcel & site design (21.03.010(c)) Access & circulation design (21.03.010(d))
 Flood hazard & drainage (21.03.010(e)) Water supply (21.03.010(f))
 Sewage Disposal (21.03.010(g)) Public Utilities (21.03.010(h))
 Road Exception (21.03.010(d))

Briefly describe the reasons for the request _____

Quimby Ordinance (Section 21.09.010, et seq., of Title 21):

How are you proposing to meet the requirements of the Quimby Ordinance:

- Dedicate property for park & recreation purposes Pay the in-lieu fee
- Request credit for common open space (if you are choosing this option, please complete below)

Acreage of open space: _____ Average slope of open space: _____

Describe the on-site recreational amenities being proposed and their location on the open space:

Specify the proposed ownership and method of maintenance of the open space: _____

Affordable Housing - Coastal Zone ONLY (Government Code Section 65590 - Section 23.04.092 of Title 23):

Is your project a:

- New housing project containing 11 or more dwelling units or parcels; OR
- Demolition or conversion of one or more dwellings (includes mobile homes), where the proposed demolition or conversion involves three or more dwelling units in one structure, or 11 or more dwellings units in two or more structures AND any such units were occupied by persons or families of low or moderate income in the 12 months prior to filing the land use or division application.
- Demolition or conversion of one or more dwellings (includes mobile homes) to a non-residential use which is not "coastal dependent".

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 1.92 acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: S. Elm St. and Haas Lane

Water Supply Information

- 1. What type of water supply is proposed?
 Individual well Shared well Community water system
- 2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
- 3. What is the expected daily water demand associated with the project? n/A
- 4. How many service connections will be required? 11
- 5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: SPR
- 6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
- 7. Does water meet the Health Agency's quality requirements? Yes No
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
- 8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

- 1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
- 2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
- 3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
- 4. Has a piezometer test been completed?
 Yes No
- 5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No *(a waste discharge permit is typically needed when you exceed 2,500 gallons per day)*

If a community sewage disposal system is to be used:

- 1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: 100 ft. Location of connection: Elm Street
- 2. What is the amount of proposed flow? n/A _____ G.P.D.
- 3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: OCSO
- 3. Where is the waste disposal storage in relation to buildings? _____
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: Lucia Mar Unified
- 2. Location of nearest police station: Sheriff Station Hwy 1 - 1681 Front St. Oceano
- 3. Location of nearest fire station: Oceano Fire Dept. Hwy 1 - 1655 Front St., Oceano
- 4. Location of nearest public transit stop: Elm and Paso Robles
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? .5 miles feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property: Single Family Residence
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

- 1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
- 2. If yes, is the site currently under land conservation contract? Yes No
- 3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

- 1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): Park - 4500 sq ft
- 2. Will the development occur in phases? Yes No
 If yes describe: _____
- 3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
- 4. Are there any proposed or existing deed restrictions? Yes No

If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: TBD

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

TBD

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

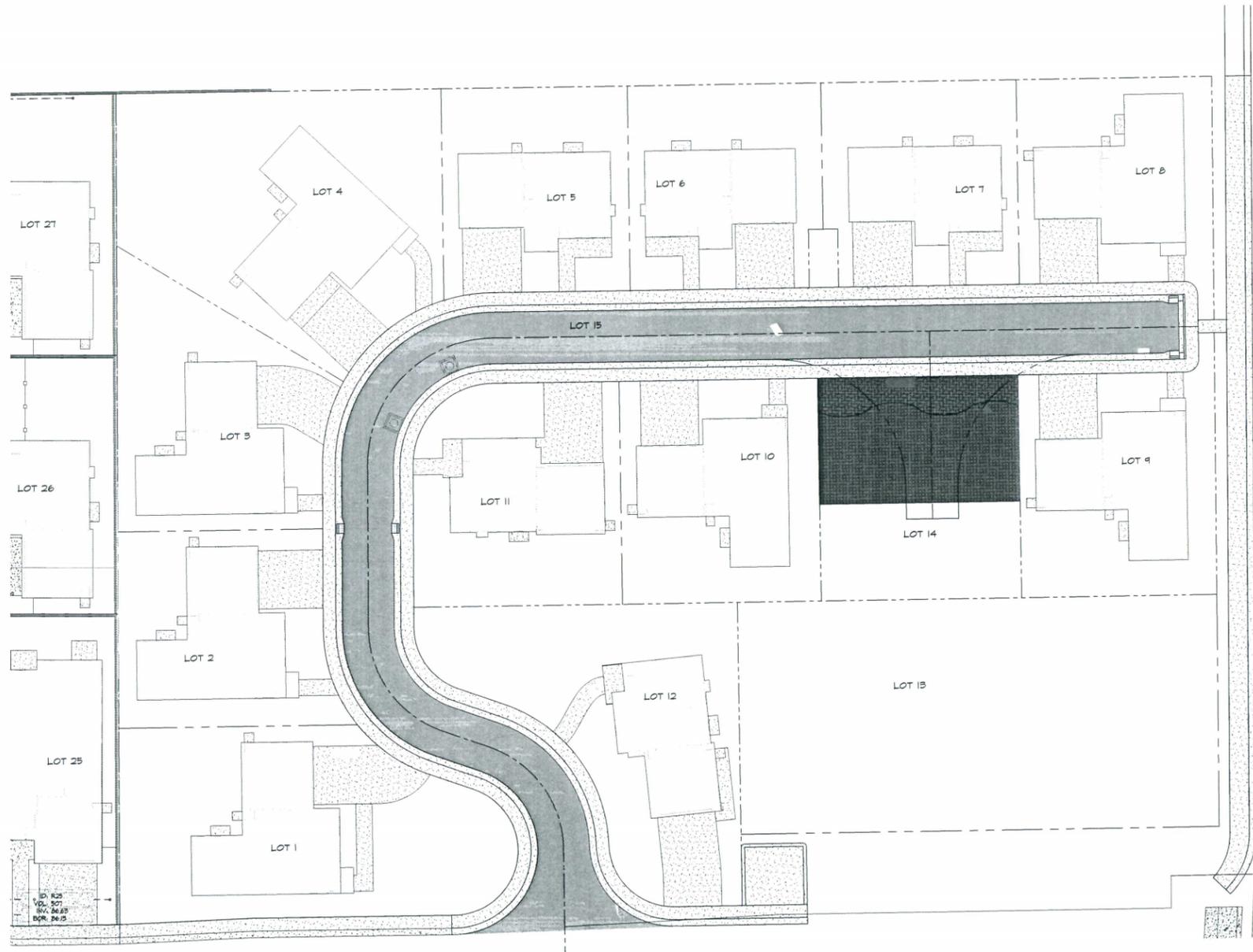
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No

