



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
MARVIN A. ROSE, INTERIM DIRECTOR

THIS IS A NEW PROJECT REFERRAL

DATE: 2/15/2018
TO: 5th District Legislative Assistant, Agricultural Commissioner, CAL FIRE /
County fire*, Public Works*, Sheriff, Cal Trans
FROM: Brandi Cummings (805-781-1006 or bcummings@co.slo.ca.us)
Development Review Team / Current & Environmental Planning

PROJECT NUMBER & NAME: DRC2017-00116 BURGETT

PROJECT DESCRIPTION: Proposed Minor Use Permit for Commercial Cannabis Cultivation, including 2 greenhouses (Greenhouse #1 = 786 sf, Greenhouse #2 = 1041 sf) and a Growhouse of 1264 sf. Project is located at 8155 Carrisa Hwy in Santa Margarita.

APN(S): 072-311-015

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART I: IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- ☐ YES (Please go on to PART II.)
- ☐ NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II: ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- ☐ YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- ☐ NO (Please go on to PART III.)

PART III: INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date	Name	Phone
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GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- ☐ Emergency Permit ☐ Tree Permit ☐ Minor Use Permit
☒ Conditional Use Permit/Development Plan ☐ Plot Plan
☐ Curb, Gutter & Sidewalk Waiver ☐ Other ☐ Site Plan
☐ Surface Mining/Reclamation Plan ☐ Zoning Clearance
☐ Amendment to approved land use permit ☐ Variance

DRC2017-00116

BURGETT RICHARD

MINOR USE PERMIT

CANNABIS ACTIVITIES: 3-INDOOR

CULTIVATION OPERATIONS (3,057 SF)

CAR/ CAR

BNC

AG

APPLICANT INFORMATION Check box for contact

person assigned to this project

☐ Landowner Name Richard and Pamela Burgett Daytime Phone 550-1486
 Mailing Address 8155 Carrisa Hwy 58, Santa Margarita Zip Code 93453
 Email Address: Richieburger@gmail.com

☒ Applicant Name Pamela Burgett Daytime Phone 550-1486
 Mailing Address 8155 Carrisa Hwy 58, Santa Margarita Zip Code 93453
 Email Address: Richieburger@gmail.com

☐ Agent Name _____ Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

PROPERTY INFORMATION

Total Size of Site: 40.4 acres Assessor Parcel Number(s): 072-311-015

Legal Description: PM 23/87 Lot 30

Address of the project (if known): 8155 Carrisa Hwy 58, Santa Margarita

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: State Highway 58, just East of Bitterwater Rd.

Describe current uses, existing structures, and other improvements and vegetation on the property:

Single Family Residence, mobile home, greenhouses, outbuildings, trees

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Commercial cannabis cultivation
Greenhouse #1 - 786 sqft Greenhouse #2 - 1041 sqft Brownhouse 1264 sqft

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Pamela Burgett Date 1-22-18

FOR STAFF USE ONLY



LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: ☒ Commercial ☐ Industrial ☐ Residential ☐ Recreational ☐ Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: locked gate @ 8155 Hwy 58

Surrounding parcel ownership: Do you own adjacent property? ☐ Yes ☒ No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: AG zoning - farming South: AG zoning - farming and grazing
East: AG zoning - SFR - grazing West: AG zoning - SFR - farming and grazing

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 3091 sq. feet .03 % Landscaping: _____ sq. feet _____ %

Paving: 0 sq. feet _____ % Other (specify) _____

Total area of all paving and structures: 3091 ☒ sq. feet ☐ acres

Total area of grading or removal of ground cover: 0 ☐ sq. feet ☐ acres

Number of parking spaces proposed: 6 Height of tallest structure: 18 feet 9 inches

Number of trees to be removed: 0 Type: _____

Setbacks: Front 340 ft Right 370 ft Left 130 ft Back 1574 ft

Proposed water source: ☒ On-site well ☐ Shared well ☐ Other _____

☐ Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

Proposed sewage disposal: ☒ Individual on-site system ☐ Other _____

☐ Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire

For commercial/industrial projects answer the following:

Total outdoor use area: 0 ☐ sq. feet ☐ acres

Total floor area of all structures including upper stories: 3091 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____ sf

Total of area of the lot(s) minus building footprint and parking spaces: _____ sf



File No _____

Water Supply Information

1. What type of water supply is proposed?
☒ Individual well ☐ Shared well ☐ Community water system
2. What is the proposed use of the water?
☒ Residential ☒ Agricultural - Explain cannabis cultivation
☐ Commercial/Office - Explain _____
☐ Industrial - Explain _____
3. What is the expected daily water demand associated with the project? 112 gallons per day
4. How many service connections will be required? —
5. Do operable water facilities exist on the site?
☒ Yes ☐ No If yes, please describe: 340 foot deep well - Filipponi-Thompson
6. Has there been a sustained yield test on proposed or existing wells?
☐ Yes ☐ No If yes, please attach. Drilling 1981
7. Does water meet the Health Agency's quality requirements?
Bacteriological? ☒ Yes ☐ No
Chemical? ☐ Yes ☐ No awaiting results
Physical ☐ Yes ☐ No awaiting results
Water analysis report submitted? ☒ Yes ☐ No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
☒ Well Driller's Letter ☐ Water Quality Analysis (☐ OK or ☐ Problems)
☐ Will Serve Letter ☐ Pump Test _____ Hours / 30 GPM
☐ Surrounding Well Logs ☐ Hydrologic Study ☐ Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
☒ Yes ☐ No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? 700 feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
☐ Yes ☒ No
4. Has a piezometer test been completed?
☐ Yes ☒ No If 'Yes', please attach.
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
☐ Yes ☒ No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? ☐ Yes ☐ No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ GPD
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? ☐ Yes ☐ No

Solid Waste Information

1. What type of solid waste will be generated by the project?
☐ Domestic ☐ Industrial ☐ Agricultural ☐ Other, please explain: _____
2. Name of Solid Waste Disposal Company: _____
3. Where is the waste disposal storage in relation to buildings? _____
4. Does your project design include an area for collecting recyclable materials and/or composting materials? ☐ Yes ☐ No

Community Service Information

1. Name of School District: Atascadero Unified
2. Location of nearest police station: Templeton
3. Location of nearest fire station: Cal Fire Station #41 - 7 miles Station #42 - 8 miles
4. Location of nearest public transit stop: NO Public transit
5. Are services (grocery/other shopping) within walking distance (1/2 mile or closer) of the project? ☐ Yes ☒ No

Historic and Archeological Information

1. Please describe the historic use of the property: Agricultural
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? ☐ Yes ☒ No
If yes, please describe: _____
3. Has an archaeological surface survey been done for the project site? ☐ Yes ☒ No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: NOT OPEN TO PUBLIC Hours of Operation: _____
2. How many people will this project employ? 0
3. Will employees work in shifts? ☐ Yes ☐ No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
☒ Yes ☐ No If yes, please explain: ODOR, occasionally
5. Will this project increase the noise level in the immediate vicinity? ☐ Yes ☒ No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail:
NO INDUSTRIAL WASTE - Fertilizer and Pesticide Containers
7. Will hazardous products be used or stored on-site? ☐ Yes ☒ No
If yes, please describe in detail: _____
8. Has a traffic study been prepared? ☐ Yes ☒ No If yes, please attach a copy.
9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____

10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees ☐ Yes ☒ No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
☐ Yes ☒ No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? ☐ Yes ☒ No
2. If yes, is the site currently under land conservation contract? ☐ Yes ☒ No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____
land is currently vacant

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan): _____
2. Will the development occur in phases? ☐ Yes ☒ No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? ☒ Yes ☐ No If yes, explain: We may want to build another greenhouse at a later date
4. Are there any proposed or existing deed restrictions? ☐ Yes ☒ No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: self actuating vent openers, All lighting has been replaced with digital equipment
- *The county's Building Energy Efficient Structures (BEEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
Should not be any impacts associated with the project
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? ☐ Yes ☒ No
If yes, please list: but we are in a kit fox mitigation area

3. Are you aware of any previous environmental determinations for all or portions of this property?

☐ Yes ☒ No

If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): _____

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned to the project)

- ① sellers permit from Cal State Bd of Equalization
- ② cannabis tax permit from Cal Dept of Tax and Fee Admin
- ③ California Bureau of Cannabis Control License
- ④ California Dept of Public Health License



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
CANNABIS APPLICATION SUPPLEMENT

PLN-2018
12/8/2017

The following information is required in addition to the Land Use Permit Application.

Cannabis Activities Proposed

- | | | |
|---|-------------------------------------|---|
| <input checked="" type="checkbox"/> Cultivation | <input type="checkbox"/> Nursery | <input type="checkbox"/> Manufacturing Facility |
| <input type="checkbox"/> Testing Facility | <input type="checkbox"/> Dispensary | <input type="checkbox"/> Distribution Facility |

For Cultivation and Nurseries ONLY

Approved Cooperative/Collective Registration number. *Note: If you do not hold an approved cooperative/collective registration, you cannot apply for cultivation until 2019.*

Approved registration number: CCM2016- 00237

What is the applicant on the approved registration? *Note: The applicant name on the registration must match the applicant name on the land use permit.*

Name of applicant: Pamela Burgett

Are you planning on cultivating on the same site that a registration was approved for?

- ☒ Yes ☐ No

What type of State cultivation license are you seeking?

- | | | | |
|---|--|---------------------------------|----------------------------------|
| <input checked="" type="checkbox"/> Type 1 | <input type="checkbox"/> Type 2 | <input type="checkbox"/> Type 3 | <input type="checkbox"/> Type 4 |
| <input type="checkbox"/> Type 5 | <input type="checkbox"/> Microbusiness | <input type="checkbox"/> Indoor | <input type="checkbox"/> Outdoor |
| <input checked="" type="checkbox"/> Mixed-light | | | |

Designate the total square footage of your cultivation canopy area(s). This is not necessarily the maximum canopy size allowed by the tier of license for which you are applying, but the amount of canopy area you intend to produce. If you intend to have multiple canopy area locations, include only the total square footage of the total **canopy**. 1390 square feet

Check one or more of the following that apply and attach a detailed diagram of your designated canopy area. Include specific dimensions, in feet and inches, in the diagram. If you have only a single canopy area, clearly indicate that. If you are designating multiple canopy areas, clearly identify the square footage and dimensions of each area and how it is separated from other canopy areas. Note that if you are designating multiple canopy areas you must separate each area by a physical boundary such as an interior wall. Vertically stacked canopy areas must be identified as such in the detailed diagram submitted by applicants.

Green house #1	466 sq ft	Growhouse	growroom 153
Green house #2	771 sq ft		clone room 142
			mother room 75

I have designated the specific area and dimensions of my newly designated canopy area(s): 1390 sq ft

CANNABIS APPLICATION SUPPLEMENT

- ☒ On my floor plan submitted with the application
☐ On an additional document submitted with my application

Record your estimates of electrical usage in kilowatt-hours (kWh). To determine how many kWh a piece of equipment uses, take the following steps:

- Determine the wattage of the device by checking manufacturer specifications
- Multiply this number by the number of hours each month the device will be in use to determine watt-hours.
- Divide each month's watt-hours by 1,000 to determine kWh. Round to three decimal places.
- Repeat this for each piece of equipment and the total amounts for each month.
- Estimates should assume the business is in full production for each month.

Describe all sources of electrical power and the total annual kWh expected to be drawn from each. For example, if the operation uses on-site power generation from a source such as solar panels, document the amount of power you expect to use from that source in addition to any other sources.

Source or utility name	Expected kWh drawn annually
PG+E	72,460
Total Annual kWh:	72,460

Clearly identify the measurement unit you are using to estimate or report your water usage. If you are using multiple units, you may use additional columns to record that information. If you are using reclaimed water, identify that as a source. If you are utilizing more sources of water than may be included on this form, you may include that information on a separate page submitted with this application.

Estimate the total water used in the production of marijuana by month. If recording estimates for multiple sources, estimate these amounts separately.

Source	well	Growhouse	Greenhouse #1	Greenhouse #2
Month and Year				
1	2018	600 gallons	—	—
2		600	—	—
3		600	750	1500
4		600	1500	3000
5		600	1500	3000
6		600	750	1500
7		600	1500	3000
8		600	1500	3000
9		600	750	1500
10		600	1500	3000
11		600	1500	3000
12		600	—	—
Totals		7200 gallons	11,250 gallons	22,500 gallons
40,950 gallons per year				

CANNABIS APPLICATION SUPPLEMENT

Do you plan on using pesticides?

☒ Yes ☐ No

List of pesticides anticipated to be used:

AZAMAX Botanical Insecticide, Miticide and Nematicide - Azadirachtin 2%
CV80-D insecticide spray - Pyrethrins .5%

For Manufacturing ONLY

What type of State manufacturing license are you seeking? *Note: Volatile manufacturing is prohibited.*

☐ Type 6 ☐ Type 7 ☐ Type N ☐ Type P
☐ Microbusiness

What type of products do you plan on manufacturing?

☐ Oils ☐ Edibles ☐ Topicals ☐ Other _____

Will the facility be utilizing a closed-loop extraction system?

☐ Yes ☐ No

(If extracting) What types of extraction will you be performing?

☐ Butane ☐ Propane ☐ Hexane ☐ Carbon Dioxide
☐ Ethanol ☐ Mechanical ☐ None
☐ Other _____

For Distribution ONLY

What type of State distribution license are you seeking?

☐ Type 11 ☐ Type 11 – Transport Only

Will you be operating a storage-only business?

☐ Yes ☐ No

How many vehicles do you anticipate transporting/distributing product?

☐ 1-5 ☐ 6-10 ☐ 11+ ☐ N/A Storage Only/Other

CANNABIS APPLICATION SUPPLEMENT

For Dispensaries ONLY

What type of State dispensary license are you seeking? *Note: Dispensaries are not allowed to have storefronts open to the public.*

☐ Type 9 – non-storefront dispensary
 ☐ Type 10
 ☐ Microbusiness

Will you be delivering to other jurisdictions?

☐ Yes
 ☐ No

How many vehicles do you anticipate delivering product?

☐ 1-5
 ☐ 6-10
 ☐ 11+
 ☐ N/A Storage Only/Other

How many deliveries per day do you anticipate delivering product?

☐ <10
 ☐ 11-50
 ☐ 51-100
 ☐ >100
 ☐ N/A Storage Only/Other

CANNABIS ACTIVITIES LAND USE PERMIT APPLICATION

Richard W. and Pamela S. Burgett

8155 Carrisa Highway 58

Santa Margarita, CA 93453

805-550-1486

Primitive Farms is a Family-owned and operated Cannabis Cultivation site located on 40.4 AG zoned acres in Eastern San Luis Obispo County. The owners, Richard and Pamela Burgett, reside on the property. The facility is applying for a California "Special Cottage - Mixed Light Tier 2" license. Total canopy area is 1390 sq. feet.

The property is accessed from paved State Highway 58 by a gravel all-weather driveway. As the operation is small in size (no employees), no traffic impact from the site is anticipated. The neighborhood is agriculturally zoned 40+ acre parcels that are currently grazed, farmed, or vacant. There are homes to the East and West of the site. Neighboring residences are a good distance from the property line, and have no objection to the project. The parcel is fenced, with a locked gate at the entrance. Trees line the North and East property line, blocking the view of the buildings from Highway 58. Parking is currently at the residence.

The business will operate out of 3 existing structures (2 greenhouses and a growhouse). Cannabis production starts in the growhouse where "Mother" plants are grown under lights. "Cuttings" are taken and placed in propagation trays to sprout in the Clone room. The sprouted clones are placed in progressively larger pots until they are ready to begin the flowering stage. This process takes 6 to 8 weeks. At this point, the plants are either moved to the greenhouses or placed in the growroom to finish.

Mature Cannabis Plants are cut and hung in the drying room adjacent to Greenhouse #1. Final trimming and packaging is done in the growhouse. You can expect 3 harvests a year from a properly scheduled greenhouse in this area.

The growhouse is a 40 foot x 35 foot Arch-style Metal Building. It was constructed in 1997, and houses the early growing areas as well as a trimming area, secure product storage, and a bathroom. It has a cement floor and sheetrock inner walls. The entrance to the building is well lit and securely locked. The area around the growhouse is fenced with a locking entrance gate. A new septic system is being installed to collect any waste water from the building. Run-off water from the plants is avoided by the use of containers. The runoff created from the building is historic and is not going to change. The trees that surround the building are landscaped to absorb any water before it reaches the swale west of the building.

Greenhouse #1 is a 12 foot x 40 foot building. It is wood construction with a concrete floor. The roof and sides are polycarbonate sheeting. Temperatures are controlled by evaporative coolers and fans. All plants are in containers to avoid runoff. Excess water from the evaporative coolers is piped to the septic system. An adjacent 8 foot x 40 foot cargo container is used as a drying room. Access to the greenhouse is thru the locked door of the cargo container.

Greenhouse #2 is a 20 feet x 40 feet building of metal construction with a gravel floor. The roof and sides are polycarbonate sheeting. This greenhouse is equipped with Eight (8) Solistek digital lights, in addition to the evaporative coolers and fans. All electrical work was performed by Johnson Electric and Controls, Joshua Johnson, owner. All plants are in containers

to avoid runoff. Excess water from the evaporative coolers is piped to the septic system. Access to the greenhouse is thru a steel locked door.

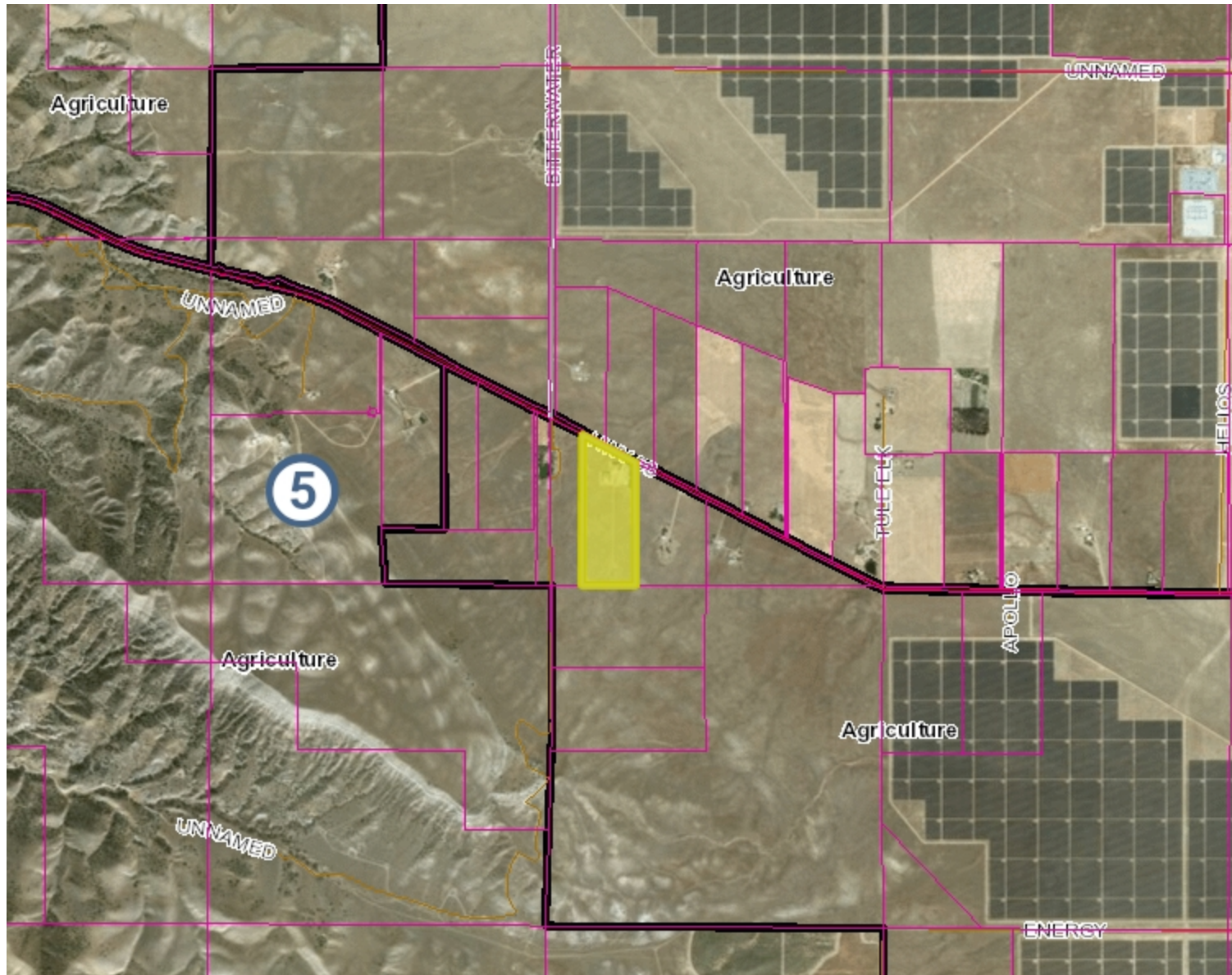
Water for the project is from the existing well. It was drilled by Filipponi and Thompson in 1981. The 340 foot deep well can produce 300 gallons per minute. Water quality tests have been conducted. Results are attached. As the average daily water demand is 112 gallons per day, no changes to the existing system are anticipated.

Pesticides and fertilizers that may be used include:
Azamax Botanical Insecticide - Azadirachtin 2%
CV-80-D Insecticide spray - Pyrethrins .5%
General Hydroponics
 Flora-Grow 2-1-6
 Micro 5-0-1
 Bloom 0-5-4
Regalia Biofungicide - Extract of *Reynoutria sachalinensis* 5%

There is currently no signage, and none is planned. The address is clearly marked at the drive.

For any additional information, please contact Pamela Burgett @ 805-550-1486 Richieburger@gmail.com

Interactive Data Viewer



Legend

- SLO County Parcels
- Roads**
 - CalTrans
 - Maintained by SLO CO
 - Private Maintenance
 - Federal or State Maintenance
- Community Advisory Groups**
 - Community Advisory Group Boundary
 - Cayucos Citizens Advisory Council Subarea
 - Creston Advisory Body Sub Areas
- Supervisor Districts
- Land Use Outlines

-6,018.65 0 3,009.33 6,018.65 Feet 1: 36,112

WGS_1984_Web_Mercator_Auxiliary_Sphere
 © County of San Luis Obispo Planning and Building Department

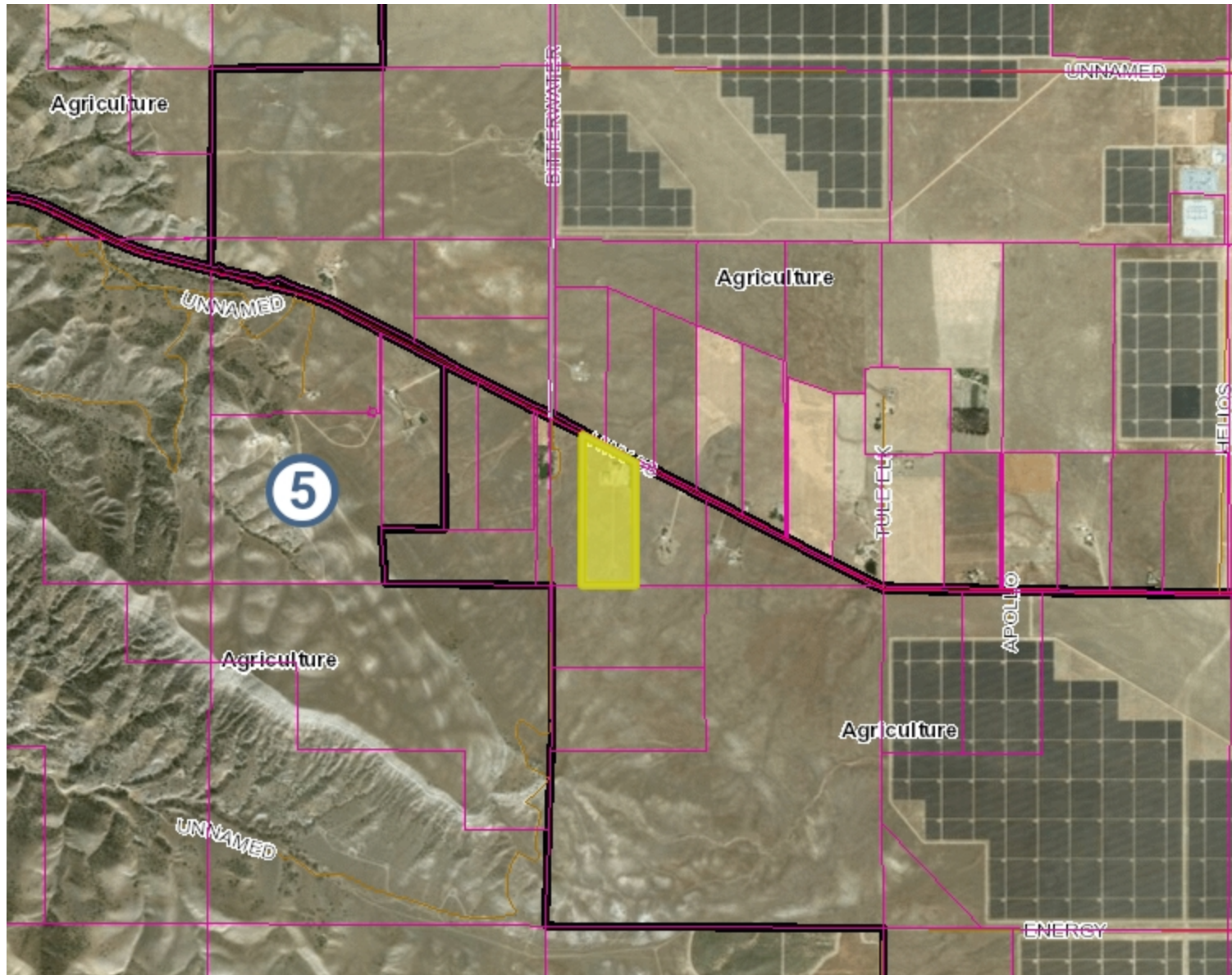


The County of San Luis Obispo does not assume liability for any damages caused by errors or omissions in the data and makes no warranty of any kind, express or implied, that these data are accurate and reliable.

Map for Reference Purposes Only



Interactive Data Viewer



Legend

- SLO County Parcels
- Roads**
 - CalTrans
 - Maintained by SLO CO
 - Private Maintenance
 - Federal or State Maintenance
- Community Advisory Groups**
 - Community Advisory Group Boundary
 - Cayucos Citizens Advisory Council Subarea
 - Creston Advisory Body Sub Areas
- Supervisor Districts
- Land Use Outlines

-6,018.65 0 3,009.33 6,018.65 Feet 1: 36,112

WGS_1984_Web_Mercator_Auxiliary_Sphere
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Map for Reference Purposes Only





- 752.33 0 376.17 752.33 Feet 1: 4,514

WGS_1984_Web_Mercator_Auxiliary_Sphere
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Map for Reference Purposes Only

- Legend**
- SLO County Parcels
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 - Private Maintenance
 - Federal or State Maintenance

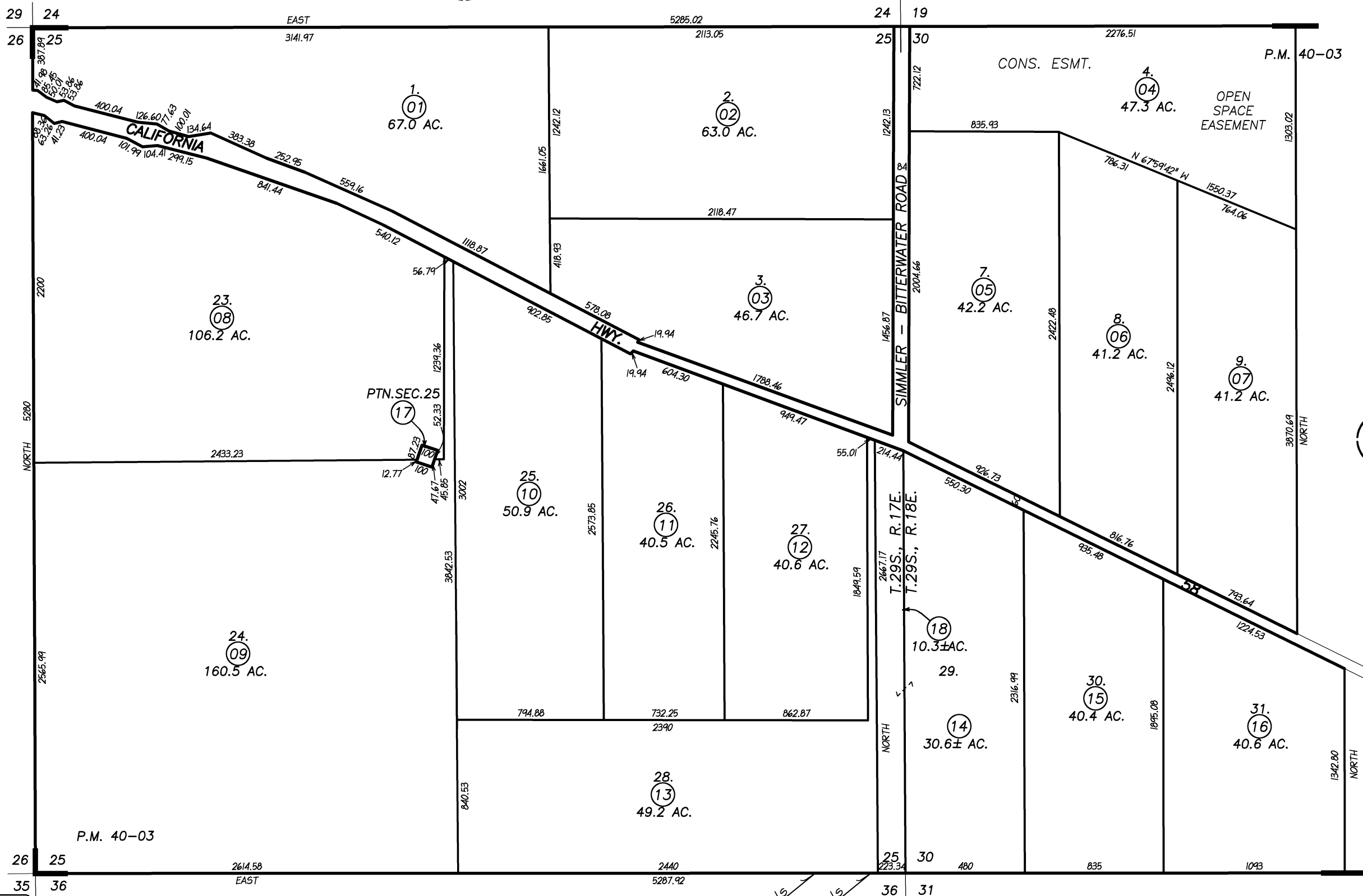




71
16

05

072-311





Parcel Summary Report For Parcel # 072-311-015

2/15/2018
2:43:00PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

<u>Role</u>	<u>Name and Address</u>
-------------	-------------------------

OWN	BURGETT RICHARD W 8155 CARISSA HWY SANTA MARGARITA CA 93453-
OWN	BURGETT PAMELA S
OWN	BURGETT RICHARD & PAMELA FAMILY TRU

Address Information

<u>Status</u>	<u>Address</u>
P	08155 CARRISA HY CAR

Lot Information:

<u>Tract / Twtnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
CO75-	301	0030	Carrizo	Carrizo Planni	AG			Y		

Parcel Information

<u>Status</u>	<u>Description</u>
Active	PM 23/87 LT 30

Notes

Tax Districts

ATASCADERO
SAN LUIS OBISPO JT(27,40)
NO. 05
AREA NO. 21



Parcel Summary Report For Parcel # 072-311-015

2/15/2018
2:43:01PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

A8468 FNL Primary Parcel

Description:

AG ELECTRICAL METER

C3329 FNL Primary Parcel

Description:

SINGLE WIDE MOBILE HOME WITH FOUNDATION

CCM2016-00237 MON Primary Parcel

Description:

02-02-18 HV - CCM USED FOR DRC2017-00116

COD2016-00575 REC Primary Parcel

Description:

3 UNPERMITTED GREENHOUSES FOR CCM

DRC2017-00116 REC Primary Parcel

Description:

CANNABIS ACTIVITIES: 3-INDOOR CULTIVATION OPERATIONS (3,057 SF)

PMT2002-10403 WIT Primary Parcel

Description:

FOUNDATION FOR MOBILE HOME

PMT2017-01287 RVW Primary Parcel

Description:

AS BUILT: GREENHOUSE #1 (752 SF) W/ELECTRICAL **REAL TIME BILLING**

PMT2017-01289 RVW Primary Parcel

Description:

AS BUILT: GREENHOUSE #2 (1,041 SF) W/ELECTRICAL **REAL TIME BILLING**

PMT2017-01290 RVW Primary Parcel

Description:

AS BUILT GROWHOUSE & PROCESSING FACILITY (1264 SF) W/NEW SEPTIC SYSTEM **REAL TIME BILLING**

PRE2017-00034 MET Primary Parcel

Description:

CANNABIS CULTIVATION AND PROCESSING IN EXISTING GREENHOUSES

D980097P CMP Related Parcel

Description:

FIBEROPTIC NETWORK

ARCHITECTURAL & STRUCTURAL PLANS FOR
8155 CARRISA, HWY 58,
SANTA MARGARITA, CA 93453

CODE ANALYSIS

Consent of Owner-C
Written consent of the land owner or proof of ownership is required prior to issuance of permit.

School District Clearance-I Not Met 10/27/2017 *Owner must provide County School Fee Form which is to be taken to the School District at the bottom of the form and returned with the receipt signed prior to the permit being issued.*

Verify Contractor's License-I Not Met 10/27/2017

Fire Plan Review-C Not Met 10/27/2017 *Contact district for review of fire safety plan. Cal Fire is located at 650 N Santa Rosa St (Highway 1) and may be contacted by calling 343-4244. Please allow a minimum of 4 weeks for Fire Plan Review.*

PLEASE NOTE: Fire Plan Requirements must be added to the site plan prior to resubmitting plan check corrections.

Fire Agency Insp Req-F Not Met 10/27/2017
Fire Agency Must Inspect and Sign-Off on all Access, Address, Devices and Systems Prior to Final Inspection

Owner/Builder Verification-I Not Met 10/27/2017
Owner must read the Owner/Builder Notice, complete and submit the Owner/Builder Verification Form PRIOR to permit being issued. UNLESS the permit is being issued to a licensed contractor.

D.O.S. / Safety Form-C Not Met 10/27/2017
Sign and date form.

Toxic Waste Vrf Forms-C Not Met 10/27/2017
Sign and date form.

Misc. Hold-Foundation-S Not Met 12/11/2017
excavate footings in 3 locations to verify depth and width

Misc. Hold-Foundation-S Not Met 12/11/2017
r meter scan to verify rebar placement

Misc. Hold-Framing-R Not Met 12/11/2017
provide welding inspection report

Misc. Hold-Framing-R Not Met 12/11/2017
expose structural details are required by inspector

Misc. Hold-Final-F Not Met 12/11/2017
record deed restriction

Misc. Hold-Final-F Not Met 12/11/2017
engineer of record to certify that the construction is consistent with the plans and the applicable codes.

Misc. Hold-Framing-R Not Met 12/11/2017
open all electrical for inspection

Misc. Hold-Final-F Not Met
AFC/ protect all asbuilt electrical

CWMP-Recycling Review-I Not Met 10/24/2017
A Construction Waste Management Plan will need to be submitted for your project. 75% of your construction waste will need to be recycled at an IWMMA approved facility or provide the 2013 detailed Form for recycling.

CWMP Recycle Compliance-F Not Met 10/24/2017
PRIOR to the final building inspection, the permittee must provide documentation to show compliance with the 75% recycling requirement. To avoid delaying Final Approval, submit ORIGINAL waste handling and recycling receipts to the Environmental Spec. Coordinator, Barry Tolle at least 7 working days prior to requesting a Final Inspection. You can contact Barry Tolle at (805)781-5628 or fax receipts (include Permit Number) to 788-2414. Failure to provide all receipts or to achieve the 75% recycling requirement will prevent the finaling of your project.
You can email the receipts to Barry Tolle btolle@co.slo.ca.us
Please be aware that they will need to be readable and clear otherwise a printed copy will be needed.

Fire Sprinkler Pmt Applicatn-C Not Met 10/24/2017
A separate permit application with plans, cut sheets and hydraulic calculations for a NFPA Fire Sprinkler System for this structure must be submitted to the SLO County Building Division and APPROVED prior to issuance of this application. For Templeton, Cambria and San Miguel the fire sprinklers plan shall be submitted to those agencies.
Please allow 1-2 weeks plan check time for residential sprinkler systems and 2-4 four weeks for commercial systems.

Setback Survey - S Not Met 10/24/2017
The structure is located within 5' of the minimum required setback from the property line. At foundation inspection, provide certification from a licensed land surveyor or civil engineer that the structure meets the setback requirements if lot line monuments are not available.

Floor Plan for Assessor-C Met 10/27/2017
The scale copy shall be in sufficient detail to allow the assessor to determine the square footage of the building and, in the case of a residential building, the intended use of each room. Any change orders made during the construction process, which require the submittal of a plan set by the property owner, require a copy to be provided to the assessor.

GENERAL CONSTRUCTION NOTES

- ALL WORK SHALL CONFORM WITH THE:
2013 CBC (2012 IBC AND CALIFORNIA AMENDMENTS)
2013 CEC (2011 NEC AND CALIFORNIA AMENDMENTS)
2013 CMC (2012 IAPMO UMC AND CALIFORNIA AMENDMENTS)
2013 CPC (2012 IAPMO UPC AND CALIFORNIA AMENDMENTS)
2013 CENC AND T-24.
2013 CALIFORNIA GREEN BUILDING CODE
2013 CFC (2012 IFC AND CALIFORNIA AMENDMENTS)
- THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- ALL WORK AND CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODES AND OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE CONSTRUCTION SITE. BUILDING CODE REQUIREMENTS IN ALL CASES

- TAKE PRECEDENCE OVER THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR AND/OR MATERIALS TO BRING TO THE ATTENTION OF THE ARCHITECT/ENGINEER ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- DO NOT SCALE THE DRAWINGS. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED

- INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, AND THEREFORE THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- CONTRACTOR HEREBY GUARANTEES TO THE OWNER AND THE ARCHITECT/ENGINEER THAT ALL MATERIALS, FIXTURES, AND EQUIPMENT FURNISHED TO THE PROJECT ARE NEW UNLESS OTHERWISE SPECIFIED. CONTRACTOR ALSO WARRANTS THAT ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM ANY FAULTS AND DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION, UNLESS A GREATER WARRANTY OR GUARANTEE IS REQUIRED BY THE PROJECT SPECIFICATIONS.
- ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED IN WRITING TO THE CONTRACTOR PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUBSURFACES.

- REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR DEPRESSED SLABS CURB, FINISHES, TEXTURES, CLIPS, GROUNDS, ETC., NOT SHOWN ON STRUCTURAL DRAWINGS.
- ANY MATERIALS STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS.
- MORE DETAILED INFORMATION SHALL TAKE PRECEDENCE OVER LESSER DETAILED INFORMATION. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS WILL BE HELD ACCOUNTABLE TO THE ABOVE GENERAL NOTES FOR THE CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.
- THIS SET OF PLANS TO BE ON JOB SITE AT ALL TIMES DURING CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED

- PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS AND SPECIFICATIONS. [CBC 108]
- ALL CONTRACTORS AND SUB-CONTRACTORS MUST HAVE ON FILE WITH THE BUILDING DEPARTMENT, A LIST OF ALL SUCH CONTRACTORS AND SUB-CONTRACTORS WITH APPROPRIATE CURRENT BUSINESS LICENSE NUMBERS.
- UNLESS NOTED OTHERWISE, ALL VESTIBULES, CLOSETS, COLUMNS, PROJECTIONS, RECESSES, OR OTHER ADJACENT AREAS WITHIN SCHEDULED AREA SHALL HAVE FINISHES AS SCHEDULED FOR THE RESPECTIVE SPACES IN WHICH THEY OCCUR.
- CONTRACTOR SHALL VERIFY ALL SETBACKS, EASEMENTS, CONTOURS, AND BUILDING PAD PRIOR TO CONSTRUCTION.
- TRUSS CALCULATIONS FOR APPROVED PROJECTS ARE REQUIRED TO BE ON THE JOB SITE AT TIME OF FRAMING INSPECTION WITH THE APPROPRIATE REQUIRED SIGNATURES AND STATEMENT AS FOLLOWS: TRUSS CALCULATIONS SHALL INCLUDE THE WET-STAMP AND SIGNATURE OF THE TRUSS DESIGN ENGINEER. IN ADDITION, THEY

- SHALL INCLUDE ON THE COVER SHEET A WET-SIGNED STATEMENT FROM THE PROJECT'S DESIGN ENGINEER THAT TRUSS CALCULATIONS AND LAYOUTS ARE IN SUBSTANTIAL CONFORMANCE WITH THE STRUCTURAL DESIGN AND INTENT OF THE STRUCTURE. FAILURE TO PROVIDE THEM AS STATED WILL RESULT IN A CORRECTION AND A FAILURE TO PASS FRAMING INSPECTION. [BSP]
- VERIFY LOCATION OF ALL UTILITY TIE-INS AT STREET AND POINT OF CONNECTIONS AT BUILDING PRIOR TO CONSTRUCTION.
- A COPY OF SOILS REPORT SHALL BE ON SITE DURING FOUNDATION INSPECTION.
- APPROPRIATE CORNERS SHOULD BE ESTABLISHED AT THE TIME OF FOUNDATION INSPECTION WITH THE MARK OF A LICENSED SURVEYOR.

SHEET INDEX

A-1-1	OVERALL SITE PLAN
A-1-2	ENLARGED SITE PLAN
A-2-1	GREENHOUSE #1 FLOOR PLAN
A-2-2	GREENHOUSE #2 FLOOR PLAN
A-2-3	GROWHOUSE LOWER FLOOR PLAN
A-2-4	GROWHOUSE UPPER FLOOR PLAN
E-1-1	ELECTRICAL PLAN
A-3-1	GREENHOUSE #1 ELEVATIONS
A-3-2	GREENHOUSE #2 ELEVATIONS
A-3-3	GROWHOUSE ELEVATIONS
S-1-1	GREENHOUSE #1 FOUNDATION PLAN
S-1-2	GREENHOUSE #2 FOUNDATION PLAN
S-1-3	GROWHOUSE FOUNDATION PLAN
S-2-1	GREENHOUSE #1 FRAMING PLAN
S-2-2	GREENHOUSE #2 FRAMING PLAN
S-2-3	GROWHOUSE FRAMING PLAN
D-1-1	DETAIL SHEET
D-1-2	DETAIL SHEET TWO

PROJECT INFORMATION

OWNER	RICHARD BURGETT
PROJECT ADDRESS	8155 CARRISA, HWY58, SANTA MARGARITA
CA 93453	
APN	072-311-015
PHONE	(805) 550-1486

PROJECT STATISTICS

LOT SIZE	40.45 ACRES
OCCUPANCY	R-1
CONSTRUCTION TYPE	VB
EXISTING RESIDENCE	690 SQ. FT.
EXISTING GROWHOUSE	1264 SQ. FT.
EXISTING GREENHOUSE #1	752 SQ. FT.
EXISTING GREENHOUSE #2	1041 SQ. FT.