If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): _____

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



SITE PLAN

REVISIONS

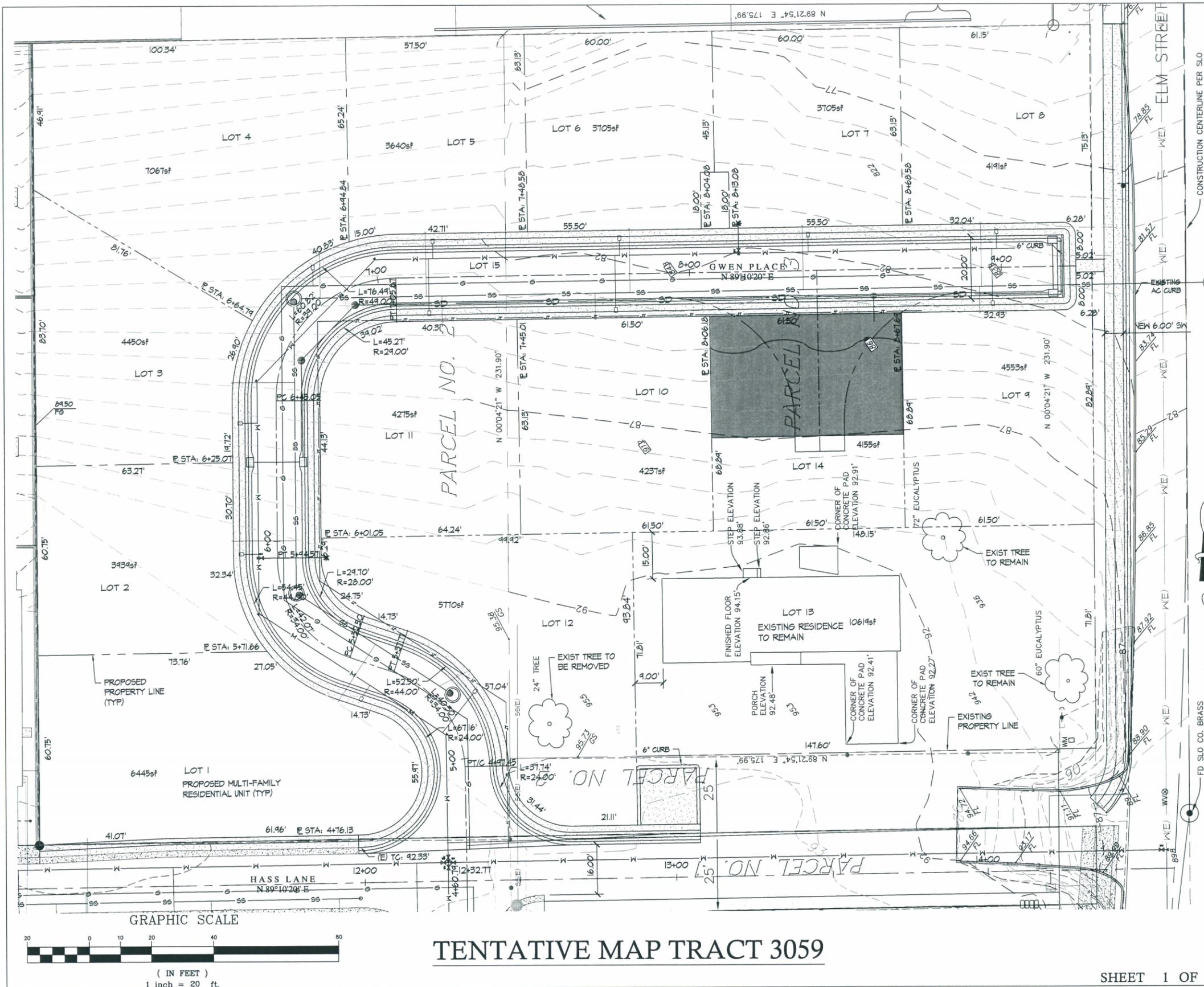
DESCRIPTION:
Site Plan

PROJECT:
AVOCADO RANCH III
RESIDENTIAL DEVELOPMENT
OCEANO, CALIFORNIA

TAKKEN DEVELOPMENT COMPANY
668 MARSH STREET
SAN LUIS OBISPO, CA 93401
TEL: 805.544.3570

DATE: 27 DEC 2013
DRAWN BY: MJ
CHECKED BY: KTD
JOB NO: 2013-32

SHEET:
SP1



OWNER/SUBDIVIDER

Belridge Park, LLC
 668 Marsh Street
 San Luis Obispo, CA 93401

ASSESSOR'S PARCEL NUMBERS

062-074-014 & 062-074-015

EXISTING AREAS

PARCEL 2 38870 SQUARE FEET
 PARCEL 3 43583 SQUARE FEET

TOTAL 82453 SQUARE FEET

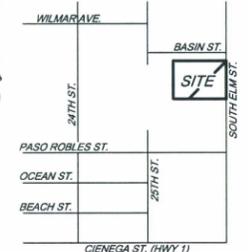
PROPOSED LOT AREAS

LOT 1 6445 SQUARE FEET
 LOT 2 3939 SQUARE FEET
 LOT 3 4450 SQUARE FEET
 LOT 4 7067 SQUARE FEET
 LOT 5 3640 SQUARE FEET
 LOT 6 3705 SQUARE FEET
 LOT 7 3705 SQUARE FEET
 LOT 8 4191 SQUARE FEET
 LOT 9 4553 SQUARE FEET
 LOT 10 4237 SQUARE FEET
 LOT 11 4275 SQUARE FEET
 LOT 12 5770 SQUARE FEET
 LOT 13 10619 SQUARE FEET
 LOT 14 4155 SQUARE FEET
 LOT 15 13755 SQUARE FEET

TOTAL 84506 SQUARE FEET

BASIS OF ELEVATION

The basis of elevations used for the topography shown hereon is a spike in a J-Pole as shown on SLO CO Improvement Plans for Elm Street dated 1-19-96, that elevation being 95.21'



VICINITY MAP
NO SCALE

LEGEND

- PUE PUBLIC UTILITY EASEMENT
- TBR TO BE REMOVED
- DI DROP INLET
- W— NEW WATER LINE
- W(E)— EXISTING WATER LINE
- G— NEW GAS LINE
- G(E)— EXISTING GAS LINE
- SS— NEW SANITARY SEWER LINE
- SS(E)— EXISTING SANITARY SEWER LINE
- JT— JOINT TRENCH



1170 PACIFIC STREET
 SAN LUIS OBISPO, CA 93401
 PH. 805.796.4802 FX. 805.796.4917

Avocado Ranch III
 Oceano, CA

DATE: 22 DEC 2013
 DRAWN BY: M.J.
 CHECKED BY: K.T.D.
 PROJECT NO.: 2013-32

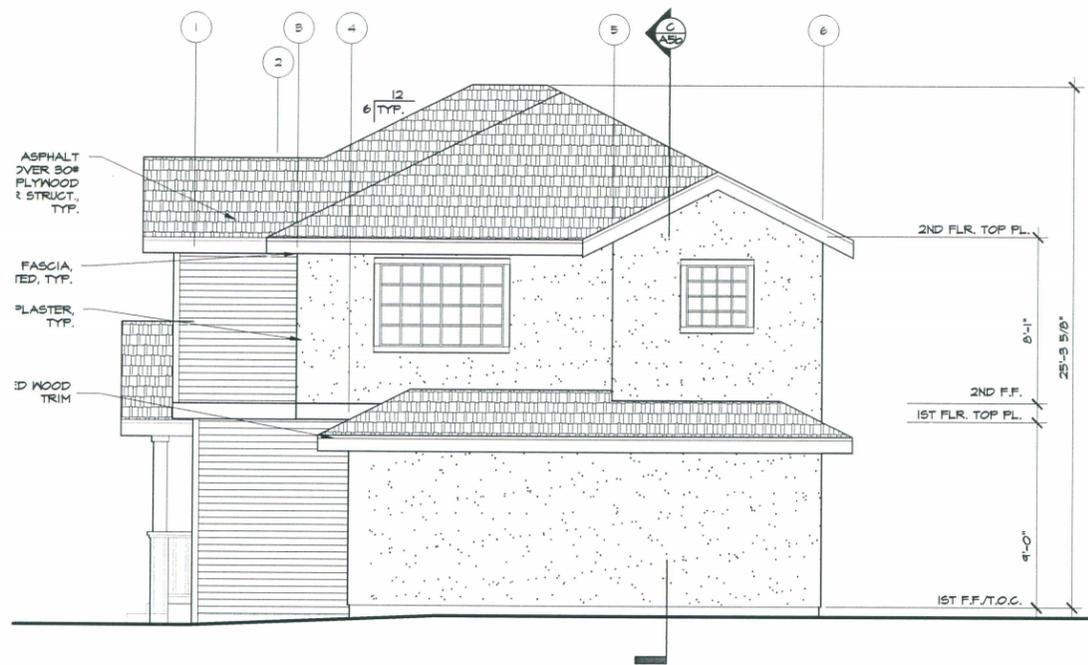


GRAPHIC SCALE



(IN FEET)
 1 inch = 20 ft.