PROJECT DESCRIPTION

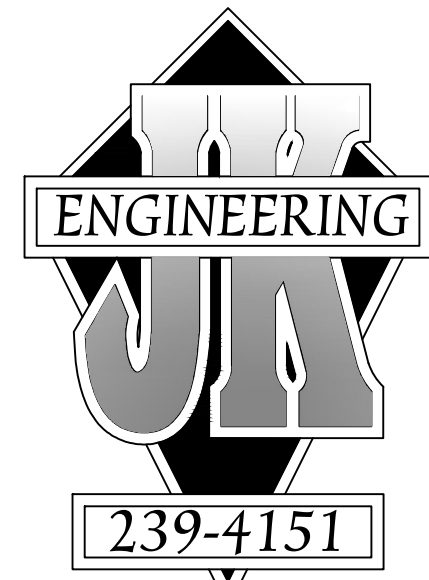
ARCHITECTURAL AND STRUCTURAL PLANS FOR EXISTING GREENHOUSE AND GROW-STRUCTURES AS PER PLANS ATTACHED

CORRESPONDENCE

PROFESSIONAL ENGINEER
JK ENGINEERING
JOHN A. KUDLA
610 10TH ST, STE A
PASO ROBLES, CA 93446
LIC.# : C5652
805.423.3077

DRAFTSMAN/DESIGNER
JB DRAFTING & DESIGN
JOHN BUTLER
610 10TH ST, STE A
PASO ROBLES, CA 93446
(805) 237-0850

VICINITY MAP



John A. Kudla
Civil Engineering &
Structural Design
R.C.E. #50652
610 10th ST. UNIT 'A' PASO
ROBLES, CA.

PLAN PREPARED FOR:

RICHARD BURGETT
8155 CARRISA, HWY 58
SANTA MARGARITA, CA 93453

REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. ----

FILE NAME OVERALL SITE PLAN.DWG

DRAWN BY JB II

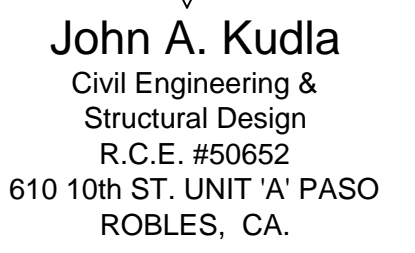
DATE 2/5/2018 9:45 AM

SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER:

A-1-1



RICHARD BURGETT
8155 CARRISA, HWY 58
SANTA MARGARITA, CA 93453

[illegible]

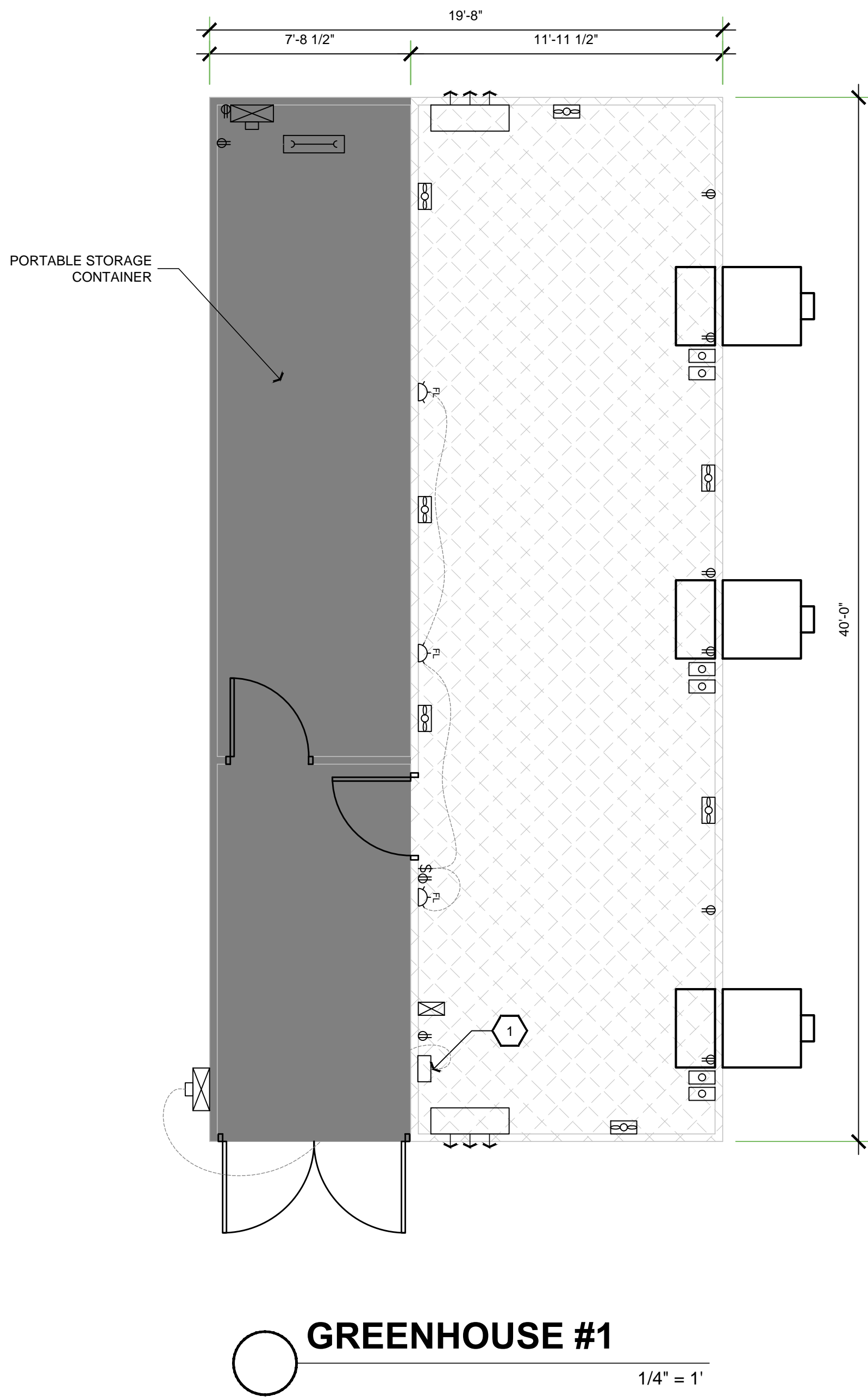
PROJECT NO.
FILE NAME A-1.2 ENLARGED SITE PLAN.DWG
DRAWN BY JB II
DATE 2/5/2018 9:45 AM
SHEET TITLE:

SHEET NUMBER:

A-1.2



\\bellingh\projects\burgett\structural\dwg\Greenhouse #1 Floor Plan.dwg Job Summary 2/5/2018 11:15:14 PM



ELECTRICAL PLAN CALLOUTS

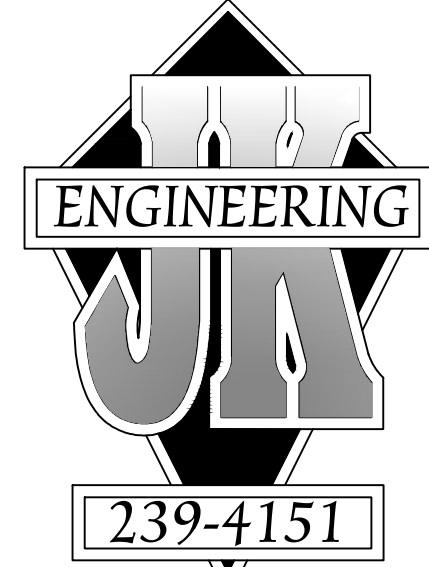
1. NEW 50A PANEL#2 WITH UFER GROUND. SEE SINGLE LINE DIAGRAM SHEET E-1.1

ELECTRICAL NOTES

1. THE NATIONAL ELECTRIC CODE STATES THAT THERE MUST BE A DISCONNECT SWITCH WITHIN SIGHT OF ALL APPLIANCES IF THE CIRCUIT BREAKER IS NOT CAPABLE OF BEING LOCKED IN THE OPEN POSITION. (ELECTRICAL CONTRACTOR TO VERIFY IF DISCONNECT SWITCH IS REQUIRED).
2. DISCONNECT MARKING. THE DISCONNECTING MEANS SHALL BE MARKED "FIRE PUMP DISCONNECTING MEANS." THE LETTERS SHALL BE AT LEAST 25 MM (1 IN.) IN HEIGHT, AND THEY SHALL BE VISIBLE WITHOUT OPENING ENCLOSURE DOORS OR COVERS.
3. CONTROLLER MARKING. A PLACARD SHALL BE PLACED ADJACENT TO THE FIRE PUMP CONTROLLER, STATING THE LOCATION OF THIS DISCONNECTING MEANS AND THE LOCATION OF THE KEY (IF THE DISCONNECTING MEANS IS LOCKED).

LEGEND

- NEW WOOD FRAME WALL
- EXISTING WOOD FRAME WALL TO REMAIN
- EXISTING WOOD FRAME WALL TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- GREENHOUSE AREA 478 SQ. FT.
- SWAMP COOLER
- FAN
- COVERED VENT
- ELECTRIC SUB-PANEL
- SWAMP COOLER TEMPERATURE CONTROLLER
- ELECTRIC TIMER (MODEL-T101)



John A. Kudla
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Structural Design
R.C.E. #50652
610 10th ST. UNIT 'A' PASO
ROBLES, CA.

PLAN PREPARED FOR:

RICHARD BURGETT
8155 CARRISA, HWY 58
SANTA MARGARITA, CA 93453

REVISION		LOG
REV.	DESCRIPTION	DATE

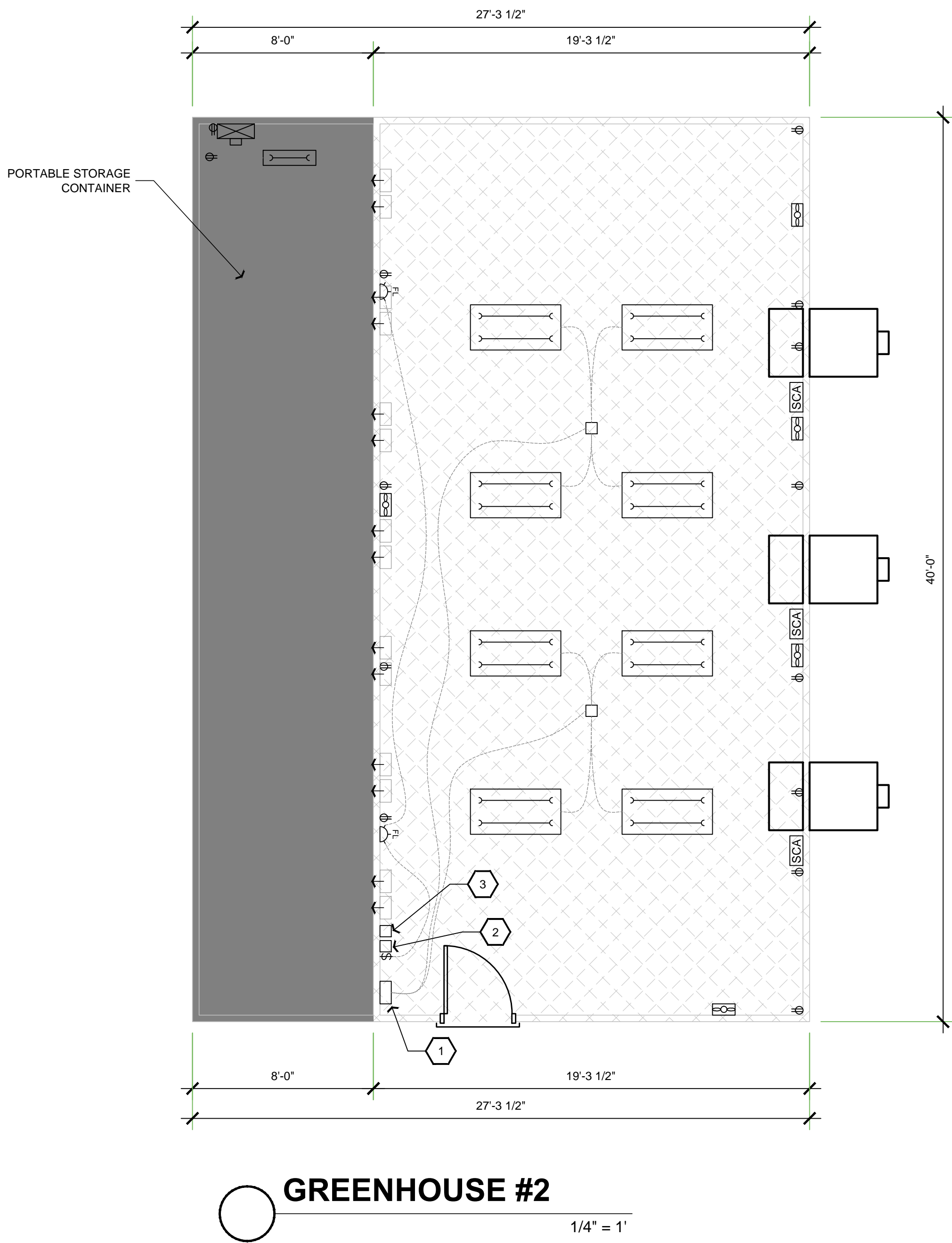
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PROJECT NO. ----
FILE NAME GREENHOUSE #1 FLOOR PLAN.DWG
DRAWN BY JB II
DATE 2/5/2018 9:45 AM

SHEET TITLE:
**GREENHOUSE
#1 FLOOR PLAN**

SHEET NUMBER:
A-2.1

\\drawing\projects\burgerrichard\structural\greenhouse\2.2 GREENHOUSE #2 FLOOR PLAN.dwg Plot Sunday, 9/20/2017 1:10:02 PM



LEGEND

- NEW WOOD FRAME WALL
- EXISTING WOOD FRAME WALL TO REMAIN
- EXISTING WOOD FRAME WALL TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- GREENHOUSE AREA 771 SQ. FT.
- SWAMP COOLER
- FAN
- (2) 12" x 12" LOUVERED VENT
- ELECTRIC SUB-PANEL
- SWAMP COOLER TEMPERATURE CONTROLLER

ELECTRICAL PLAN CALLOUTS

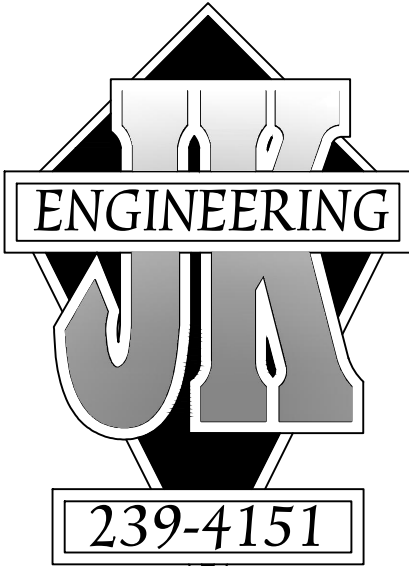
- MAIN 100A PANEL#1 WITH UPFR GROUND. SEE SINGLE LINE DIAGRAM SHEET E-1.1
- FAN TIMER
- GROW LIGHT TIMER

ELECTRICAL NOTES

- THE NATIONAL ELECTRIC CODE STATES THAT THERE MUST BE A DISCONNECT SWITCH WITHIN SIGHT OF ALL APPLIANCES IF THE CIRCUIT BREAKER IS NOT CAPABLE OF BEING LOCKED IN THE OPEN POSITION. (ELECTRICAL CONTRACTOR TO VERIFY IF DISCONNECT SWITCH IS REQUIRED).
- DISCONNECT MARKING. THE DISCONNECTING MEANS SHALL BE MARKED 'FIRE PUMP DISCONNECTING MEANS.' THE LETTERS SHALL BE AT LEAST 28 MM (1 IN.) IN HEIGHT, AND THEY SHALL BE VISIBLE WITHOUT OPENING ENCLOSURE DOORS OR COVERS.
- CONTROLLER MARKING. A PLACARD SHALL BE PLACED ADJACENT TO THE FIRE PUMP CONTROLLER, STATING THE LOCATION OF THIS DISCONNECTING MEANS AND THE LOCATION OF THE KEY (IF THE DISCONNECTING MEANS IS LOCKED).

ROOM SCHEDULE

	NAME	AREA	NOTES
101	GREENHOUSE	771 SQ. FT.	EX.
102	PORT. STORAGE	320 SQ. FT.	EX.



John A. Kudla
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R.C.E. #50652
610 10th ST. UNIT 'A' PASO
ROBLES, CA.

PLAN PREPARED FOR:

RICHARD BURGETT
8155 CARRISA, HWY 58
SANTA MARGARITA, CA 93453

REVISION LOG

REV.	DESCRIPTION	DATE

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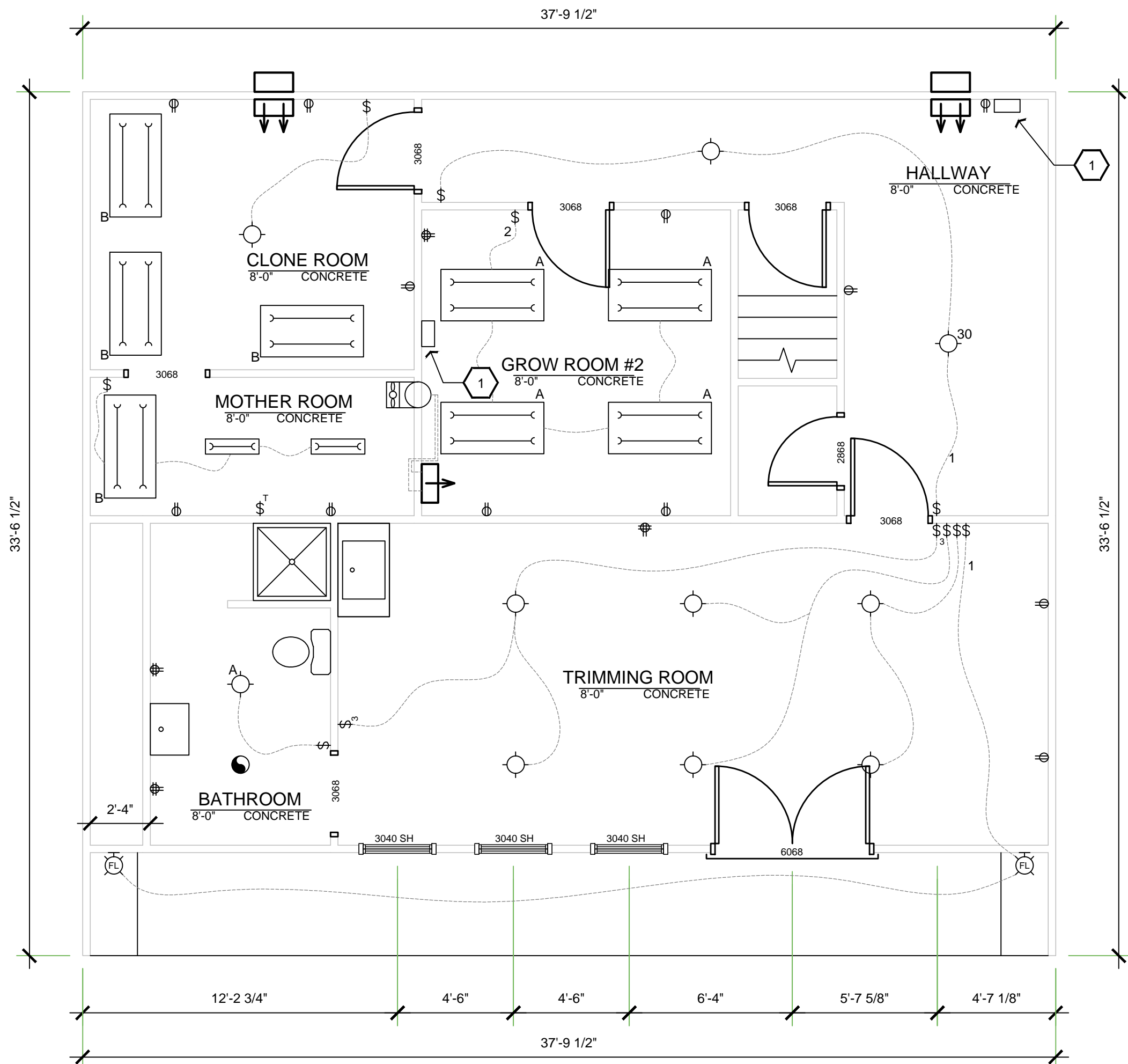
PROJECT NO. ---
FILE NAME A-2.2 GREENHOUSE #2 FLOOR PLAN.DWG
DRAWN BY JB II
DATE 2/5/2018 9:45 AM

SHEET TITLE:
GREENHOUSE
#2 FLOOR PLAN

SHEET NUMBER:

A-2.2

\\working\projects\burgert\structural\dwg\jkg\LowerGrowHouse.dwg 2.3 2/5/2018 9:45 AM J.K. No. Summary 11/20/2018 11:14 PM



○ LOWER GROWHOUSE FLOOR PLAN
1/4" = 1'

ELECTRICAL PLAN CALLOUTS

1. NEW 200A PANEL#B2 WITH UFER GROUND. SEE SINGLE LINE DIAGRAM SHEET E-1.1
2. NEW 100A PANEL#C2 WITH UFER GROUND. SEE SINGLE LINE DIAGRAM SHEET E-1.1

ELECTRICAL NOTES

1. THE NATIONAL ELECTRIC CODE STATES THAT THERE MUST BE A DISCONNECT SWITCH WITHIN SIGHT OF ALL APPLIANCES IF THE CIRCUIT BREAKER IS NOT CAPABLE OF BEING LOCKED IN THE OPEN POSITION. (ELECTRICAL CONTRACTOR TO VERIFY IF DISCONNECT SWITCH IS REQUIRED). DISCONNECT MARKING. THE DISCONNECTING MEANS SHALL BE MARKED "FIRE PUMP DISCONNECTING MEANS." THE LETTERS SHALL BE AT LEAST 25 MM (1 IN.) IN HEIGHT, AND THEY SHALL BE VISIBLE WITHOUT OPENING ENCLOSURE DOORS OR COVERS.
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- 3.

ELECTRICAL LEGEND

DEHU	QUEST DEHUMIDIFIER
EH	CEILING HUNG FAN
WMF	WALL MOUNTED FAN W/ FILTER & DUCTING TO OUTSIDE OF GROW ROOM
AH	AURA AU-036WU16 AIR HANDLER
AC	AURA AU-036CO16 CONDENSER
GL	ADJUSTABLE GROW LIGHT WITH REFLECTOR

WALL LEGEND

NEW WOOD FRAME WALL
EXISTING WOOD FRAME WALL TO REMAIN
EXISTING WOOD FRAME WALL TO BE REMOVED
EXISTING WINDOW TO BE REMOVED
EXISTING DOOR TO BE REMOVED
GREENHOUSE AREA
980 SQ. FT.

ROOM SCHEDULE

NAME	AREA	NOTES
101 TRIMMING ROOM	338 SQ. FT.	EX.
102 HALLWAY	203 SQ. FT.	EX.
103 BATHROOM	88 SQ. FT.	EX.
104 GROW ROOM #2	138 SQ. FT.	EX.
105 CLONE ROOM	131 SQ. FT.	EX.
106 MOTHER ROOM	63 SQ. FT.	EX.

FINISH SCHEDULE

	NAME	FLR	BASE	WALLS				CEILING
				N	E	S	W	CLG. HT.±
101	TRM. ROOM	CONC	WD	GB58X	CONC	GB58X	CONC	EXP 9'-6"
102	HALLWAY	CONC	RTS	GB58X	CONC	GB58X	CONC	GB58X 9'-6"
103	BATHROOM	CONC	WD	GB58X	GB58X	GB58X	GB58X	GB58X 9'-6"
104	G. ROOM #2	CONC	RTS	GB58X	GB58X	GB58X	GB58X	EXP 9'-6"
105	CLONE RM.	CONC	WD	GB58X	GB58X	GB58X	GB58X	GB58X 9'-6"
106	MOTHER RM.	CONC	RTS	GB58X	GB58X	GB58X	GB58X	GB58X 9'-6"

LEGEND:

WALL MATERIAL	CEILING MATERIAL
GB58X 3/4" TYPE X GYP. BD.	GB58X 3/4" TYPE X GYP. BD.
GB58XM 3/4" MST. RST. TYPE X GYP. BD.	GB58XM 3/4" MST. RST. TYPE X GYP. BD.
BRICK EXISTING BRICK WALL	EXP EXPOSED STRUCTURE

FLOOR MATERIAL	BASE MATERIAL
PT PORCELAIN TILE	WD WOOD
VYN VYNIL	RTS RUBBER TOP SET
CP CARPET	QC QUARRY COVE
CONC CONCRETE	PC PORCELAIN COVE
EPX EPOXY	EPX EPOXY COVE
WD WOOD	

NOTES:

1. ALL GYP. BD. ADJACENT TO LIVING AREAS TO EXTEND TO ROOF SHEATHING
2. WALL AND CEILING MATERIAL SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN CBC TABLE 803.9

PLAN PREPARED FOR:

RICHARD BURGETT
8155 CARRISA, HWY 58
SANTA MARGARITA, CA 93453

REV.	DESCRIPTION	DATE

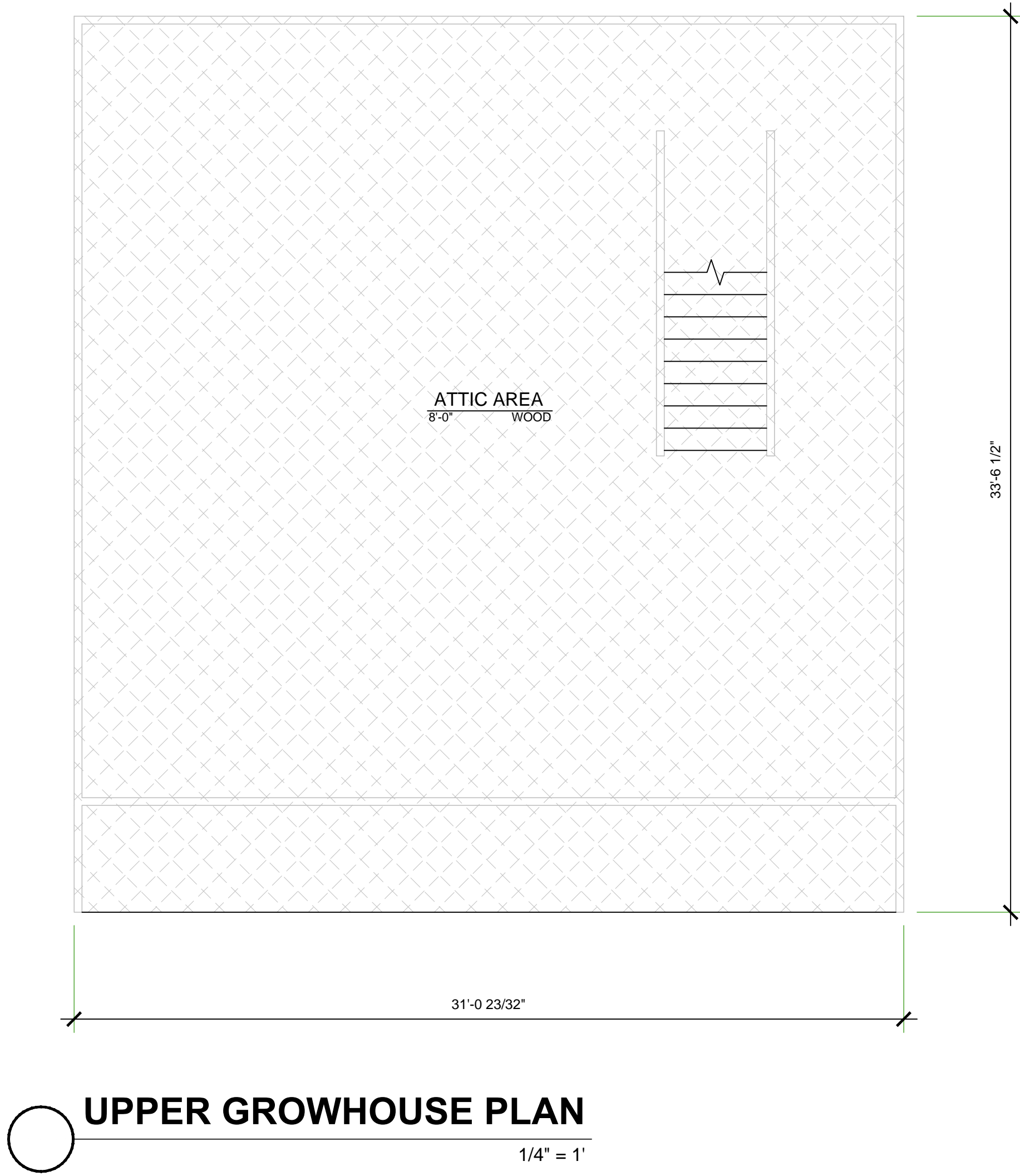
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PROJECT NO.	---
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DATE	2/5/2018 9:45 AM

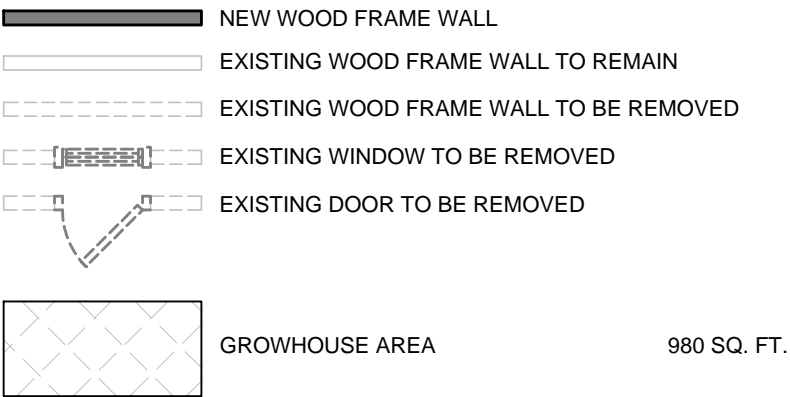
SHEET TITLE:
**GROWHOUSE
LOWER FLOOR
PLAN**

SHEET NUMBER:
A-2.3

\\dallin\projects\18\growhouse\structural\dwg\growhouse\A-2.4 GROWHOUSE UPPER FLOOR PLAN.dwg Plot Date: 2/5/2018 1:15:50 PM



WALL LEGEND



ROOM SCHEDULE

NAME	AREA	NOTES
101 ATTIC AREA	1000 SQ. FT.	EX.

FINISH SCHEDULE

NAME	FLR	BASE	N	E	S	W	CEILING
101 ATTIC AREA	WD	WD	GB58X	METAL	GB58X	METAL	EXP 6'-6"

- LEGEND:
- | | | |
|---------------------------------------|--|---------------------------------------|
| WALL MATERIAL | | CEILING MATERIAL |
| GB58X 3/8" TYPE X GYP. BD. | | GB58X 3/8" TYPE X GYP. BD. |
| GB58XM 3/8" MST. RST. TYPE X GYP. BD. | | GB58XM 3/8" MST. RST. TYPE X GYP. BD. |
| BRICK EXISTING BRICK WALL | | EXP EXPOSED STRUCTURE |
- | | |
|-----------------------|----------------------|
| FLOOR MATERIAL | BASE MATERIAL |
| PT PORCELAIN TILE | WD WOOD |
| VYN VYNIL | RTS RUBBER TOP SET |
| CP CARPET | QC QUARRY COVE |
| CONC CONCRETE | PC PORCELAIN COVE |
| EPX EPOXY | EPX EPOXY COVE |
| WD WOOD | |
- NOTES:
- ALL GYP. BD. ADJACENT TO LIVING AREAS TO EXTEND TO ROOF SHEATHING
 - WALL AND CEILING MATERIAL SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN CBC TABLE 803.9

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ROBLES, CA.

PLAN PREPARED FOR:

RICHARD BURGETT
8155 CARRISA, HWY 58
SANTA MARGARITA, CA 93453

REV.	DESCRIPTION	DATE

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PROJECT NO. ----

FILE NAME A-2.4 GROWHOUSE UPPER FLOOR PLAN.DWG

DRAWN BY JB II

DATE 2/5/2018 9:46 AM

SHEET TITLE:

GROWHOUSE
UPPER FLOOR
PLAN

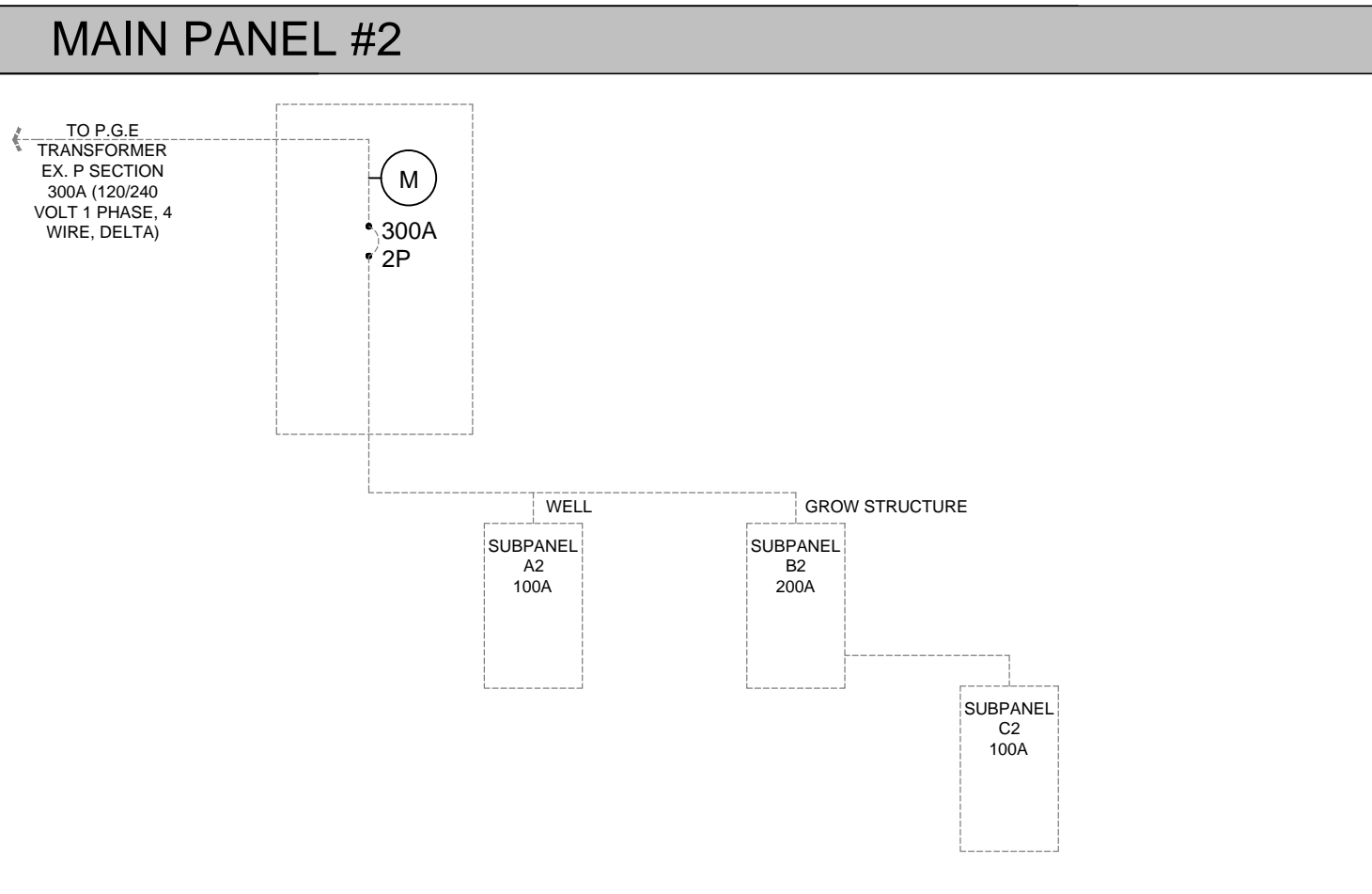
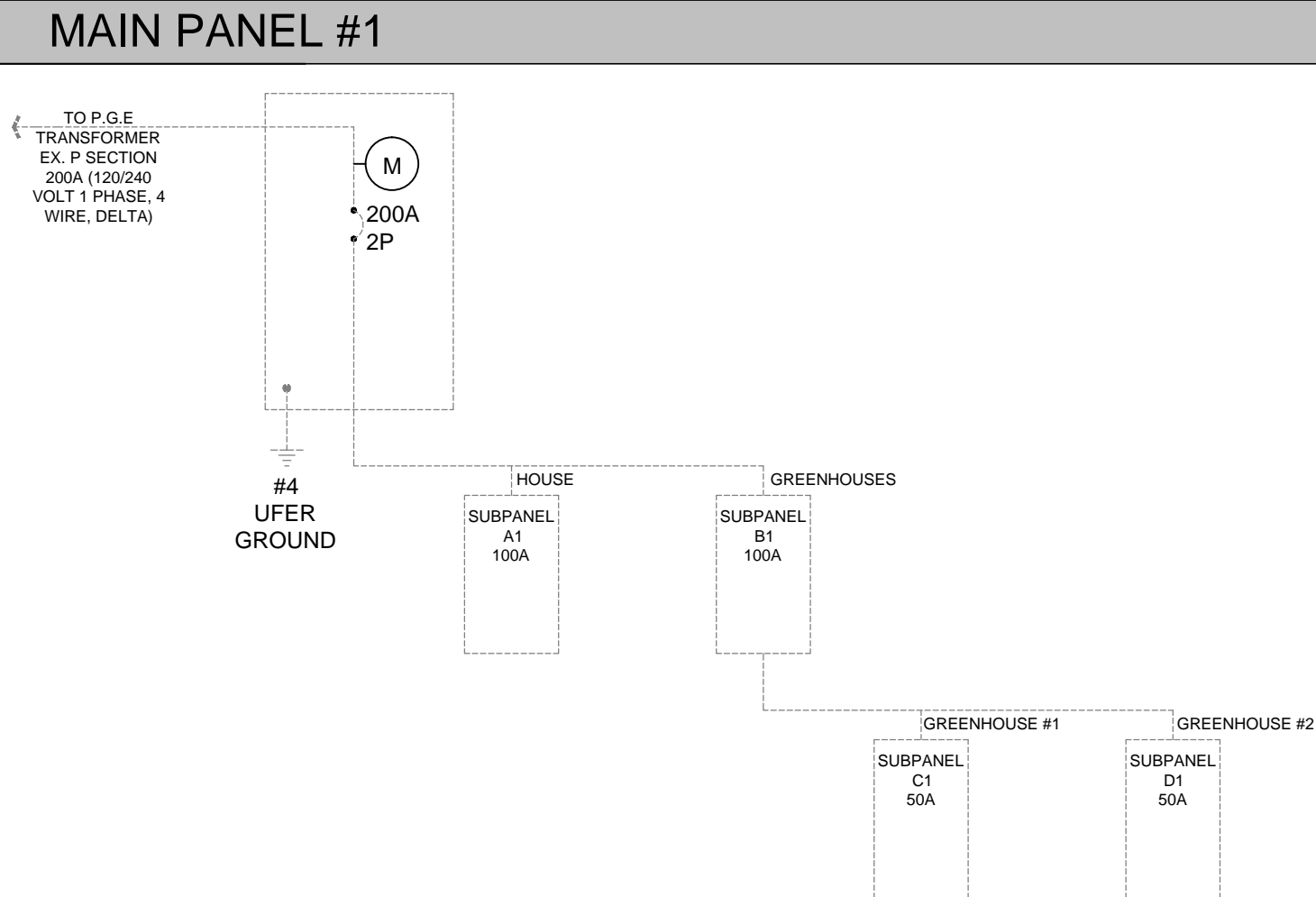
SHEET NUMBER:

A-2.4

\\dell\engineering\dwg\electrical\singleline\dwg\Panel E-1.1 ELECTRICAL PLAN.dwg Plot Date: 9/25/2017 1:15:44 PM

PANEL: D1 50A		VOLTS: 120/240						PHASE: SINGLE			LOCATION: GREENHOUSE #2		
CIR#	DESCRIPTION	VOLT - AMPS			BREAKER		BREAKER		VOLT - AMPS			DESCRIPTION	CIR#
		A	B	C	A	P	A	P	A	B	C		
1	LIGHTS	500			15	1	20	1	1140			SWAMP #3	2
3	OUTLETS		840		15	1	20	1		1140		SWAMP #2	4
5							20	1			1140	SWAMP #1	6
7							15	1				FANS	8
9													10
11													12
13													14
15													16
17													18
19													20
21													22
23													24
25													26
27													28
29													30
31													32
33													34
35													36
37													38
39													40
41													42
Total Volt-Amps=		500.00	840.00	0.00					1140.00	1140.00	1140.00		
Total Volt-Amps=		4760.00											
Total Load Amps=		20											

PANEL: A1 100A		VOLTS: 120/240						PHASE: SINGLE			LOCATION: HOUSE		
CIR#	DESCRIPTION	VOLT - AMPS			BREAKER		BREAKER		VOLT - AMPS			DESCRIPTION	CIR#
		A	B	C	A	P	A	P	A	B	C		
1					20	1	20	1					2
3					20	1	20	1					4
5					20	1	20	1					6
7					20	1	20	1					8
9					20	1	20	1					10
11					20	1	20	1					12
13					20	1	20	1					14
15					30	2	20	1					16
17					30	2	20	1					18
19					15	3	30	2					20
21					15	3	30	2					22
23					15	3	20	1					24
25													26
27													28
29													30
31													32
33													34
35													36
37													38
39													40
41													42
Total Volt-Amps=		0.00	0.00	0.00					0.00	0.00	0.00		
Total Volt-Amps=		0.00											
Total Load Amps=		0											



SINGLE LINE DIAGRAM

PANEL: C2 100A		VOLTS: 120/240						PHASE: SINGLE			LOCATION: GROW STRUCTURE		
CIR#	DESCRIPTION	VOLT - AMPS			BREAKER		BREAKER		VOLT - AMPS			DESCRIPTION	CIR#
		A	B	C	A	P	A	P	A	B	C		
1							20	1	3000			LIGHTS	2
3	OUTLETS		1200				20	1		3000		LIGHTS	4
5	OUTLETS			1200	15	1							6
7	OUTLETS	1200			15	1							8
9													10
11													12
13													14
15													16
17													18
19													20
21													22
23													24
25													26
27													28
29													30
31													32
33													34
35													36
37													38
39													40
41													42
Total Volt-Amps=		1200.00	1200.00	1200.00					3000.00	3000.00	0.00		
Total Volt-Amps=		9600.00											
Total Load Amps=		40											