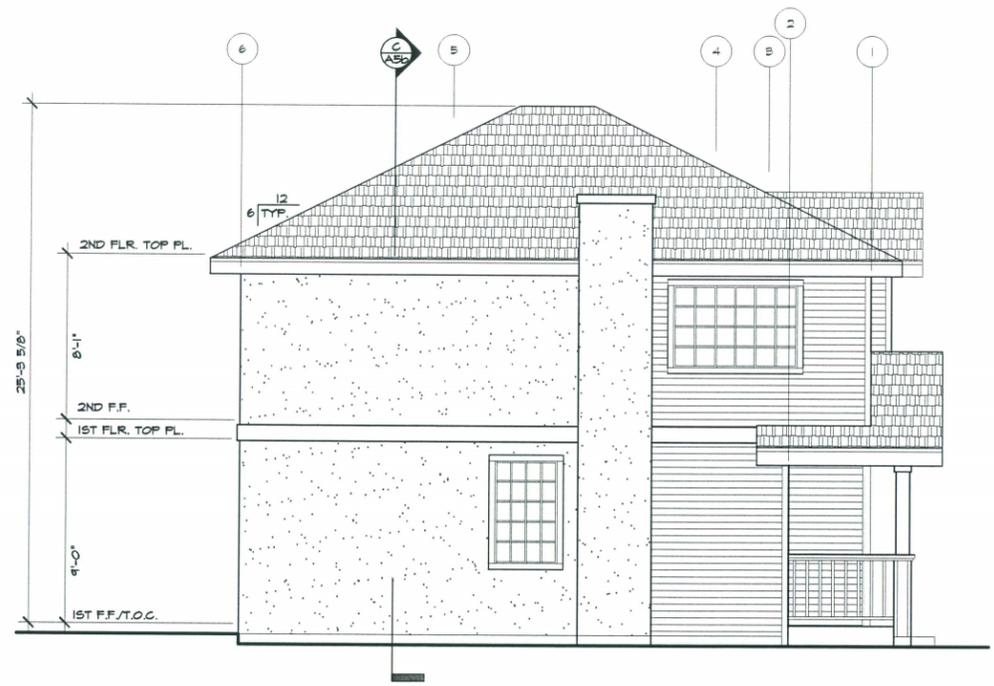
TENTATIVE MAP TRACT 3059



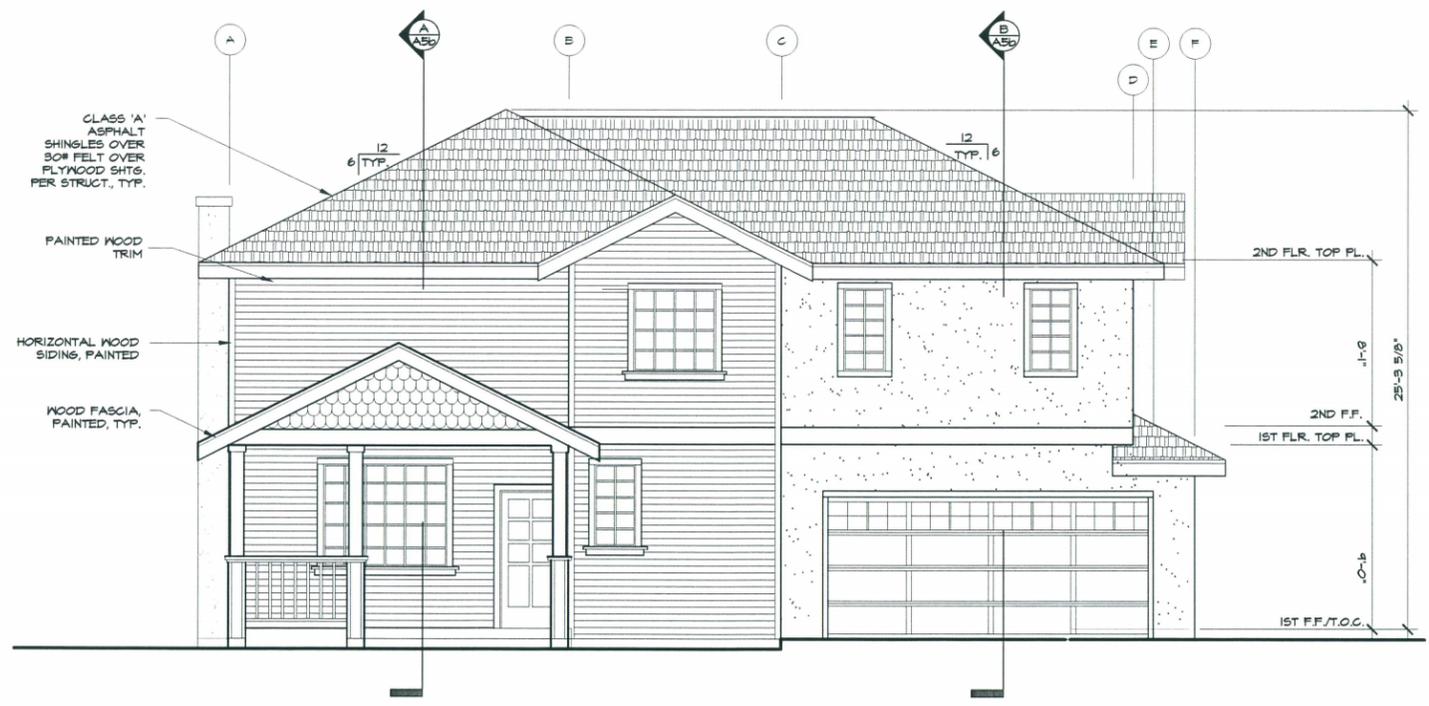
RIGHT SIDE



BACK



LEFT SIDE



FRONT

EXTERIOR ELEVATIONS - PLAN B

REFER TO FLOOR PLAN FOR REVISION AREAS

1/4"=1'-0"



STEVEN D. STEWART
ARCHITECT

1115 Marsh Street
San Luis Obispo, CA 93401
805/545-9642

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FOR AVOCADO RANCH ONLY
FOR CONSTRUCTION ONLY

AVOCADO RANCH FOR:
TAKKEN O'CONNOR DEV. CO.
25TH STREET & ELM STREET
OCEANO, CA

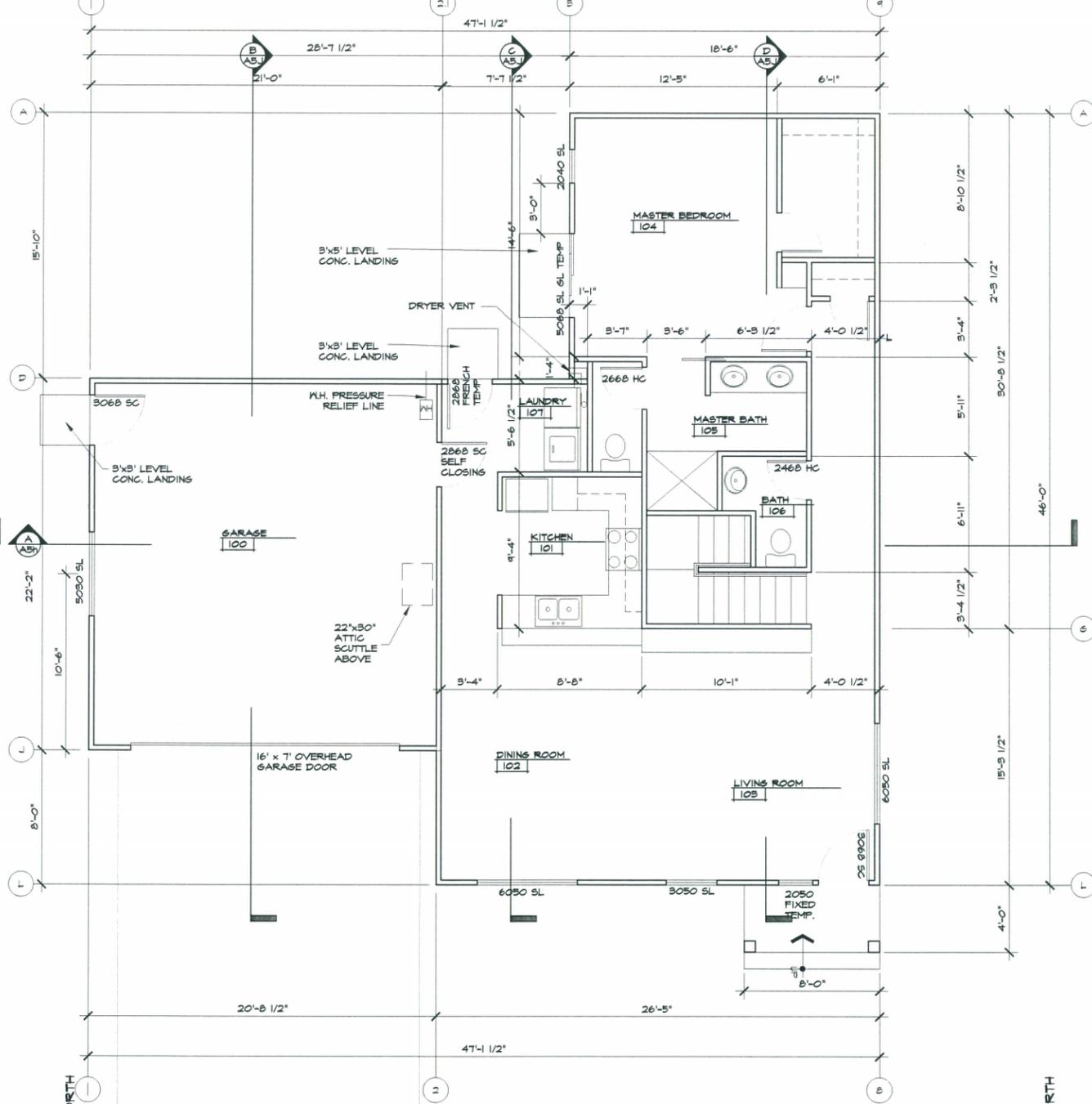
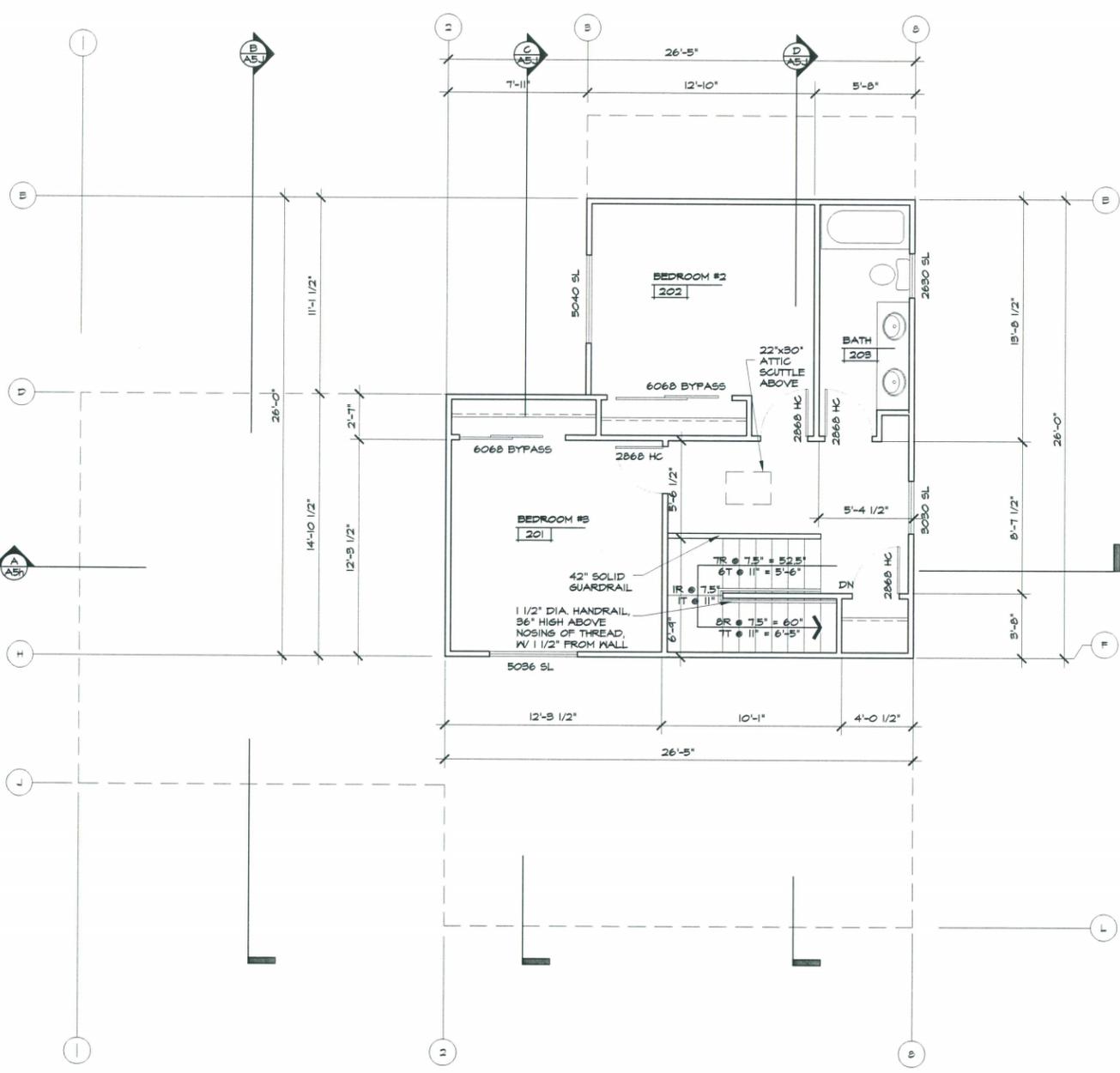
PLAN B
EXTERIOR ELEVATIONS