PANEL: C1 50A		VOLTS: 120/240						PHASE: SINGLE			LOCATION: GREENHOUSE #1		
CIR#	DESCRIPTION	VOLT - AMPS			BREAKER		BREAKER		VOLT - AMPS			DESCRIPTION	CIR#
		A	B	C	A	P	A	P	A	B	C		
1	FANS	840			15	1	15	1	1140			SWAMP #1	2
3	LIGHTS		500		15	1	15	1		1140		SWAMP #2	4
5							15	1			1140	SWAMP #3	6
7													8
9													10
11													12
13													14
15													16
17													18
19													20
21													22
23													24
25													26
27													28
29													30
31													32
33													34
35													36
37													38
39													40
41													42
Total Volt-Amps=		840.00	500.00	0.00					1140.00	1140.00	1140.00		
Total Volt-Amps=		4760.00											
Total Load Amps=		20											

PANEL SCHEDULES

ENGINEERING
239-4151
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PLAN PREPARED FOR:
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8155 CARRISA, HWY 58
SANTA MARGARITA, CA 93453

REVISION LOG		
REV.	DESCRIPTION	DATE

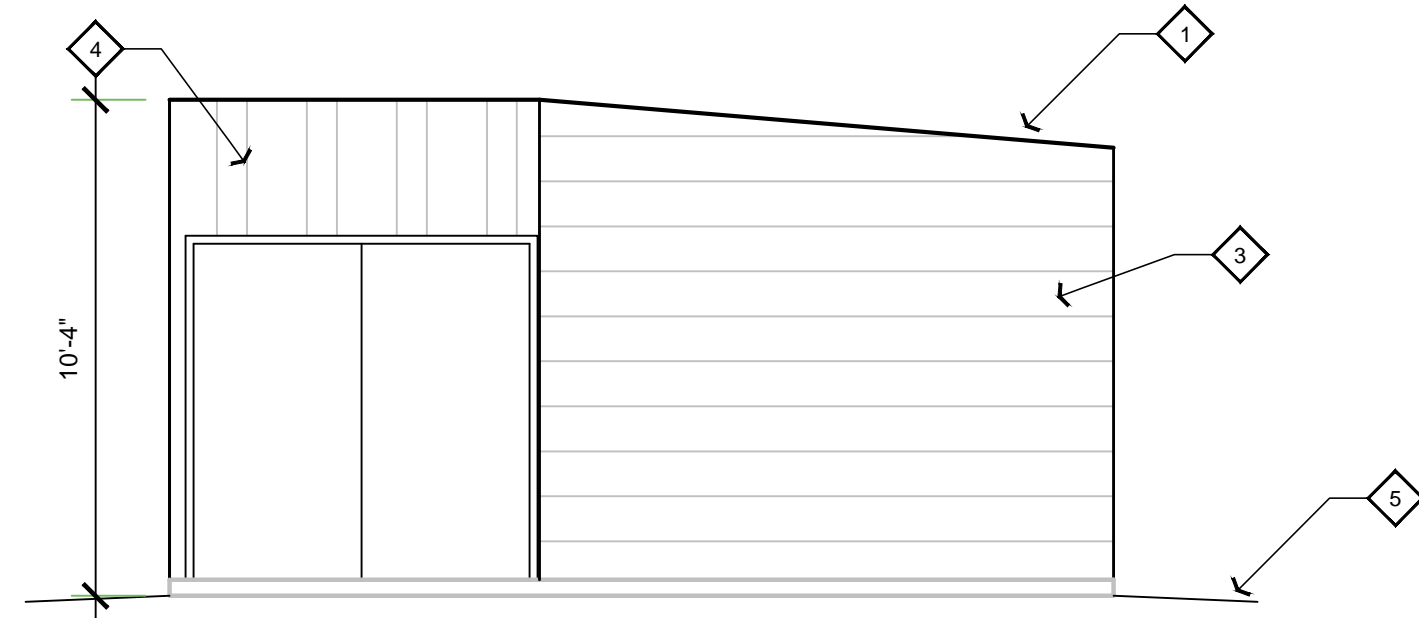
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PROJECT NO. ---
FILE NAME E-1.1 ELECTRICAL PLAN.DWG
DRAWN BY JB II
DATE 2/5/2018 9:46 AM
SHEET TITLE:
ELECTRICAL
PLAN
SHEET NUMBER:
E-1.1

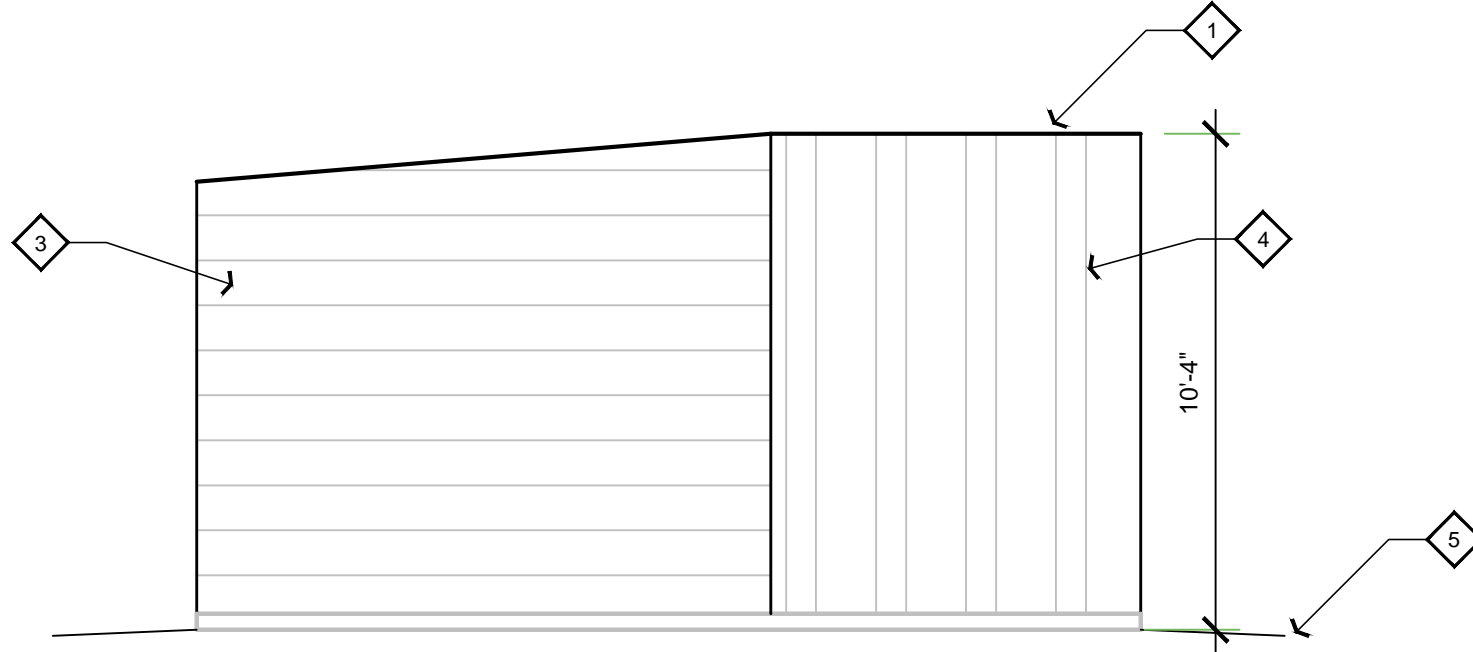
\\dell\engineering\dwg\structural\dwg\greenhouse\A-3.1 GREENHOUSE #1 ELEVATIONS.dwg Plot Sunday, 1/16/2018 2:22:00 PM

◆ ELEVATION CALLOUTS

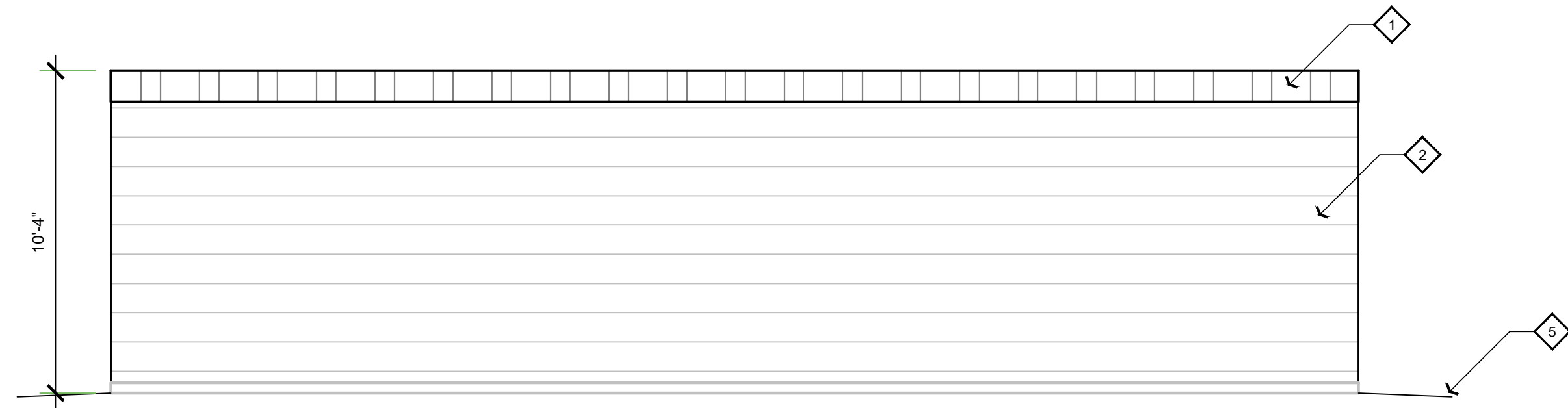
1. TRANSLUCENT POLY CARBONATE PANELS OVER RAFTERS
2. TRANSLUCENT POLY CARBONATE PANELS OVER WOOD STUDS
3. HARDPLANK SIDING OVER APPROVED MOISTER BARRIER
4. METAL STORAGE CONTAINER
5. SLOPE AWAY FROM BUILDING 5% FOR 10'-0" MINIMUM (TYP)



○ FRONT ELEVATION
1/4" = 1'



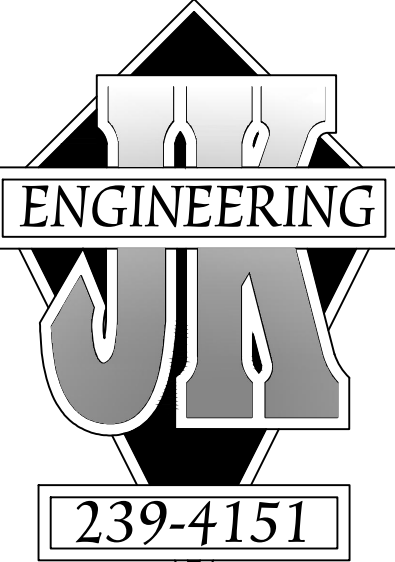
○ REAR ELEVATION
1/4" = 1'



○ RIGHT ELEVATION
1/4" = 1'



○ LEFT ELEVATION
1/4" = 1'



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REV.	DESCRIPTION	DATE

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PROJECT NO. ----
FILE NAME A-3.1 GREENHOUSE #1 ELEVATIONS.DWG
DRAWN BY JB II
DATE 2/5/2018 9:46 AM

SHEET TITLE:
**GREENHOUSE
#1 ELEVATIONS**

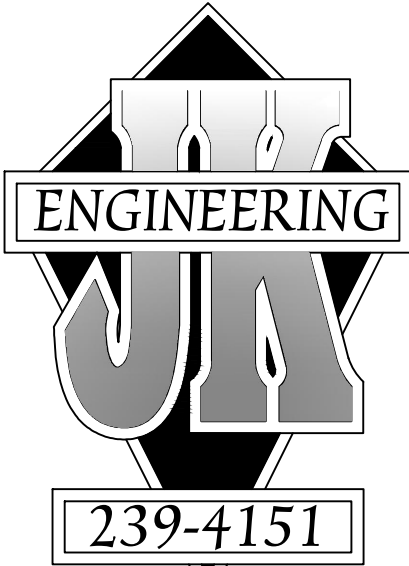
SHEET NUMBER:

A-3.1

\\dallin\projects\2018\greenhouse\2018\greenhouse.dwg 2/5/2018 2:21:43 PM

ELEVATION CALLOUTS

1. TRANSLUCENT POLY CARBONATE PANELS OVER 30# MINIMUM ROOFING FELT (TYP)
2. TRANSLUCENT POLY CARBONATE PANELS OVER WOOD STUDS
3. METAL STORAGE CONTAINER
4. SLOPE AWAY FROM BUILDING 5% FOR 10'-0" MINIMUM (TYP)



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PLAN PREPARED FOR:

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8155 CARRISA, HWY 58
SANTA MARGARITA, CA 93453

REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. ----
FILE NAME A-3.2 GREENHOUSE #2 ELEVATIONS.DWG
DRAWN BY JB II
DATE 2/5/2018 9:46 AM

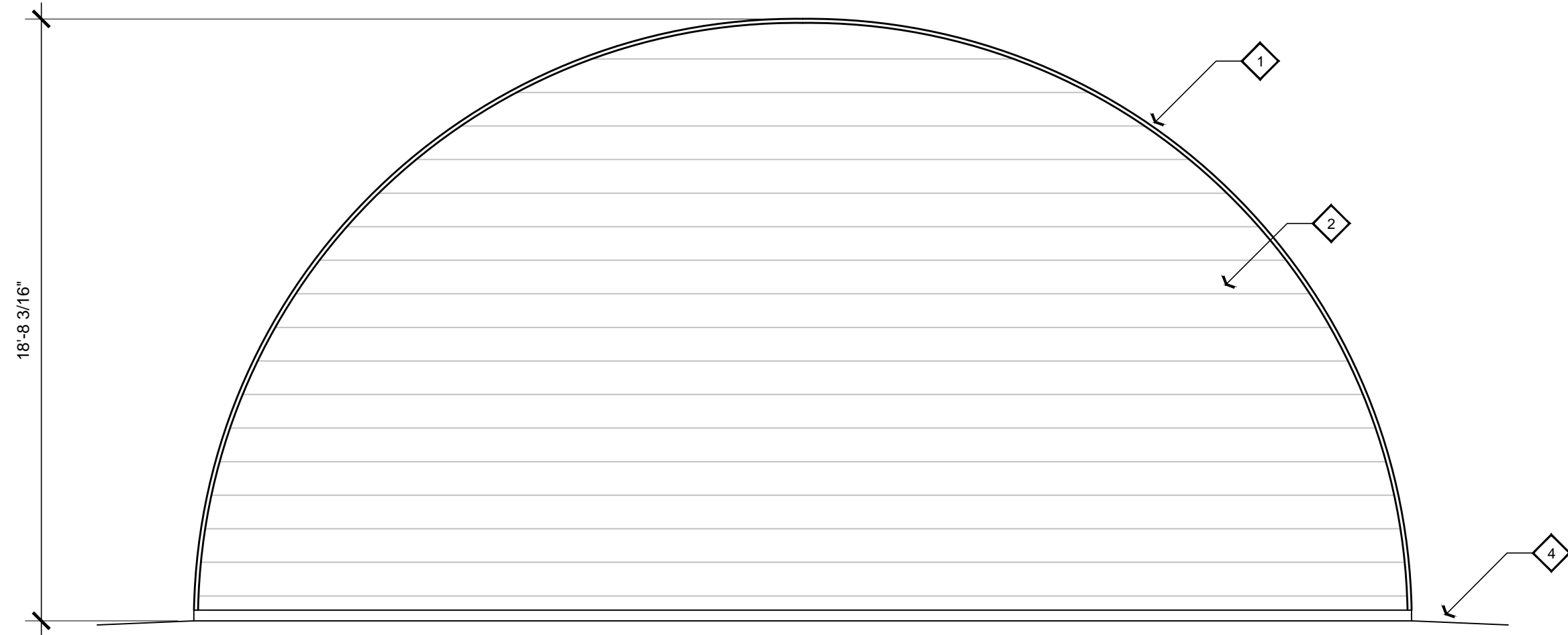
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GREENHOUSE
#2 ELEVATIONS

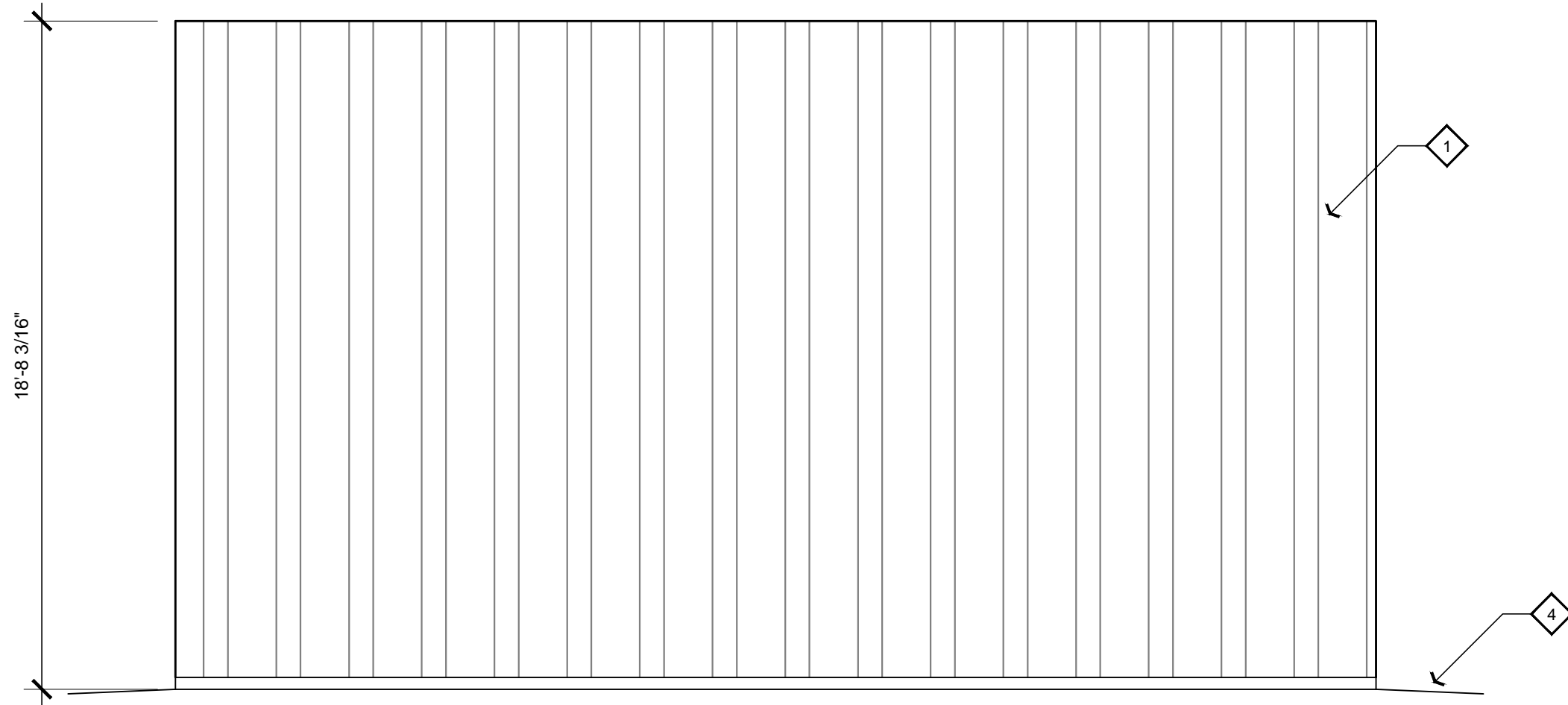
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A-3.2