Remarks	PLAN CHECK SUBMITTAL (B)
Date	2-16-19
Job No.	0428.2

Sheet
A3b
Of Sheets

WALL LEGEND	
	2x WOOD STUD WALL @ 16" o.c. W/ ONE LAYER OF 1/2" GYP. BOARD INSIDE AND HORIZ. SIDING OR CEMENT PLASTER OUTSIDE OR ONE LAYER OF 1/2" GYP. BOARD EACH SIDE.
	2x6 WOOD STUD PLUMBING WALL @ 16" o.c. W/ ONE LAYER OF 1/2" GYP. BOARD INSIDE AND HORIZ. SIDING OR CEMENT PLASTER OUTSIDE OR ONE LAYER OF 1/2" GYP. BOARD EACH SIDE.
	2x4 WOOD STUD WALL @ 16" o.c. W/ ONE LAYER OF 1/2" GYP. BOARD GARAGE SIDE.

- ### FLOOR PLAN NOTES
1. WATER HEATERS TO BE 50 GAL., PER ENERGY CALCS.
 2. FAU TO BE PER ENERGY CALCS.
 3. ALL FLUORESCENT FIXTURES SHALL HAVE ENERGY SAVING BALLASTS AND LAMPS. KITCHENS & BATHS GENERAL LIGHTING SHALL HAVE AN EFFICIENCY OF NOT LESS THAN 25 LUMENS PER WATT.
 4. ELECTRICAL SYSTEM GROUND SHALL BE PROVIDED PER NEC, ART. 250-81.
 5. PANELS SHALL BE SIZED TO PROVIDE FOUR FULL SIZE SPARE CIRCUIT SPACES FOR FUTURE EXPANSION.
 6. APPROVED RACEWAYS OR SUITABLE WIRING FOR ALL SPARE CIRCUITS SHALL BE AS FOLLOWS:
SLAB FLOOR BUILDINGS: 2" CONDUITS TO ATTIC
 7. NO BRANCH CIRCUIT PANEL OR PROTECTIVE DEVICES SHALL BE INSTALLED IN BATHROOMS, PANTRIES, CLOTHES, JANITOR, LAUNDRY, OR SIMILAR CLOSETS, OR WATER HEATER/FURNACE COMPARTMENTS.
 8. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING WITH BATTERY BACK-UP. SUCH WIRING SHALL BE PERMANENT. DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS.
 9. KITCHEN AND BATHROOM CONVENIENCE OUTLETS SHALL BE +8" ABOVE COUNTERTOPS. GARAGE CONVENIENCE OUTLETS SHALL BE MOUNTED AT +8" WITH GFI.
 10. PROVIDE GFI OUTLETS AT LOCATIONS WITHIN 6'-0" OF WATER SOURCE AND IN KITCHENS, BATHS, GARAGE & OUTSIDE.
 11. PROVIDE WP/GFI OUTLETS AT ALL EXTERIOR LOCATIONS.
 12. REFRIGERATOR OUTLET SHALL BE AT +6" AFF.
 13. RECESSED LIGHT FIXTURES INSTALLED IN AREAS TO RECEIVE INSULATION SHALL BE "IC" RATED, NO PENETRATION OR REMOVAL OF INSULATION ALLOWED.
 14. FIRE-RESISTIVE CONSTRUCTION SHALL BE USED BETWEEN GARAGE AND RESIDENCE. (1/2" GYP. BD. @ WALL & 5/8" TYPE "X" GYP. BD. @ CEILING WHEN HABITABLE ABOVE) WHEN SUCH SEPARATION SUPPORTS AN UPPER FLOOR, THE CEILING, POSTS AND BEAMS MUST BE SIMILARLY PROTECTED (GARAGE SIDE ONLY) (5/8" TYPE "X" GYP. BD. IS ACCEPTABLE) PER CBC SEC. 302.4, TABLE 3-B.
 15. PROVIDE A PERMANENTLY ACCESSIBLE 12-INCH SQUARE BATHTUB TRAP ACCESS OR A NON-SLIP JOINT TRAP, PER CFC SEC. 405.2.
 16. STRAP WATER HEATER AT UPPER AND LOWER 1/3 OF VERTICAL HEIGHT, PER CFC 507.5.
 17. PENETRATIONS IN SLABS ON GRADE FOR BATHTUB PIPING AND TRAPS, PLANTERS OR OTHER SIMILAR USES SHALL BE SEALED WITH CONCRETE NOT LESS THAN 2 INCHES IN THICKNESS OR PLASTIC TUB BOXES MAY BE USED IN LIEU OF CONCRETE IF PROPERLY SEALED AROUND ALL EDGES AND PIPE PENETRATIONS.
 18. PLUMBING PENETRATIONS IN ONE-HOUR RATED ASSEMBLIES TO BE SEALED WITH "UNITED STATES GYPSUM FIRECODE ACRYLIC FIRESTOP SEALANT" (UL 2079, ASTM E814) PER MANUFACTURER SPECIFICATIONS.
 19. PROVIDE FIRE STOPS IN CONCEALED SPACES OF STUD WALLS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS AND @ 10' INTERVALS ALONG THE WALL LENGTH, AND IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES, AND SIMILAR OPENINGS WHICH AFFORD PASSAGE OF FIRE BETWEEN FLOOR LEVELS AND FLOORS TO CEILING OR ATTICS.



2ND FLOOR PLAN - PLAN J

2ND FLOOR 599 SQ. FT.

1/4"=1'-0"

1ST FLOOR PLAN - PLAN J

1ST FLOOR 1090 SQ. FT.
GARAGE 459 SQ. FT.

1/4"=1'-0"



AVOCADO RANCH FOR:
TAKKEN DEVELOPMENT CO.
25TH STREET & ELM STREET
OCEANO, CA

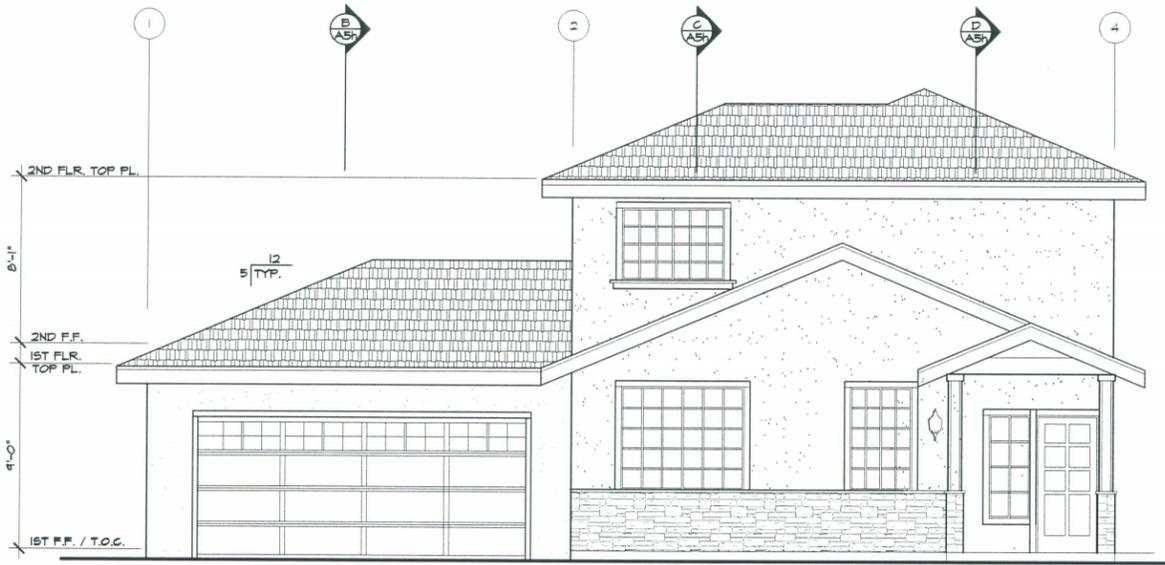
PLAN J
1ST & 2ND FLOOR PLAN

Remarks	PLAN CHECK SUBMITTAL (J)
Date	10-24-13
Job No.	0428

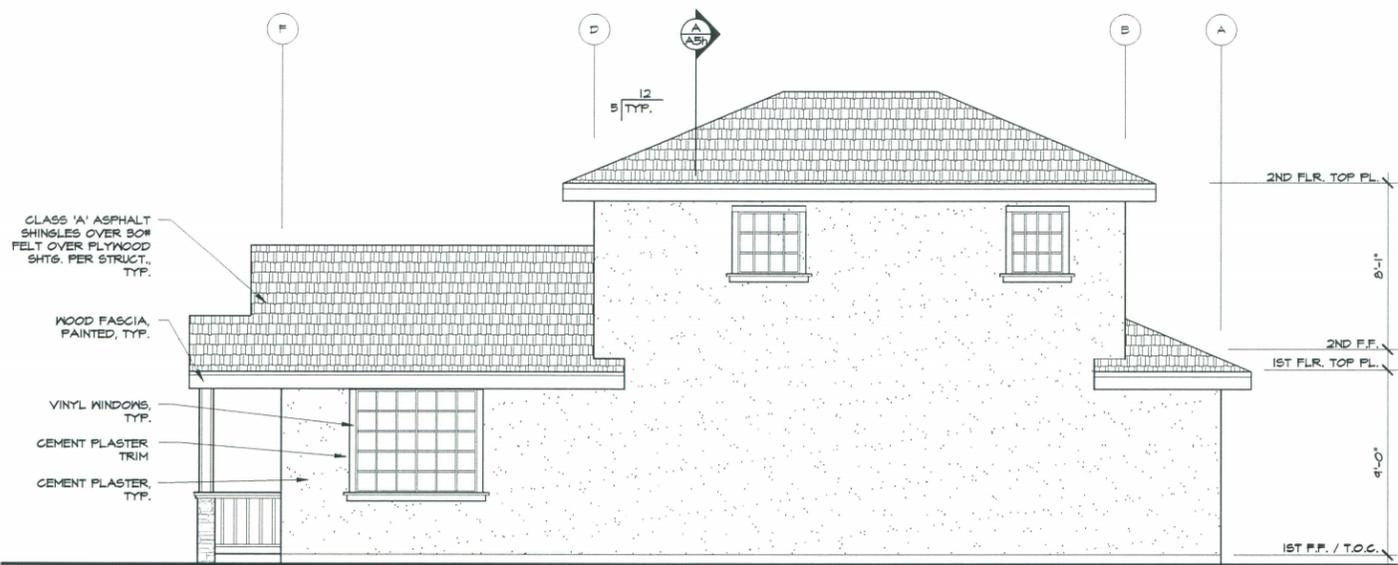
Sheet
Of
A2J
Sheets

STEVEN D. STEWART
ARCHITECT
1155 Alameda Street
815-545-9142
9401
San Luis Obispo, CA
sds@sdstewart.com

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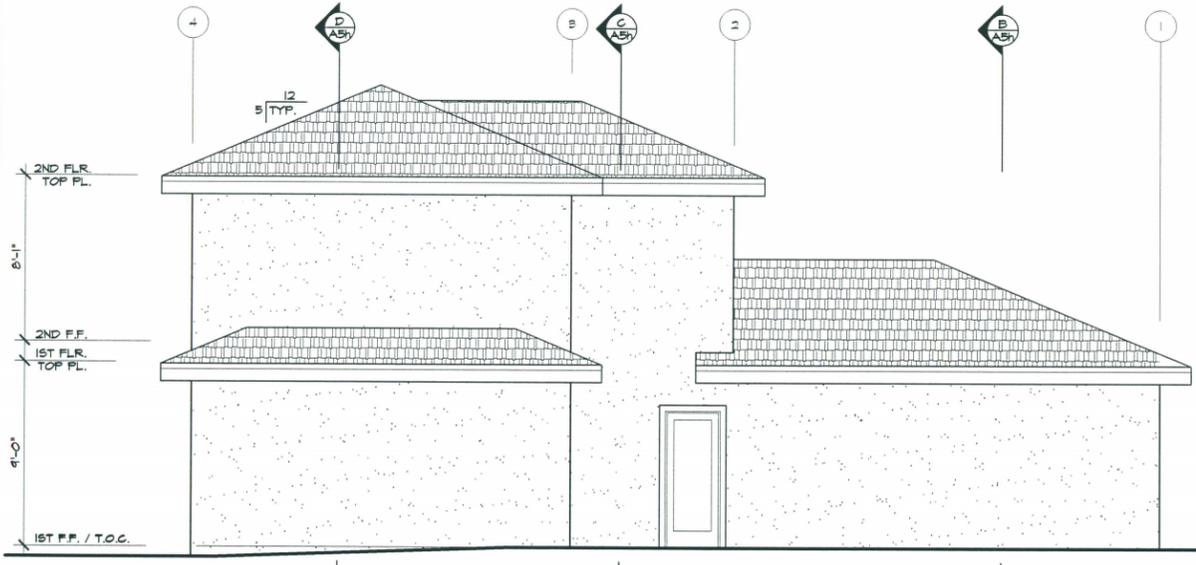


FRONT

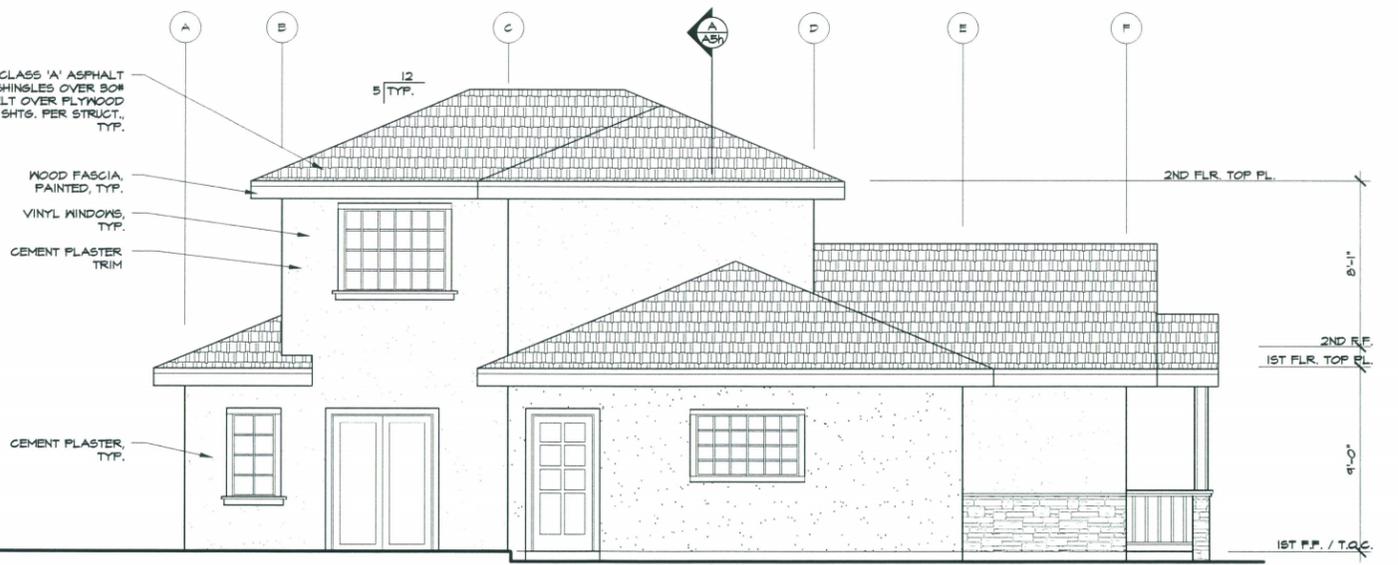


RIGHT SIDE

- CLASS 'A' ASPHALT SHINGLES OVER 30# FELT OVER PLYWOOD SHTS. PER STRUCT. TYP.
- WOOD FASCIA, PAINTED, TYP.
- VINYL WINDOWS, TYP.
- CEMENT PLASTER TRIM
- CEMENT PLASTER, TYP.