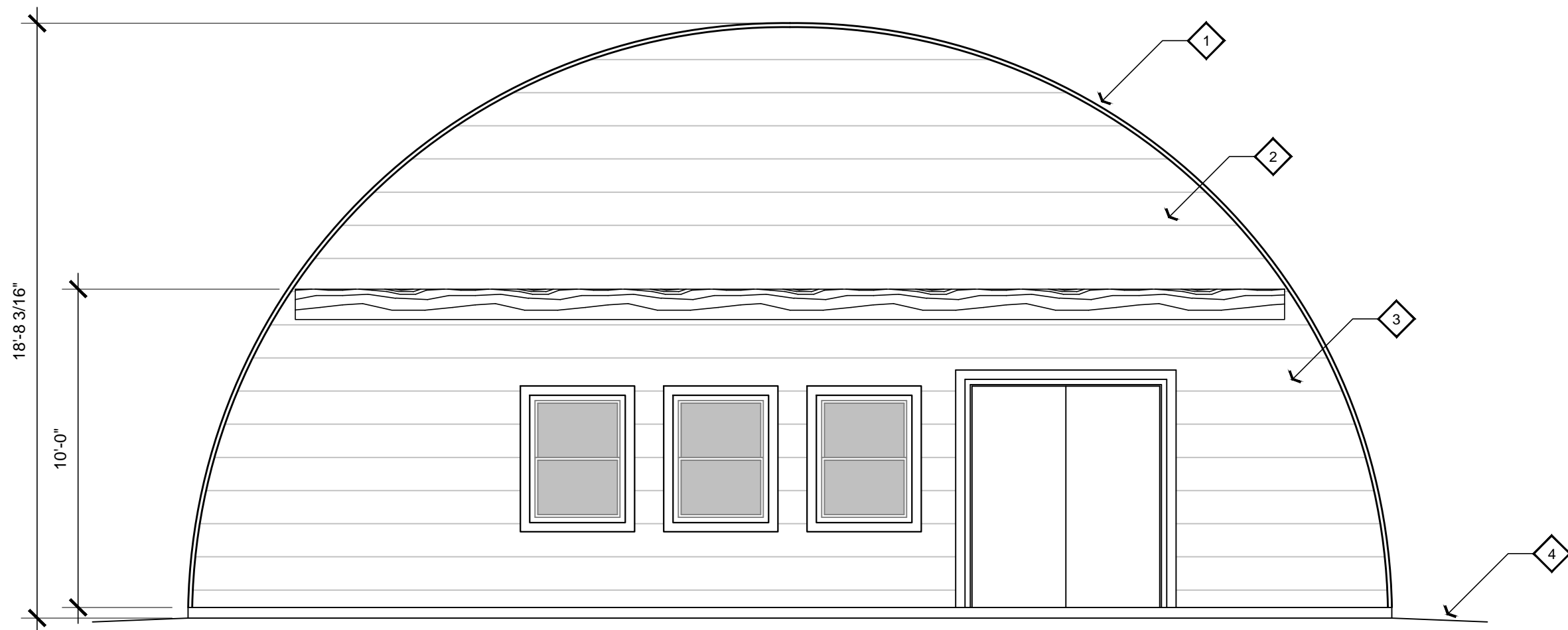
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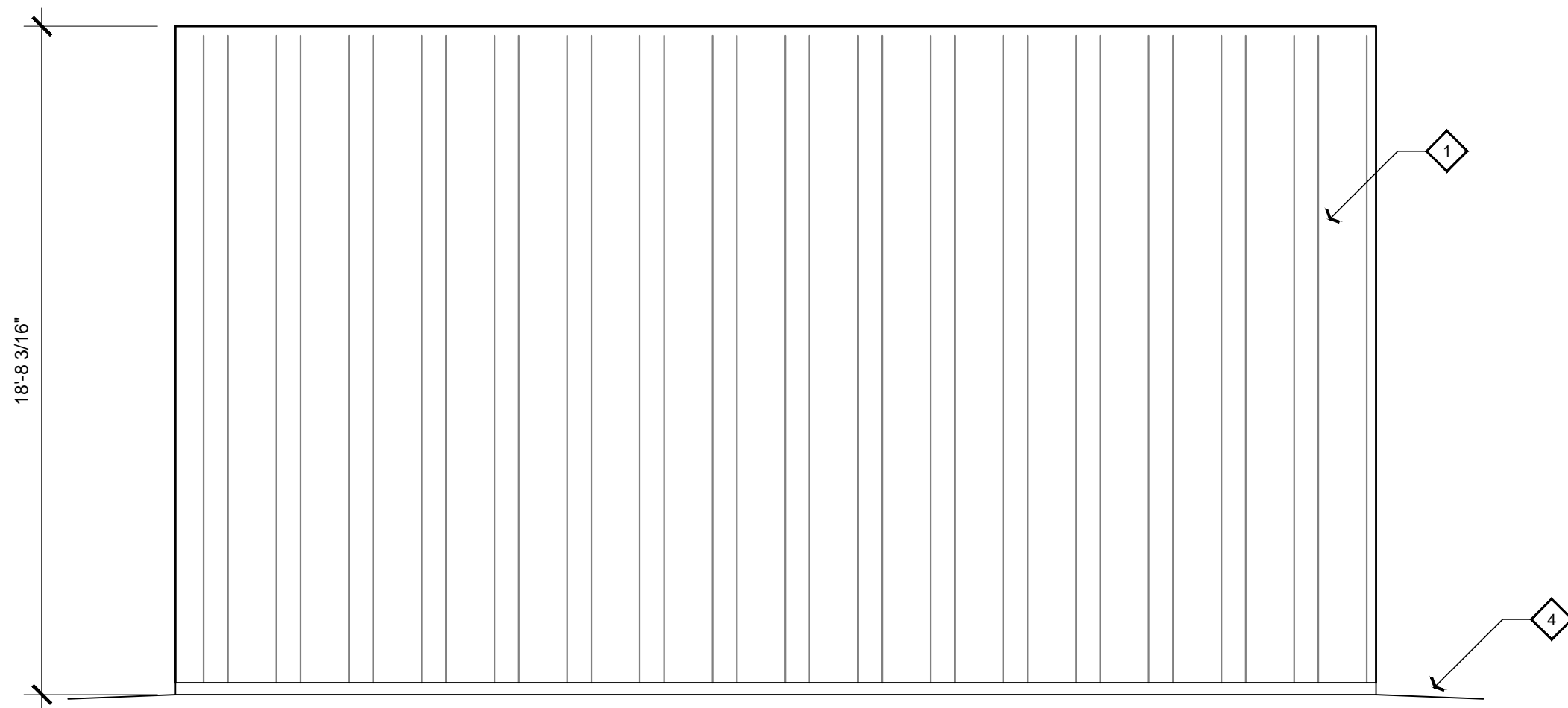
REAR ELEVATION
1/4" = 1'



LEFT ELEVATION
1/4" = 1'



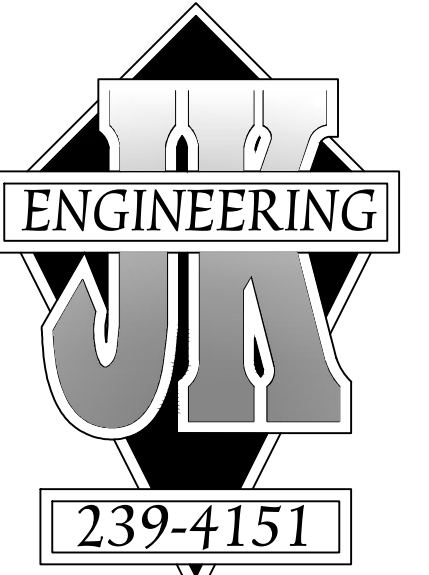
FRONT ELEVATION
1/4" = 1'



RIGHT ELEVATION
1/4" = 1'

ELEVATION CALLOUTS

1. COVERED METAL STRUCTURE
2. HARDIPLANK SIDING OVER APPROVED MOISTER BARRIER
3. 2X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
4. SLOPE AWAY FROM BUILDING 5% FOR 10'-0" MINIMUM (TYP)



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ROBLES, CA.

PLAN PREPARED FOR:

RICHARD BURGETT
8155 CARRISA, HWY 58
SANTA MARGARITA, CA 93453

REVISION LOG

REV.	DESCRIPTION	DATE

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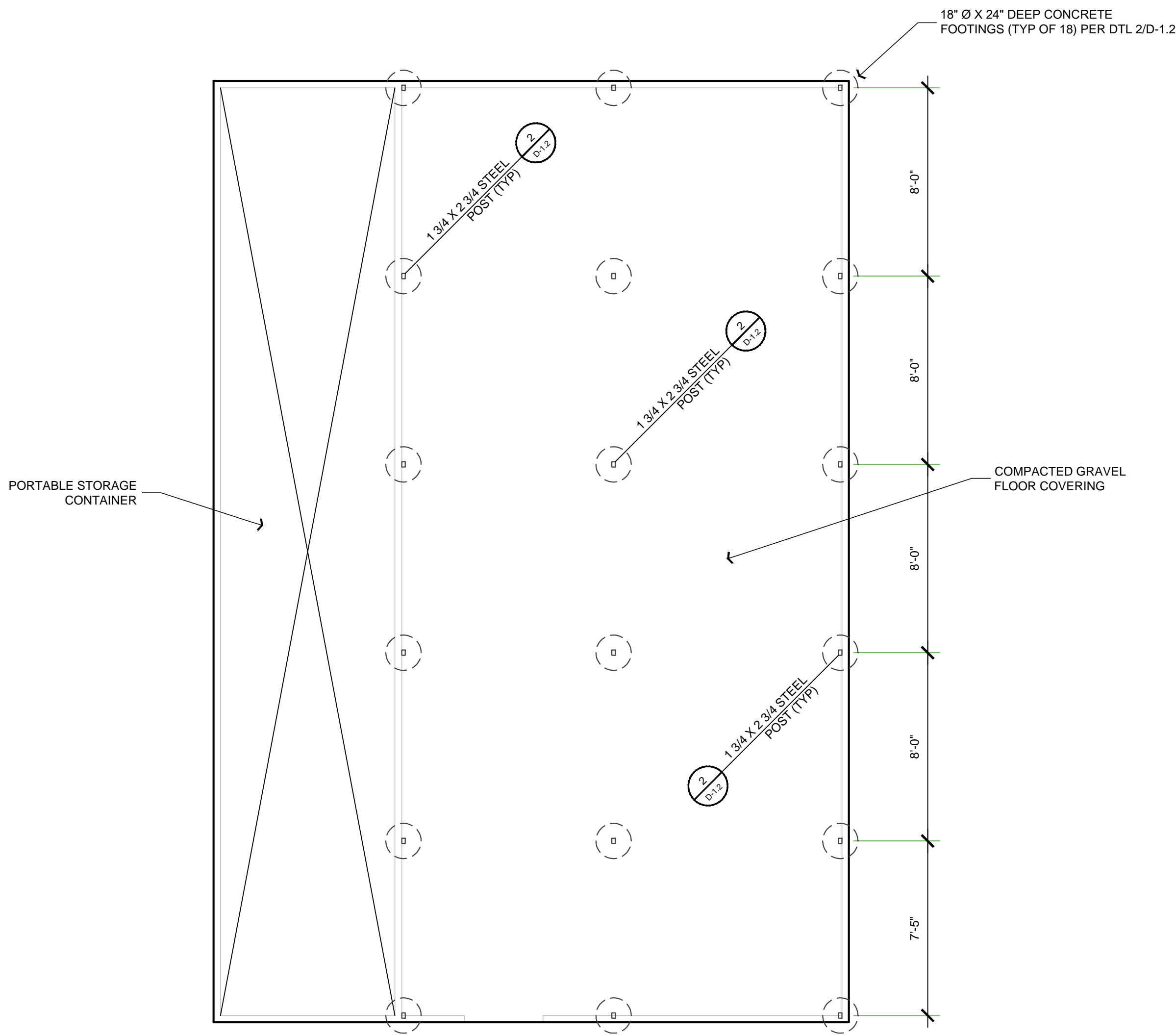
PROJECT NO.
FILE NAME A-3.3.GROWHOUSE ELEVATIONS.DWG
DRAWN BY JB II
DATE 2/5/2018 9:46 AM

SHEET TITLE:
GROWHOUSE
ELEVATIONS

SHEET NUMBER:
A-3.3



\\bellinghous\tech\dwg\project\structural\greenhouse\2 GREENHOUSE #2 FOUNDATION PLAN.dwg, Nels Swenley 6/15/2017 2:45:09 PM



 **GREENHOUSE #2 FOUNDATION PLAN**
1/4" = 1'

FOUNDATION NOTES

1. CONCRETE TO WITHSTAND 2500 PSI WITHIN 28 DAYS
2. REFER TO FRAMING PLAN FOR EXACT PLACEMENT OF HOLDDOWNS
3. ALL HOLDDOWNS TO BE PLACED IN CONCRETE PRIOR TO INSPECTION
4. FOUNDATION EXCAVATIONS SHOULD BE OBSERVED BY THE GEOTECH ENGINEER OF RECORD AFTER EXCAVATION, BUT PRIOR TO PLACING REINFORCING STEEL OR FORMS
5. ALL CONSTRUCTION DIMENSIONS SHOULD BE VERIFIED WITH THE ARCHITECTURAL SET OF PLANS
6. INTERIOR, NON-BEARING, NON-SHEAR WALLS SHALL BE ANCHORED WITH HILTI SHOT PINS (ESR# 2379) @ 24" O/C MAX TO SLABS OR NAILED WITH 16d @ 12" O/C MAX TO WOOD FLOORS. ANCHORS SHALL BE CENTERED ON PLATE

SOIL NOTE

SOILS EXPANSION INDEX IS ASSUMED LOW
REPORT:
BY:
DATED:

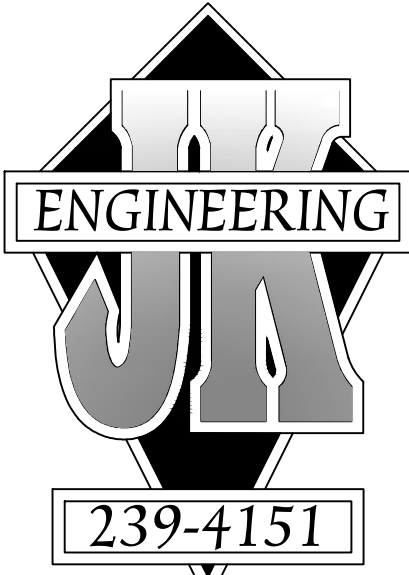
FOUNDATION DESIGN SOIL VALUES

BEARING = 1000 psf, ASSUMED
EXP. INDEX = MED, ASSUMED
**No On-site investigation performed by Struct. Eng'r.*

REFER TO THE "GENERAL SPECIFICATIONS FOR SOILS, FOUNDATIONS, CONCRETE AND REINFORCING" NOTES PROVIDED FOR ADDITIONAL SPECIFICATIONS TO BE PART OF THE FOUNDATION DRAWING PACKAGE.

PAD CERTIFICATION REQ'D

A SOIL or CIVIL ENGINEER TO DETERMINE GRADING PERFORMED IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE(S).



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ROBLES, CA.

PLAN PREPARED FOR:

RICHARD BURGETT
8155 CARRISA, HWY 58
SANTA MARGARITA, CA 93453

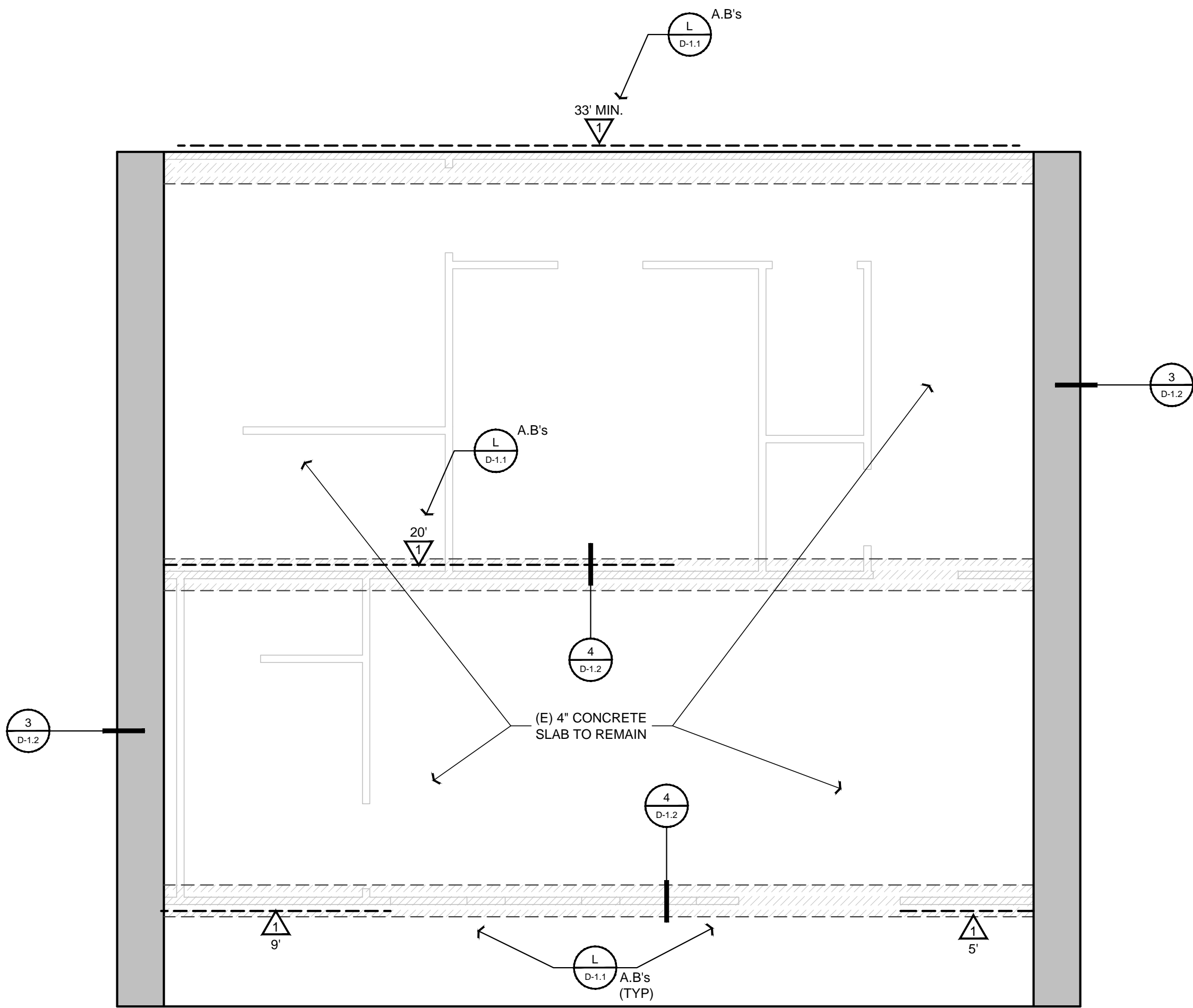
REVISION		LOG
REV.	DESCRIPTION	DATE

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PROJECT NO. ----
FILE NAME S-1.2 GREENHOUSE #2 FOUNDATION PLAN.DWG
DRAWN BY JB II
DATE 2/5/2018 9:46 AM
SHEET TITLE:
GREENHOUSE #2 FOUNDATION PLAN
SHEET NUMBER:

S-1.2

\\bldg\proj\tech\dwg\structural\found\growhouse\1. GROWHOUSE FOUNDATION PLAN.dwg Plot: Drawing 15/03/2017 2:46:07 PM



GROWHOUSE LOFT FOUNDATION PLAN

1/4" = 1'

FOUNDATION NOTES

1. CONCRETE TO WITHSTAND 2500 PSI WITHIN 28 DAYS
2. REFER TO FRAMING PLAN FOR EXACT PLACEMENT OF HOLDDOWNS
3. ALL HOLDDOWNS TO BE PLACED IN CONCRETE PRIOR TO INSPECTION
4. FOUNDATION EXCAVATIONS SHOULD BE OBSERVED BY THE GEOTECH ENGINEER OF RECORD AFTER EXCAVATION, BUT PRIOR TO PLACING REINFORCING STEEL OR FORMS
5. ALL CONSTRUCTION DIMENSIONS SHOULD BE VERIFIED WITH THE ARCHITECTURAL SET OF PLANS
6. INTERIOR, NON-BEARING, NON-SHEAR WALLS SHALL BE ANCHORED WITH HILTI SHOT PINS (ESR# 2379) @ 24" O/C MAX TO SLABS OR NAILED WITH 16d @ 12" O/C MAX TO WOOD FLOORS. ANCHORS SHALL BE CENTERED ON PLATE

SOIL NOTE

SOILS EXPANSION INDEX IS MED
REPORT: 18080
BY: MID-COAST GEOTECHNICAL, INC.
DATED: JANUARY 28th, 2018

ANCHOR BOLT NOTE

2 X SILL PLATE -----> USE 5/8" DIAMETER X 10" MIN. ANCHOR BOLTS
3 X SILL PLATE -----> USE 5/8" DIAMETER X 12" MIN. ANCHOR BOLTS

ANCHOR BOLTS SHALL BE EMBEDDED 7" MINIMUM INTO PERIMETER FOOTING AND SPACED AT 4 FEET MAX. ON CENTER UNLESS NOTED OTHERWISE ON SHEAR WALL SCHEDULE. BOLTS SHALL BE A MAXIMUM OF 12" FROM SILL ENDS AND SPLICES WITH A MINIMUM OF 2 BOLTS PER SPLICE. USE 3" X 3" X 0.229" THICK FLAT PLATE WASHERS AT EACH ANCHOR BOLT.

CONCRETE NOTE

CONCRETE SLAB SHALL BE 4" THICK MINIMUM WITH #3 BARS @ 18" O/C. EACH WAY OVER 2" CLEAN COMPACTED FREE DRAINING SAND OVER A VAPOR RETARDER CONFORMING TO ASTM E 1643-11 (10 MIL VISQUEEN OR APPROVED EQUAL). VAPOR RETARDER TO BE PLACED OVER 6" CLEAN FREE DRAINING MATERIAL. SET REINFORCEMENT AT MID DEPTH OF SLAB. FOOTINGS SHALL BE DIMENSIONED AND REINFORCED PER TABLE BELOW, UNLESS NOTED OTHERWISE ON FOUNDATION PLANS. DEPTH OF FOOTINGS SHALL BEGIN AT COMPETENT MATERIAL, WHICH MAY NOT BE THE SAME AS FINISHED GRADE. REINFORCEMENT SHALL BE CONTINUOUS TOP AND BOTTOM. USE #3 REINFORCEMENT BAR SET 3" MINIMUM ABOVE BOTTOM OF FOOTING AND BENT 3'-0" MINIMUM INTO SLAB.

PREMOISTENING CONTROL FOR SOILS UNDER FOOTINGS AND SLABS SHALL BE TO 120% OF OPTIMUM MOISTURE CONTENT TO A DEPTH OF 21" BELOW LOWEST GRADE. TESTING REQUIRED. AFTER PREMOISTENING, THE SPECIFIED MOISTURE CONTENT OF THE SOILS SHALL BE MAINTAINED UNTIL CONCRETE IS PLACED. REQUIRED MOISTURE CONTENT SHALL BE VERIFIED BY AN APPROVED TESTING LABORATORY NOT MORE THAN 24 HOURS PRIOR TO PLACEMENT OF CONCRETE. CONCRETE SLABS SHALL BE SAW CUT 3/4" DEEP @ 15" O/C. GRIDS WITHIN 24 HOURS OF SLAB POUR.