REAR



LEFT SIDE

- CLASS 'A' ASPHALT SHINGLES OVER 30# FELT OVER PLYWOOD SHTS. PER STRUCT. TYP.
- WOOD FASCIA, PAINTED, TYP.
- VINYL WINDOWS, TYP.
- CEMENT PLASTER TRIM
- CEMENT PLASTER, TYP.

EXTERIOR ELEVATIONS - PLAN J

1/4"=1'-0"



STEVEN D. STEWART
ARCHITECT

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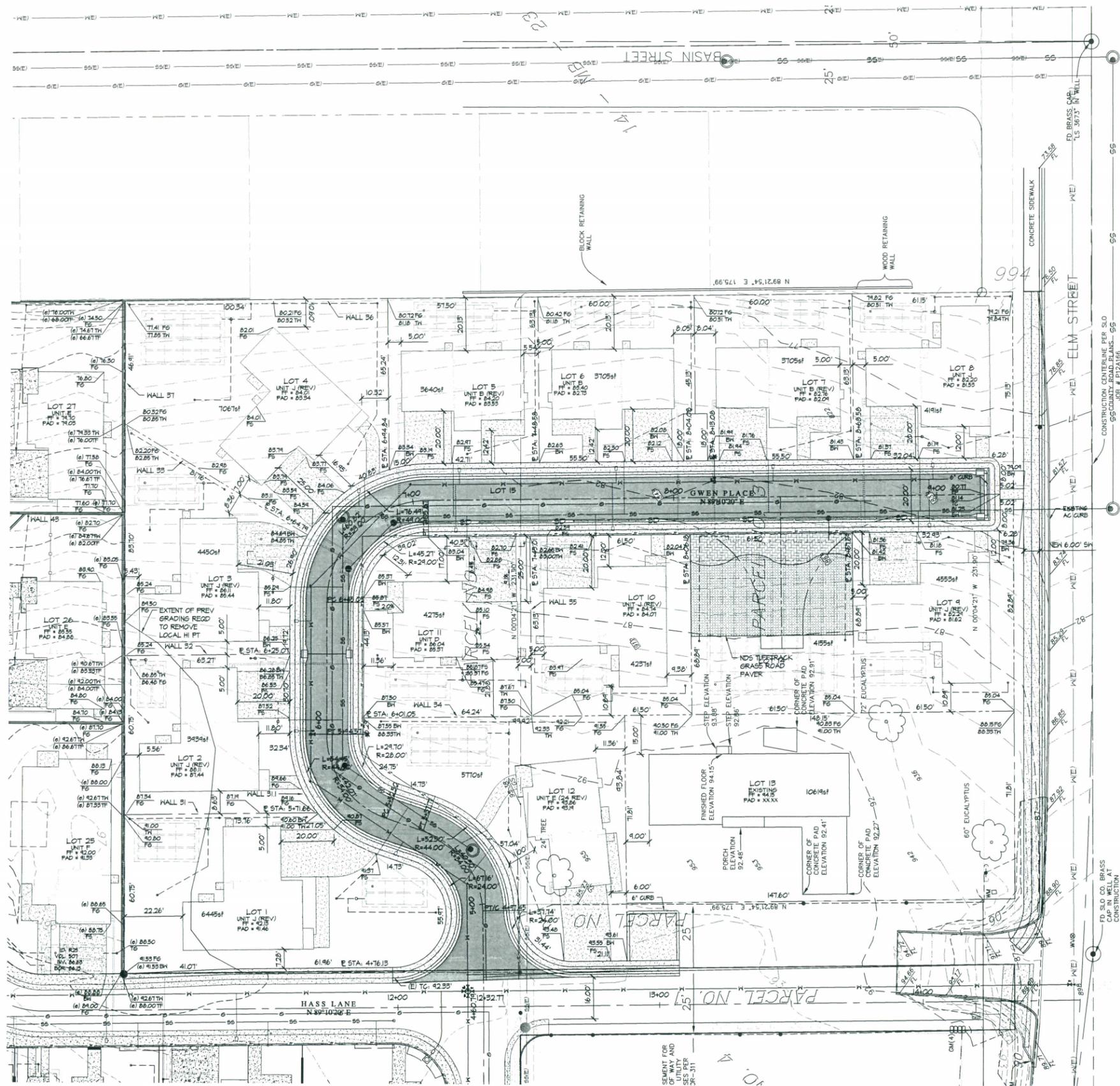


AVOCADO RANCH FOR:
TAKKEN DEVELOPMENT CO.
25TH STREET & ELM STREET
OCEANO, CA

PLAN J
EXTERIOR ELEVATIONS

Remarks	PLAN CHECK SUBMITTAL (J)
Date	10-24-15
Job No.	0428

Sheet
Of
A3j
Sheets



PRELIMINARY GRADING & DRAINAGE PLAN

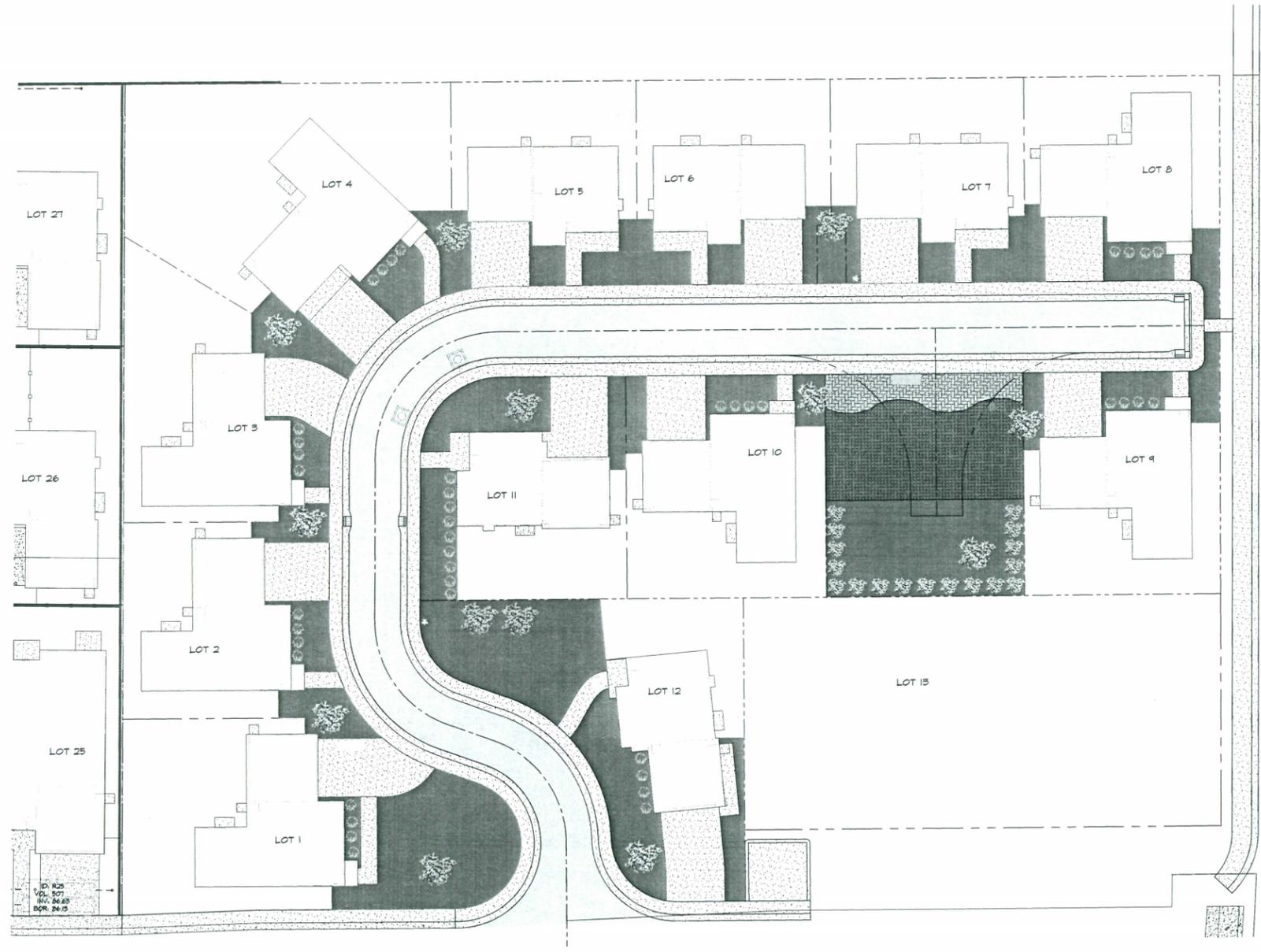
SCALE: 1" = 20'-0"