FTG DIMENSIONS & REINFORCEMENT					
NO. STORES	WIDTH W	DEPTH TH	BAR# TOP	BAR# BOT	
1	12"	18"	(1) #4	(1) #4	
2	15"	18"	(1) #5	(1) #5	
3	18"	18"	(1) #5	(1) #5	

FOUNDATION DESIGN SOIL VALUES

BEARING = 1000 psf, ASSUMED
EXP. INDEX = MED, ASSUMED

**No On-site investigation performed by Struct. Eng'r.*

REFER TO THE "GENERAL SPECIFICATIONS FOR SOILS, FOUNDATIONS, CONCRETE AND REINFORCING" NOTES PROVIDED FOR ADDITIONAL SPECIFICATIONS TO BE PART OF THE FOUNDATION DRAWING PACKAGE.

FOUNDATION CALLOUTS

1. 4" THICK x 36" WIDE CONCRETE PAD AT ALL EXTERIOR DOOR OVER 4" CLEAN COMPACTED FILL SAND, THICKEN AT PERIMETERS
2. CONCRETE PAD FOR A/C UNIT. 4" CONCRETE PAD OVER 4" CLEAN COMPACTED FILL SAND. THICKEN CONCRETE PAD AT PERIMETER.

PAD CERTIFICATION REQ'D

A SOIL or CIVIL ENGINEER TO DETERMINE GRADING PERFORMED IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE(s).

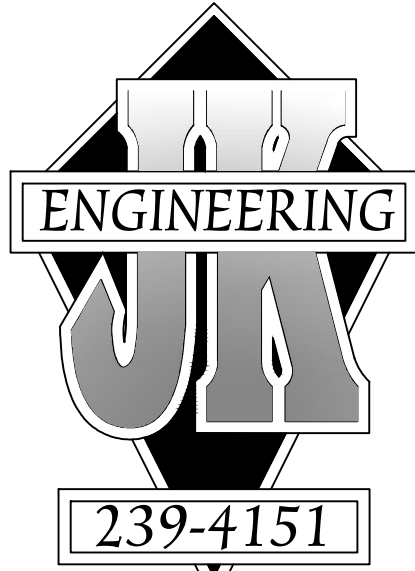
SHEAR WALL SCHEDULE							
MARK	SHEAR (psf)	MATERIAL	# OF SIDES	NAILING (E.N. F.N.)	TOP PLATE CONNECTOR	SILL PLATE NAILS AT SUBFLOOR	5/8" d A.B.'s w/ 2x sill (4) (5)
1	260	1532' CDX (IDF 240)	1	8d @ 6-12	A35 @ 24" o/c or 16d @ 8" o/c	16d @ 4" o/c (3)	48"
2	340	1532' CDX (IDF 240)	1	8d @ 4-12	A35 @ 18" o/c or 16d @ 4" o/c	16d @ 3 1/2" o/c (3)	42"
3	380	1532' CDX (IDF 240)	1	8d @ 4-12	A35 @ 12" o/c or 16d @ 4" o/c	16d @ 3" o/c (3)	18"
4	490	1532' CDX (IDF 240)	1	8d @ 3-12	A35 @ 10" o/c or 16d @ 3" o/c	"SDS" @ 8" o/c ++	36"
5	520	1532' CDX (IDF 240)	2	8d @ 6-12	A35 @ 9" o/c or 16d @ 2 1/2" o/c	"SDS" @ 8" o/c ++	12"
6	600	1532' CDX (IDF 240)	1	10d @ 3-12	A35 @ 9" o/c	"SDS" @ 8" o/c ++	9"
7	760	1532' CDX (IDF 240)	2	8d @ 4-12	A35 @ 8" o/c or LTP4 @ 10" o/c	"SDS" @ 4" o/c ++	- 3x Sill Req. - 24"
8	870	1932' CDX (IDF 240)	1	10d @ 2-12	A35 @ 8" o/c or LTP4 @ 8" o/c	"SDS" @ 4" o/c ++	- 3x Sill Req. - 21"
9	990	1932' CDX (IDF 240)	2	10d @ 4-12	A35 @ 5 1/2" o/c or LTP4 @ 8" o/c	"SDS" @ 3" o/c ++	- 3x Sill Req. - 18"
SSWSW	---	Simpson Strongwall As Specified	---	---	A35 @ 5 1/2" o/c or LTP4 @ 8" o/c	---	Use Template Refer to Simpson Catalogue

LEGEND:

- STAGGER NAILS AT OPPOSITE SIDE OF WALL.
++ USE SIMPSON WOOD SCREWS, SDS 28x12 FOR 2X & SDS 26x10 FOR 3X SILLS. PRE-DRILL ALL HOLES TO BLOCKING BELOW.
+ STUDS SHALL BE 3X MINIMUM AT ADJOINING (COMMON) PANEL EDGES (SEE BELOW).

NOTES:

1. ALL WALLS TO BE FULLY BLOCKED.
2. REFER TO "VERTICAL DIAPHRAGM NOTES" FOR MATERIAL AND APPLICATION SPECIFICATIONS.
3. ALL NAILS SPECIFIED ARE COMMON, WHERE "AIR-GUN" NAILING IS USED, CARE SHALL BE TAKEN TO USE TRUE COMMON NAIL EQUIVALENTS REGARDING DIAMETER AND LENGTH. (6d COMMON = 0.1315" X 2.5" lg, 10d = 0.1485" x 3" lg, 16d = 0.1625" x 3.5" lg) TOE NAILING IS NOT ALLOWED FOR SHEAR WALLS.
4. PROVIDE 3" X 3" X 1/4" (SIMPSON BPS 5-B-3) SQ. FLAT WASHERS AT ALL ANCHOR BOLTS.
5. USE 5/8" DIAMETER ANCHOR BOLTS AT 48" O/C BETWEEN SHEAR WALLS.
6. FOR WALLS BEARING TRUSSES OR FLOOR JOISTS, ONE H-1 CLIP, FROM TRUSS TO JOIST TO TOP PLATE, MAY BE USED IN PLACE OF ONE A-35 TOP PLATE CONNECTOR.
7. 1532' OSB, APA APPROVED SHEATHING MAY BE USED IN PLACE OF 1532' CDX.



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REVISION LOG

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PROJECT NO. ----

FILE NAME S-1.1 GROWHOUSE FOUNDATION PLAN.DWG
JEB II

DATE 2/5/2018 9:46 AM

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GROWHOUSE
FOUNDATION
PLAN

SHEET NUMBER:

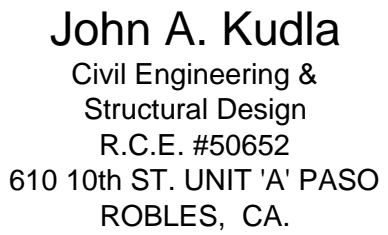
S-1.3



SECTION PLAN

$$1/4'' = 1'$$

- 1) USE 4X12 #2 or 6X10 #1 HEADERS AT ALL EXTERIOR AND INTERIOR
KNEEWALL WALLS. (U.O.N.)
- 2) SPLICE ALL TOP PLATES WITH (15) 16d NAILS AT
EACH 4'-0" (MIN.) LAP AT SHEARWALL LINES PER
- 3) WALL STUDS: **2X4 #2 @ 16" o/c** MAX HEIGHT = **9'-6"**
2X6 #2 @ 16" o/c MAX HEIGHT = **15'-6"**
- 4) NAIL DOUBLE MEMBERS WITH (2) ROWS OF 16d NAILS AT 12" o/c.
- 5) CEILING JOISTS (WHERE REQUIRED) SHALL BE PER CBC TABLE 2303.10.2.
- 6) FLOOR JOISTS SHALL BE OF THE SPECIFIED SIZES MEET ALL REQUIRED
CODE DEFLECTION LIMITS. IN ORDER TO ACHIEVE A "STIFF" FLOOR, THE
OWNER/BUILDER MAY CHOOSE TO USE JOISTS ONE SIZE DEEPER THAN
SHOWN. CARE SHALL BE TAKEN TO USE PROPER HARDWARE. CONTACT
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PROJECT NO. ----

FILE NAME S-2.1 GREENHOUSE #1 FRAMING
PLAN.DWG

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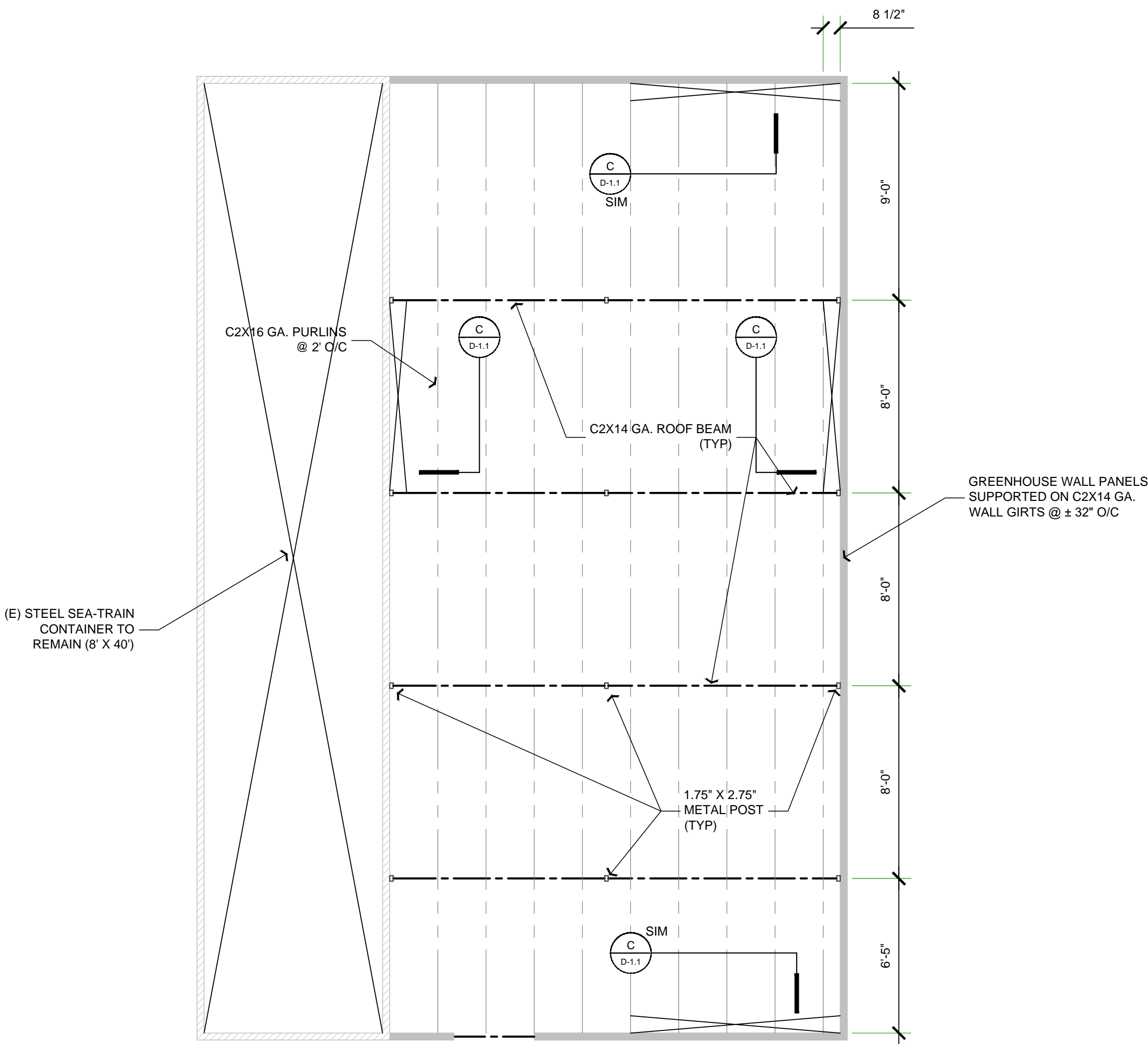
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**GREENHOUSE
#1 FRAMING
PLAN**

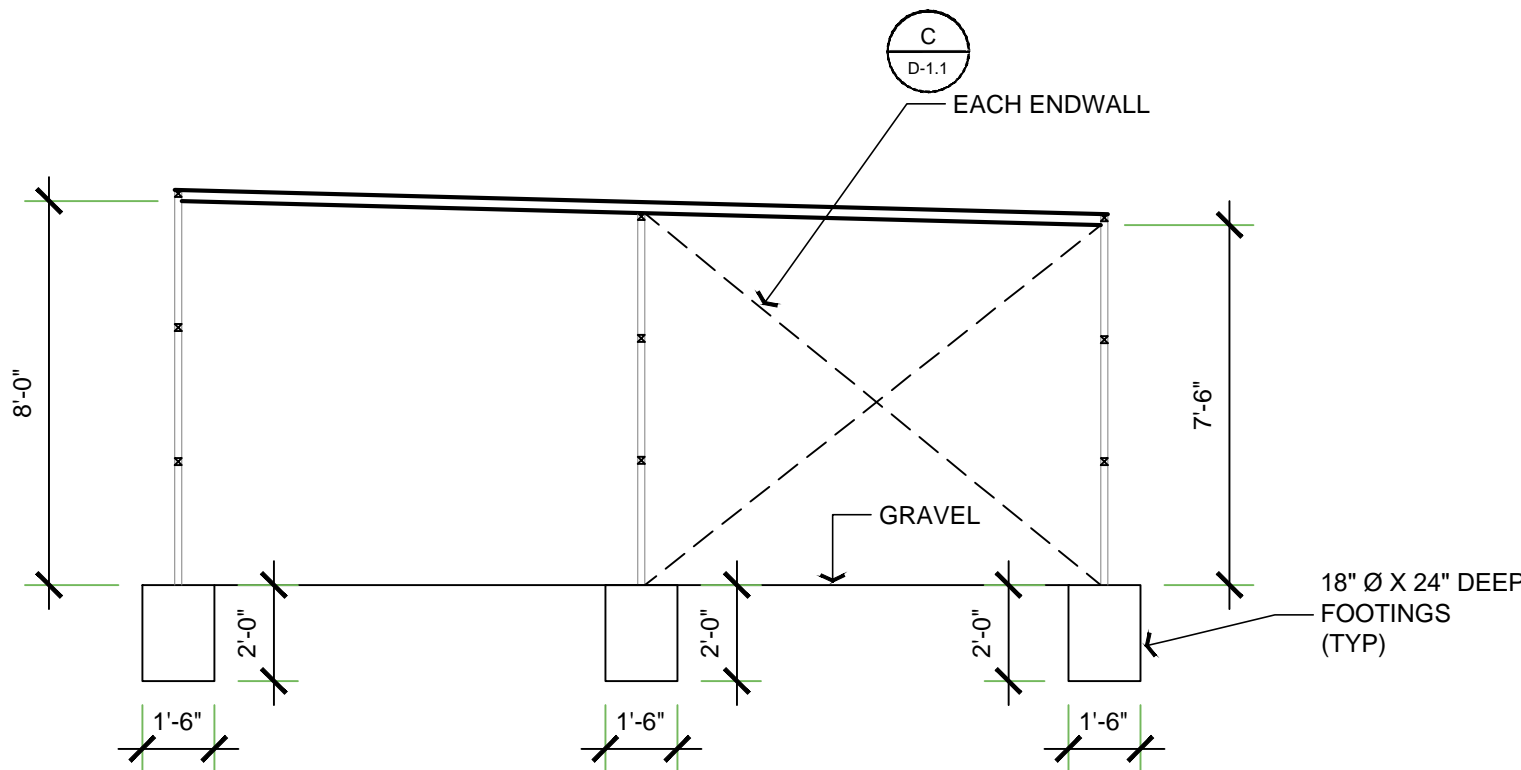
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S-2.1

\\drawing\projects\2018\greenhouse\2.2 GREENHOUSE #2 FRAMING PLAN.dwg User: jkudla Date: 2/5/2018 9:47 AM



GREENHOUSE #2 FRAMING PLAN
1/4" = 1'



SECTION PLAN
1/4" = 1'

FRAMING CALLOUTS

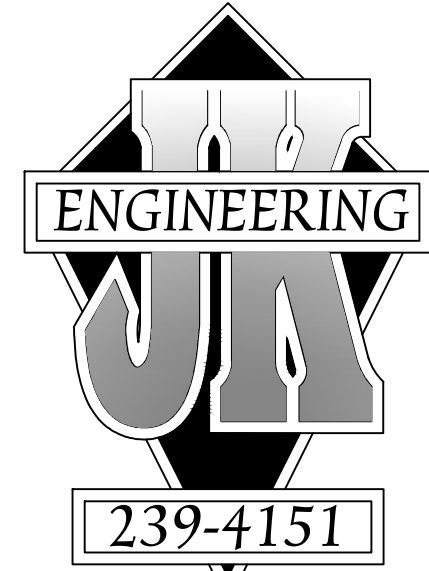
- A. 1000S162-97 CEILING JOISTS @ 16" O/C W/ 1 1/2" PLY PER FRAMING CALLOUTS
B. 2x4 DBL 600S137-43 METAL STEEL STUD
C. 2x8 DBL 600S162-43 METAL STEEL STUD
D. 1/2" GYPSUM BOARD

SHEAR WALL BRACING SCHEDULE

34 MARK	DIAGONAL STRAP SIZE & GAUGE	DIAGONAL STRAP CONNECTION	TRMR, TOP & BOT TRAC CONEC. @ STRAP	BOTTOM TRAC TO FOUNDATION
2370#	4" WIDE x 22 GA	(7) #10x3/4" SCREWS	N/A	1/2"Ø AB @ 32" O/C (MIN 2' WALL) OR .177"Ø 1/2" POWER PIN @ 16" O/C (MIN 4' WALL)

- FOOTNOTES:**
- SEE PLANS FOR LOCATION OF WALL BRACES, THESE LOCATIONS SHALL NOT BE MOVED
 - ALL WALL BRACE LENGTHS ARE PER PLANS
 - ALL WALL BRACE HEIGHTS ARE FROM TOP TRAC TO FOUNDATION UNLESS NOTED "2 TIER" ON PLANS
 - THE HEIGHT OF MULTIPLE TIER BRACING PANELS SHALL BE EQUAL
 - STRAP INTERSECTIONS DETAILS AS CALLED OUT ON PLANS
 - POWER PINS: HLT.I DS HEAVY DUTY PINS (D352P10)
 - BOT TRAC TO FOUNDATION PINS OR BOLTS MUST BE WITHIN DIAGONAL BRACED BAY
 - DIAGONAL STRAP MATERIAL: Fy = 33 KSI MIN, CORROSION RESISTANT
 - SCREWS BY ITW BUILDEX: HEX HEAD #10-16 x 1/2" #1 SELF DRILLING (PART 1107053)

1. DTT22 W/ (8) #14 SCREWS TO STEEL STUD AND 1/2" Ø X 6" LONG TITEN HD BOLT TO CONCRETE SLAB



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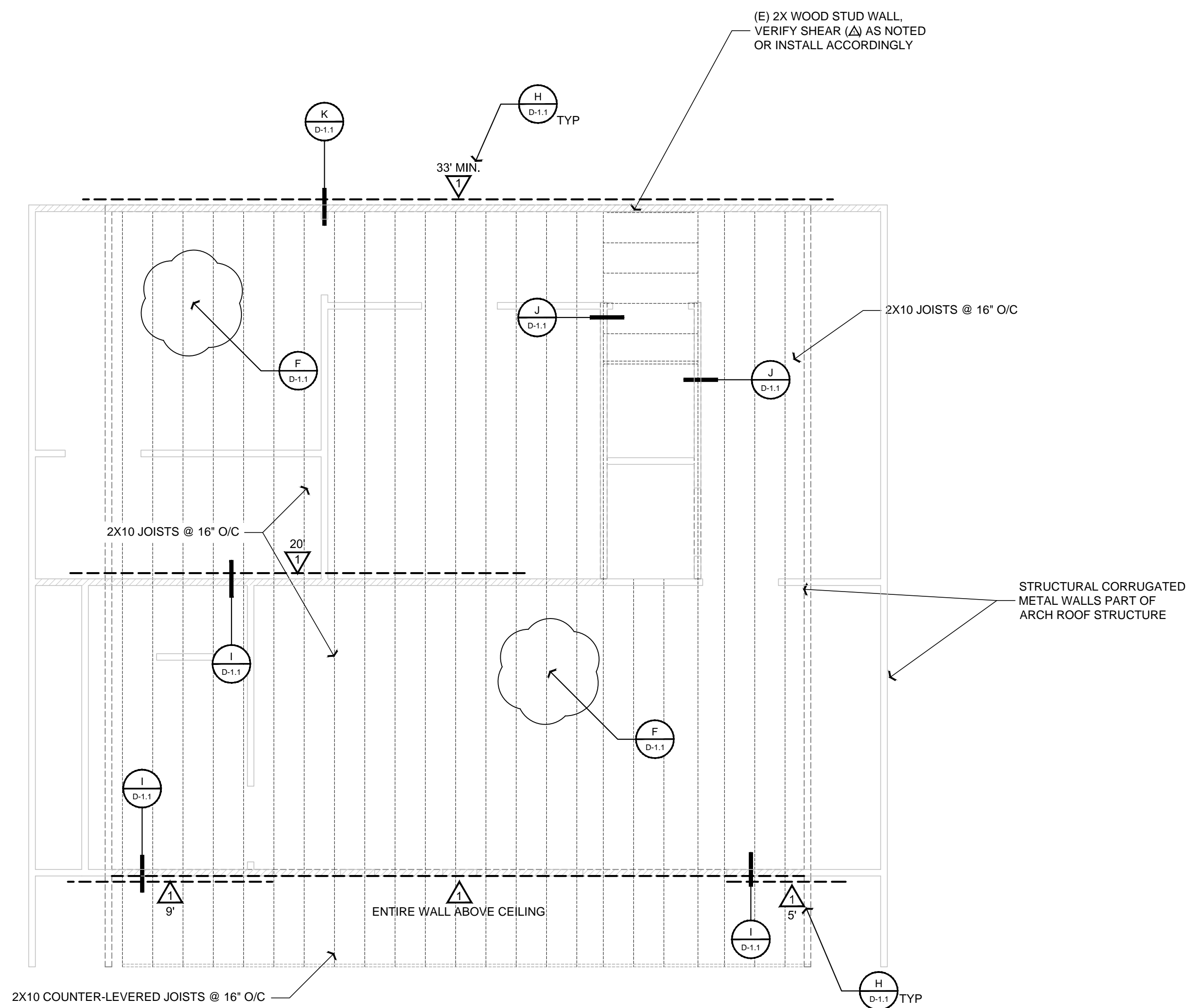
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FILE NAME S-2.2 GREENHOUSE #2 FRAMING
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SHEET TITLE:
**GREENHOUSE
#2 FRAMING
PLAN**

SHEET NUMBER:

S-2.2



GROWHOUSE LOFT FRAMING PLAN

$$1/4'' = 1'$$

FRAMING NOTES

1. ALL HEADERS ABOVE OPENINGS AT BEARING WALLS ARE DEPICTED WITH LINEWORK AND SHALL BE A MINIMUM (U.O.N.):
4 X 12 DF #2 AT 2 X 4 STUD WALLS
6 X 12 DF #1 AT 2 X 6 STUD WALLS
2. ALL TOP PLATES TO HAVE 60# NAIL LAP AT SPICES WITH (32) 16d NAILS STAGGERED PER CONNECTION (U.O.N.)
3. USE 3/4" OSB PLYWOOD FLOOR SHEATHING (SPAN ENDEX 40/20) GLUED AND Nailed with 10d at 6-6-12" O.C. CASE 1 LAYOUT.
4. ALL LUMBER SHALL BE IDENTIFIED WITH THE GRADE MARK AND STAMP OF THE GRADING ASSOCIATION OF THE SPECIES AND UNDER WHOSE GRADING RULES THE LUMBER WAS PRODUCED.
5. THE MANUFACTURERS A.I.T.C. CERTIFICATION OF COMPLIANCE FOR GLU-LAM BEAMS OR MICRO-LAM BEAMS IS TO BE PROVIDED AT THE TIME OF FRAMING INSPECTION AND PROPERLY INDICATE THE FIBER BENDING AND GRADE SPECIFICATION.
6. PLACE SHEAR PANEL ON SHEAR WALLS PRIOR TO THE CONSTRUCTION OF INTERSECTING WALLS.
7. PROVIDE FIRE STOPS IN CONCEALED SPACES OF STUD WALLS INCLUDING SPACES AT CEILING AND FLOORS & IN OPENINGS AROUND DUCTS, PIPES, CHIMNEYS, AND SIMILAR OPENINGS WHICH ALLOW PASSAGE OF FIRE.
8. PROVIDE AREA WALLS WITH 1/2" MINIMUM THICKNESS WITH NON-ABSORBENT, HARD SURFACE TO A HEIGHT OF 70" ABOVE DRAIN LINE. (CBC 1210.3)
9. ALL INT. NON-BEARING WALLS = 2X4 AT 16" O.C. (U.O.N.)
10. ALL EXTERIOR AND PLUMBING WALLS = 2 X 6 STUDS AT 16" O.C. (U.O.N.)