- NOTES:**
1. THE TOPOGRAPHY SHOWN HEREON IS BASED ON A TOPOGRAPHIC SURVEY MAP FOR THE SITE PREPARED BY MCMILLAN LAND SURVEYS.
 2. VERIFY ALL BUILDING DIMENSIONS WITH SITE PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 3. PREPARATION OF BUILDING PADS:
THE NATIVE MATERIAL SHOULD BE OVER-EXCAVATED A MINIMUM OF 6'-0" BELOW EXISTING GRADE, 2'-0" BELOW THE BOTTOM OF THE FOOTINGS OR ONE-HALF OF THE DEPTH OF THE DEEPEST FILL IN ANY AREA TO RECEIVE FILL, WHICHEVER IS DEEPEST, & 5' BEYOND FOUNDATION. (PER SOILS REPORT PLATE 4)
 4. PREPARATION OF PAVED AREAS:
PAVED AREAS SHOULD BE OVER-EXCAVATED 2'-0" BELOW GRADE AND PREPARED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER.
 5. A BLANKET DRAINAGE EASEMENT IS REQUIRED FOR ALL PROPERTY ON THIS PROJECT OUTSIDE OF THE BUILDING ENVELOPES.
 6. ALL GRADING SHALL CONFORM TO APP J OF THE IBC AND THE RECOMMENDATIONS OF THE PROJECT SOILS REPORT PREPARED BY GEOSOLUTIONS INC. DATED 12/30/05.
 7. UNLESS NOTED OTHERWISE ON THE PLANS ALL STORM DRAIN PIPING SHOWN ON PRIVATE LOTS SHALL BE 6" ADS N-12 @ 1.0% MIN.
 8. UNLESS NOTED OTHERWISE ON THE PLANS ALL STORM DRAIN INLETS SHOWN SHALL BE 6" NYOPLAST DRAIN BASINS WITH LANDSCAPE GRATE.
 9. ALL ROOF DOWNSPOUTS SHALL BE ROUTED INTO THE DRAIN PIPE WITH A WYE CONNECTION. ADD ADDITIONAL PIPING @ 1.0% AS NEEDED PER DEVELOPERS PROJECT MANAGER. PROVIDE CLEANOUT AT ALL POINTS OF CONNECTION TO DRAIN LINE.
 10. ALL DRAIN LINES SHALL CONNECT TO THE ISOLATOR ROW OF THE PRIVATE ONSITE DETENTION SYSTEMS (SHOWN HERE FOR REFERENCE ONLY) SEE DRAINAGE PLAN FOR ADDITIONAL NOTES AND DETAILS.
 11. ALL CONC PADS @ REAR & SIDE YARDS SHALL PROVIDE A 6" STEP INTO THE RESIDENCE & SLOPE AWAY FROM THE BUILDING @ 2%.



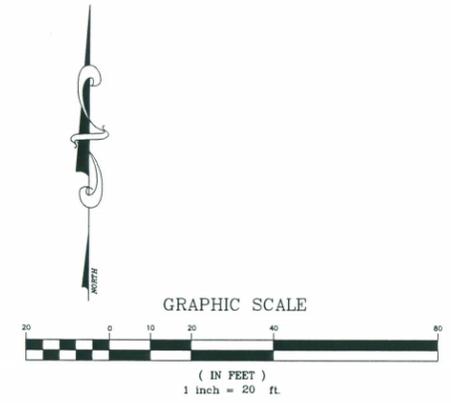
1170 Pacific Street Son Luis Obispo, CA 93405 PH. 805.786.4802	
Tract 3059: Avocado Ranch III Residential Development	
Preliminary Grading & Drainage Plan	
DESIGN/DRAWN	COUNTY PLAN CHECK
KTD/MCJ	APPROVED FOR COUNTY REQUIREMENTS
JOB NO.	DEVELOPMENT SERVICES ENGINEER
2013-32	DATE
COUNTY W.O. NO.	DATE
201R110628	KEVIN DEVANEY R.C.E. #38053 EXP 3/31/15
CALIFORNIA COORDINATES	SHEET # 1
N 590	OF # 4

E 1216



LEGEND:

TREES		AC PAVEMENT CONCRETE GRASS OVER HOPE GRASSROAD PAVERS GRASSES AND SEDGES CAREX BUCHANANII LEATHER LEAF SEDGE NASSELLA TENUISSIMA MEXICAN FEATHER GRASS
CERCIS OCCIDENTALIS WESTERN REDBUD	SHRUBS & HEDGES - MEDIUM/SMALL CARPENTERIA CALIFORNICA HIBBERTIA CUNEIFORMIS HYPERICUM X MOSERIANUM PEROVSKIA ATRIPLICIFOLIA PHORMIUM TENAX 'CHOCOLATE' ROMNEYA COULTERI SOLLYA HETEROPHYLLA TRICHOSTEMA LANATUM WESTRINGIA FRUTICOSA BUSH ANEMONE HIBBERTIA GOLD FLOWER RUSSIAN SAGE FLAX MATILIA POPPY AUSTRALIAN BLUEBELL CREEPER WOOLLY BLUE CURLS COAST ROSEMARY	



PRELIMINARY LANDSCAPE PLAN

REVISIONS

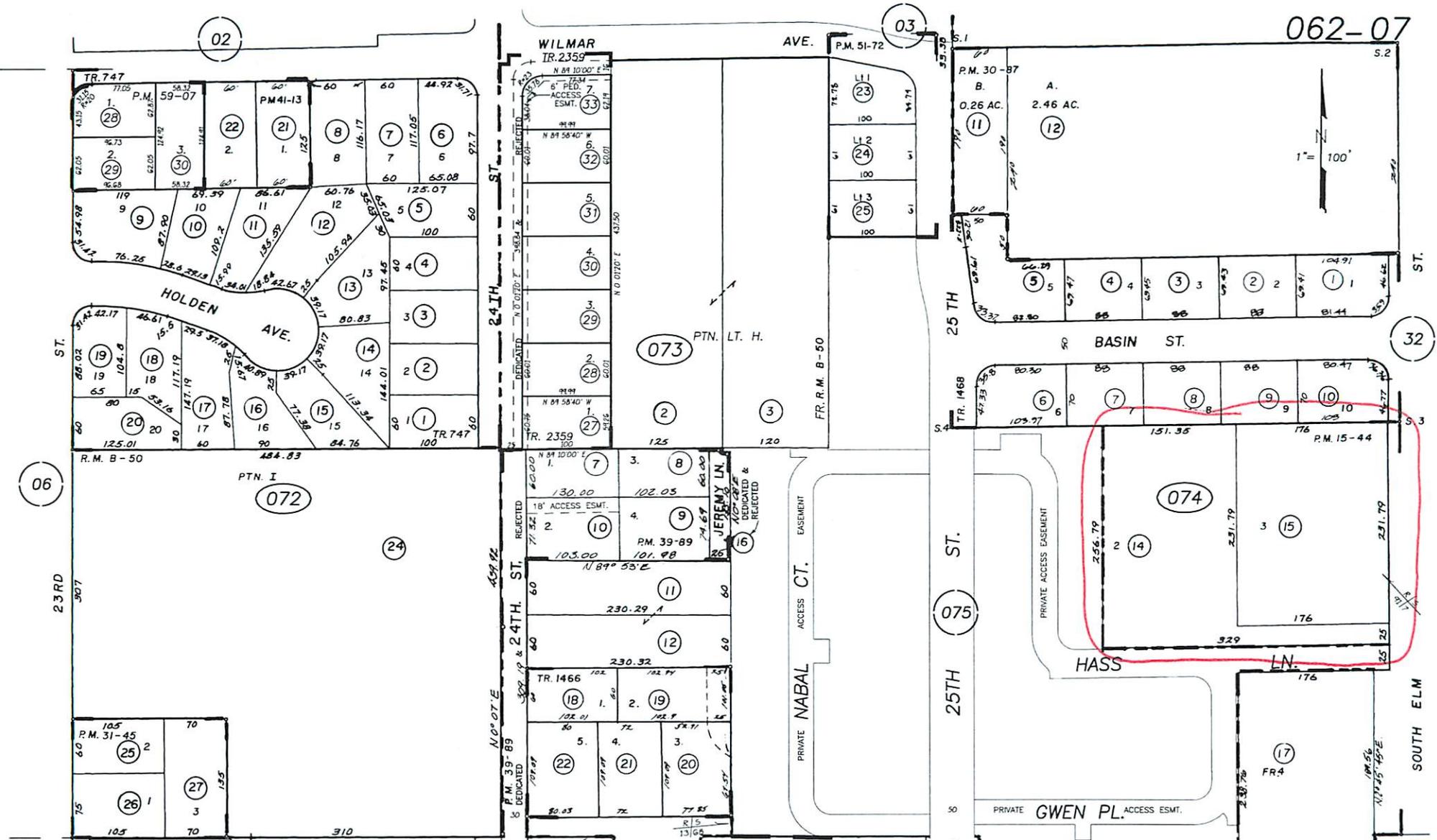
DESCRIPTION:
Preliminary Landscape Plan

PROJECT:
AVOCADO RANCH III
RESIDENTIAL DEVELOPMENT
OCEANO, CALIFORNIA

TAKKEN DEVELOPMENT COMPANY
668 MARSH STREET
SAN LUIS OBISPO, CA 93401
TEL: 805.544.3570

DATE: 27 DEC 2013
DRAWN BY: MJ
CHECKED BY: KTD
JOB NO: 2013-32

SHEET:
L1

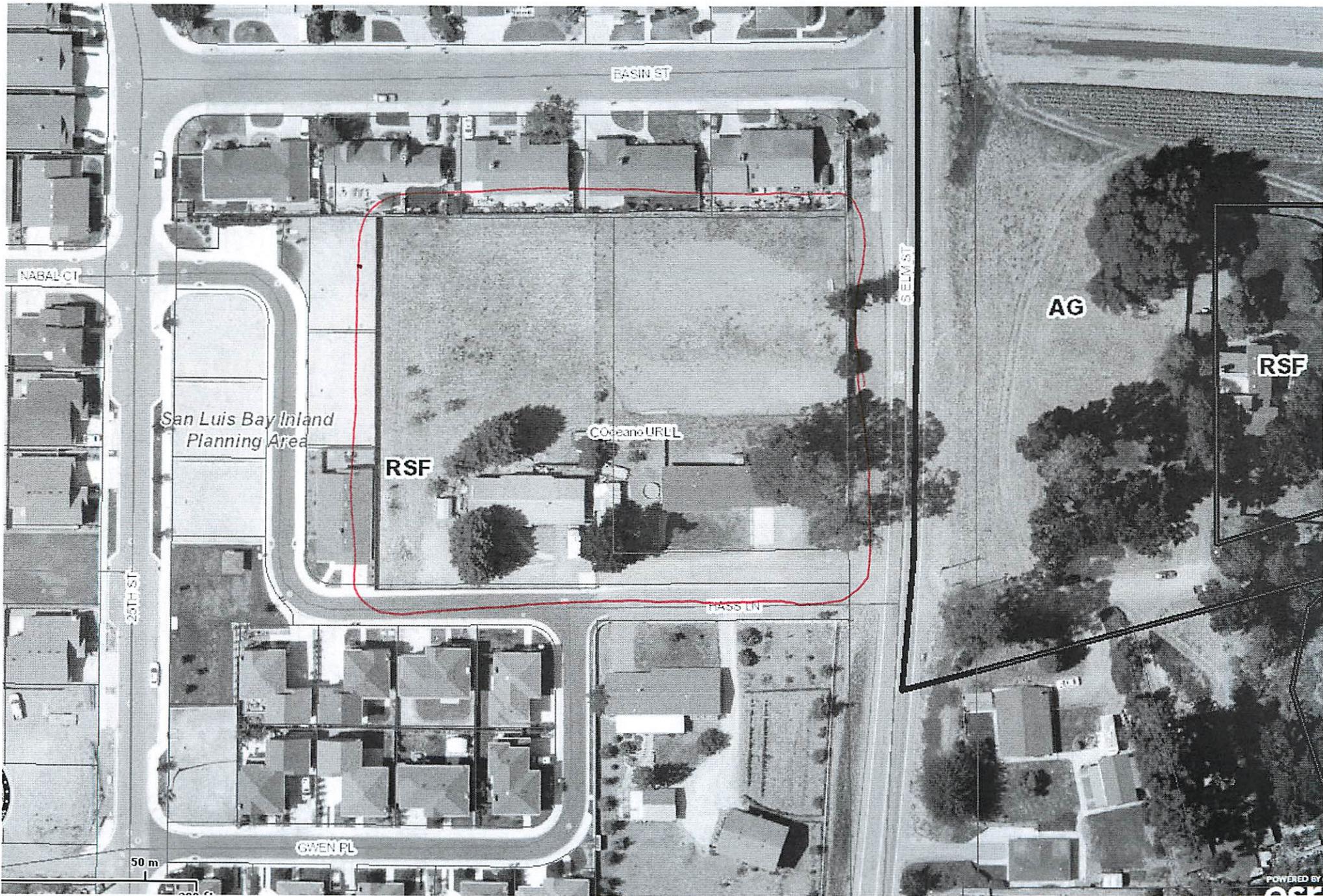


REVISIONS	I.S.	DATE
	04-262	12-30-03
	04-262	04-04-05
	08-055	05-01-07
	12-174	03-15-12

50' 0 100' 200'

GB 08-10-01 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

TRACT NO. 2359, R.M. Bk. 19, Pg. 69.
 TRACT NO. 1468, R.M. Bk. 14, Pg. 23.
 TRACT NO. 1466, R.M. Bk. 14, Pg. 60.
 TRACT NO. 747, R.M. Bk. 10, Pg. 83.
 E.L. WARNER'S SUB., R.M. Bk. B, Pg. 50.



BASIN ST

NABAL CT

San Luis Bay Inland
Planning Area

RSF

Cobeano UFRLL

GWEN PL

SELVA ST

AG

RSF

50 m

POWERED BY
OSK



Parcel Summary Report For Parcel # 062-074-014

1/28/2014
1:28:52PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN MAL-HUN
 120 1/2 N HALCYON ARROYO GRANDE CA 93420-
OWN MAL-HUN A PTP

Address Information

Status Address
 01560 SO ELM ST OCNO

Lot Information:

<u>Tract / Townshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
CO74-	108	0002	Oceano	San Luis Bay	RSF	AR		Y		

Parcel Information

Status Description
Active TN OCEANO WARNERS SB PM 15/44 PAR 2

Notes

Tax Districts

LUCIA MAR
SAN LUIS OBISPO JT(27,40)
ARROYO GRANDE
COASTAL SAN LUIS
COUNTY-ZONE NO. 03
SAN LUIS
NO. 04
SOUTH SAN LUIS OBISPO COUNTY



Parcel Summary Report For Parcel # 062-074-014

1/28/2014
1:28:52PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

OCEANO
AREA NO. 21

Case Information

<u>Case Number:</u>	<u>Case Status:</u>	
86535	FNL	Primary Parcel

Description:

INSTALL PREFAB FIREPLACE IN SFD

A1061	FNL	Primary Parcel
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Description:

REROOF WITHOUT SHEATHING

SUB2013-00042	REC	Primary Parcel
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Description:

PLANNED UNIT DEVELOPMENT - CUP & TENTATIVE TRACT MAP - 13 LOTS TRACT 3059



Parcel Summary Report For Parcel # 062-074-015

1/28/2014
1:29:07PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN MAL HUN A GEN PTP
120 N HALCYON ARROYO GRANDE CA 93420-2523

Address Information

<u>Status</u>	<u>Address</u>
A	01600 SO ELM ST OCNO

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
CO74-	108	0003	Oceano	San Luis Bay	RSF	AR		Y	VP	E921865C

Parcel Information

<u>Status</u>	<u>Description</u>
Active	PM 15/44 PAR 3

Notes

Tax Districts

LUCIA MAR
SAN LUIS OBISPO JT(27,40)
ARROYO GRANDE
COASTAL SAN LUIS
COUNTY-ZONE NO. 03
SAN LUIS
NO. 04
SOUTH SAN LUIS OBISPO COUNTY
OCEANO
AREA NO. 21



Parcel Summary Report For Parcel # 062-074-015

1/28/2014
1:29:07PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

A3801 FNL Primary Parcel

Description:

CONVRT PTN OF GARAGE TO WORKSHOP

PMT2002-24738 EXP Primary Parcel

Description:

CONVRT PTN OF GARAGE TO OFFICE

PRE2013-00021 MET Primary Parcel

Description:

NEW SINGLE FAMILY HOMES

SUB2004-00309 PTX Primary Parcel

Description:

TENTATIVE PARCEL MAP TO SUBDIVIDE AN EXISTING 1.0 ACRE PARCEL INTO THREE PARCELS RANGING FROM 13,549 TO 13,651 SQUARE FEET EACH, FOR THE PURPOSE OF SALE AND/OR DEVELOPMENT. THE PROJECT INCLUDES OFF-SITE ROAD IMPROVEMENTS. THE PROJECT WILL RESULT IN THE DISTURBANCE OF THE ENTIRE 1 ACRE PARCEL

SUB2013-00042 REC Related Parcel

Description:

PLANNED UNIT DEVELOPMENT - CUP & TENTATIVE TRACT MAP - 13 LOTS TRACT 3059