FRAMING NOTES

1. USE 4X12 #2 OR 6X10 #1 HEADERS AT ALL EXTERIOR AND INTERIOR BEARING WALLS. (U.O.N.)
2. SPLICE ALL TOP PLATES WITH (15) 16d NAILS AT EACH 4'-0" (MIN.) LAP AT SHEARWALL LINES PER WALL STUDS: **2X4 #2 @ 16" o/c MAX HEIGHT = 9'-6"**
2X6 #2 @ 16" o/c MAX HEIGHT = 15'-6"
3. NAIL DOUBLE MEMBERS WITH (2) ROWS OF 16d NAILS AT 12" o/c.
4. CEILING JOISTS (WHERE REQD) SHALL BE PER CBC TABLE 2308.10.2.
5. FLOOR JOISTS, THOUGH THE SPECIFIED SIZES MEET ALL REQUIRED CODE DEFLECTION LIMITS, IN ORDER TO ACHIEVE A "STIFF" FLOOR, THE OWNER/BUILDER MAY CHOOSE TO USE JOISTS ONE SIZE DEEPER THAN SHOWN. CARE SHALL BE TAKEN TO USE PROPER HARDWARE. CONTACT ENGINEER FOR MORE INFO

STRUCTURAL LEGEND and NOTES

INSTALL 3/4" CD-X FLOOR SHEATHING AT HORIZONTAL DIAPHRAGMS PER
"LATERAL NOTES AND REQUIREMENTS" ON DETAIL SHEET ____, AND INSTALL
PER DETAIL (F)

1
D-1.1

 = REFERS TO SHEARWALL SCHEDULE FOR MATERIAL, NAILING
HARDWARE, AND ANCHOR BOLT SPECS.
INSTALL PER DETAIL 

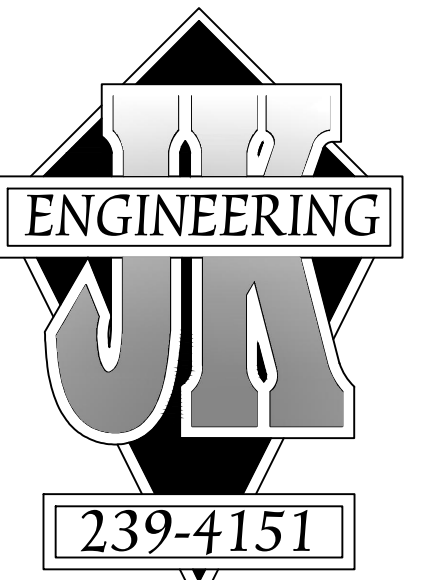
MARK		SHAPE (in ft)	MATERIAL	# OF SIDES	NAILING (in ft)	TOP PLATE CONNECTION	SILL PLATE NAILS AT SUBFLOOR	5/8" d A.B.s, w/ 2x sill (in ft)	5/8" d A.B.s, w/ 3x sill (in ft)
1	260		1532 ³ CDX (ID# 240)	1	8 @ 6" - 12"	A35 16" 8" o/c or 16d @ 2" o/c	16d @ 3" o/c (3)	48"	48"
2	340		1532 ³ CDX (ID# 240)	1	8 @ 4" - 12"	A35 18" 18" o/c or 18d @ 4" o/c	16d @ 3" o/c (3)	42"	48"
3	380		1532 ³ CDX (ID# 240)	1	8 @ 4" - 12"	A35 12" 17" o/c or 16d @ 4" o/c	16d @ 3" o/c (3)	18"	48"
4	490	+	1532 ³ CDX (ID# 240)	1	8 @ 3" - 12"	A35 16" 10" o/c or 16d @ 3" o/c	"SDS" @ 8" o/c ++	12"	36"
5	520		1532 ³ CDX (ID# 240)	2	8 @ 6" - 12"	A35 18" 9" o/c or 16d @ 2" o/c	"SDS" @ 6" o/c ++	12"	32"
6	600	+	1532 ³ CDX (ID# 240)	1	10d @ 6" - 12"	A35 8" 9" o/c ++	"SDS" @ 6" o/c ++	9"	30"
7	760	+	1532 ³ CDX (ID# 240)	2	8 @ 4" - 12"	A35 8" 8" o/c or LT14 @ 10" o/c	"SDS" @ 4" o/c ++	- 3x Sill Req. -	24"
8	870	+	1932 ³ CDX (ID# 240)	1	10d @ 4" - 12"	A35 12" 8" o/c or LT14 @ 8" o/c	"SDS" @ 4" o/c ++	- 3x Sill Req. -	21"
9	990	+	1932 ³ CDX (ID# 240)	2	10d @ 4" - 12"	A35 5" 7" o/c or LT14 @ 8" o/c	"SDS" 3" 8" o/c ++	- 3x Sill Req. -	18"
SSW5W	----	----	Simpson Strongwall As Specified	----	----	A35 5" 7" o/c or LT14 @ 8" o/c	-----	Use Template	Refer to Simpson Catalog

LEGEND:

* STAGGER NAILS AT OPPOSITE SIDE OF WALL.
++ USE SIMPSON WOOD SCREWS, SDS 25412 FOR 2X & SDS 25600 FOR 3X SILLS, PRE-DRILL ALL HOLES TO BLOCKING BELOW.
+ STUDS SHALL BE 3X MINIMUM AT ADJOINING (COMMON) PANEL EDGES (SEE BELOW).

NOTES

1. ALL WALLS TO BE FULLY BLOCKED.
2. REFER TO VERTICAL DIAPHRAGM NOTES FOR MATERIAL AND APPLICATION SPECIFICATIONS.
3. ALL WALLS SPECIFIED ARE COMMON. WHERE "1R-G" WALLING IS USED, SHEAR IS TAKEN TO BE TRUE COMMON WALL. WALLS REGARDING DIAMETER AND LENGTH: (8d) (SIMPSON) 1" X 13" X 2.5", 104 = 14d @ 3' X 3', 16d = 16d @ 3.5' X 3'.
4. TOE NAILING IS NOT ALLOWED FOR SHEAR WALLS.
5. PROVIDE 3" X 3" X 1/4" (SIMPSON BOLTS #8) @ 3' X 1/4" FLAT WASHERS AT ALL ANCHOR BOLTS.
6. USE 3/8" DIAMETER ANCHOR BOLTS AT 48" ON CENTER BETWEEN SHEARWALLS.
7. FOR SHEARING TRUSSES OF FLOOR JOISTS, ONE 1" X 1" C.L.P. FROM TRUSS TO JOIST TO TOP PLATE, MAY BE USED IN PLACE OF ONE A-36 TOP PLATE CONNECTOR.
8. 1502/ OSB APPROVED SHEATHING MAY BE USED IN PLACE OF 1503/ CD.



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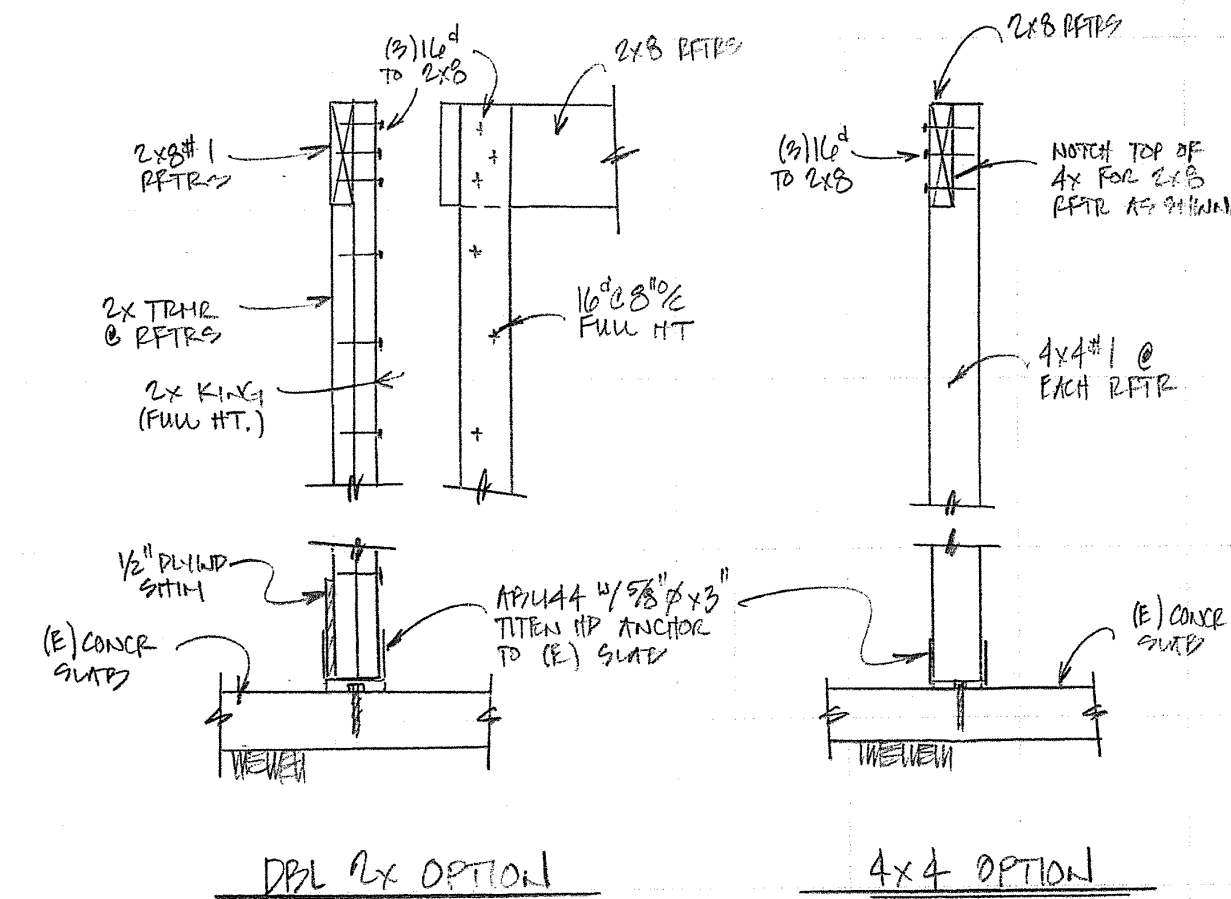
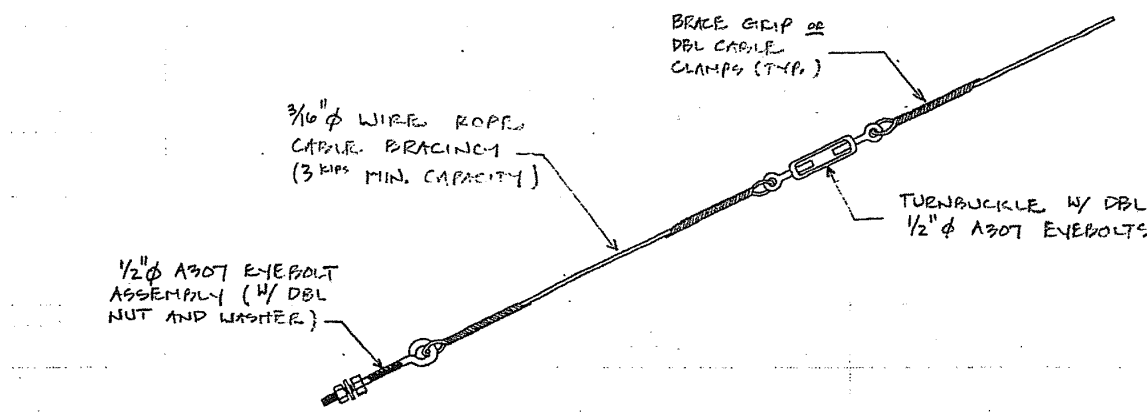
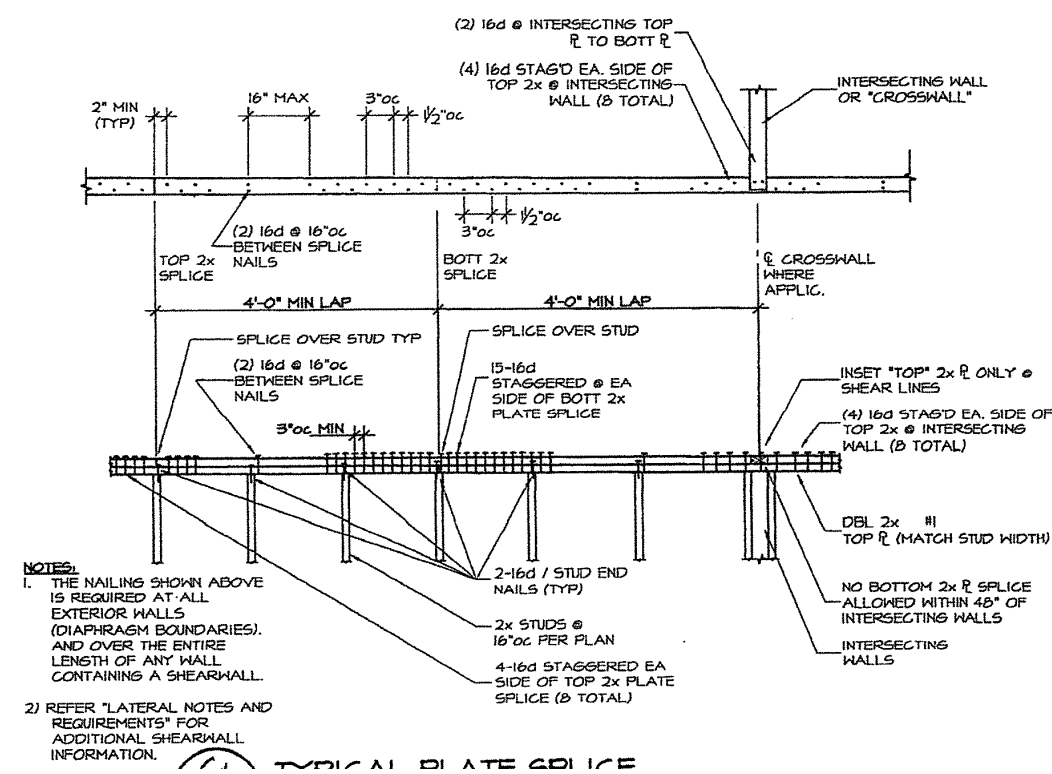
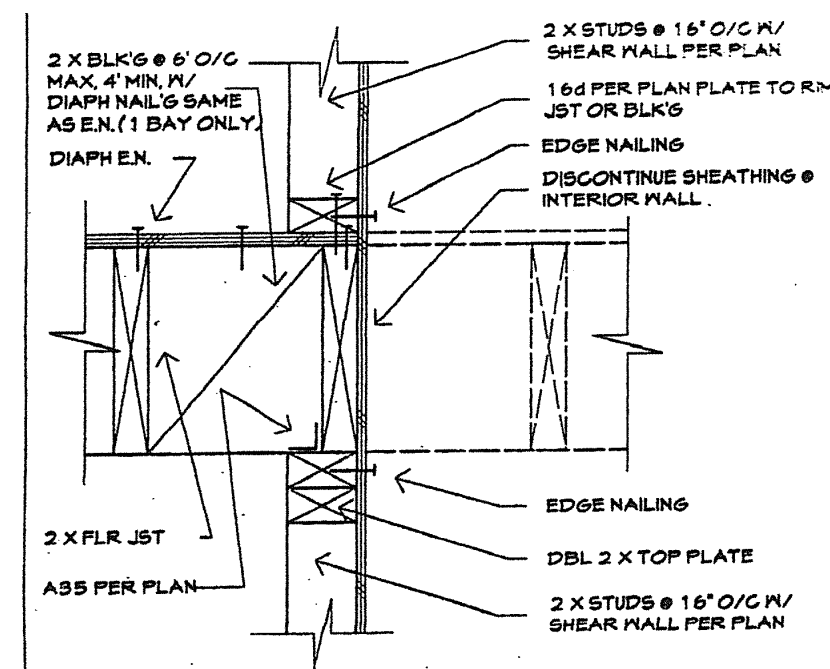
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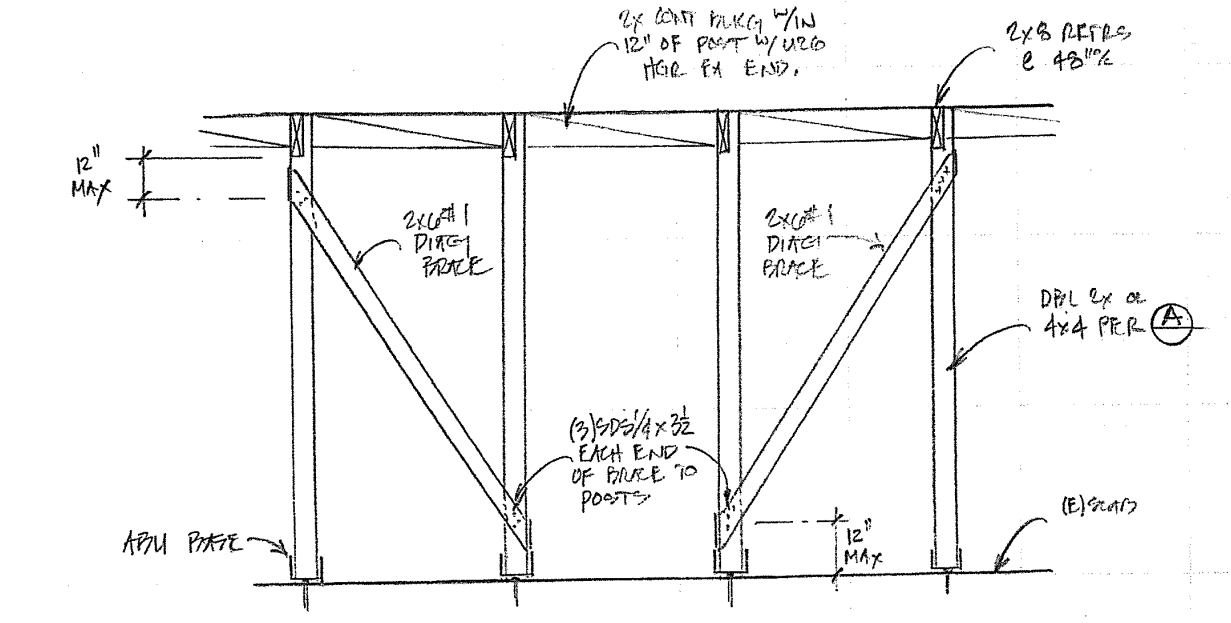
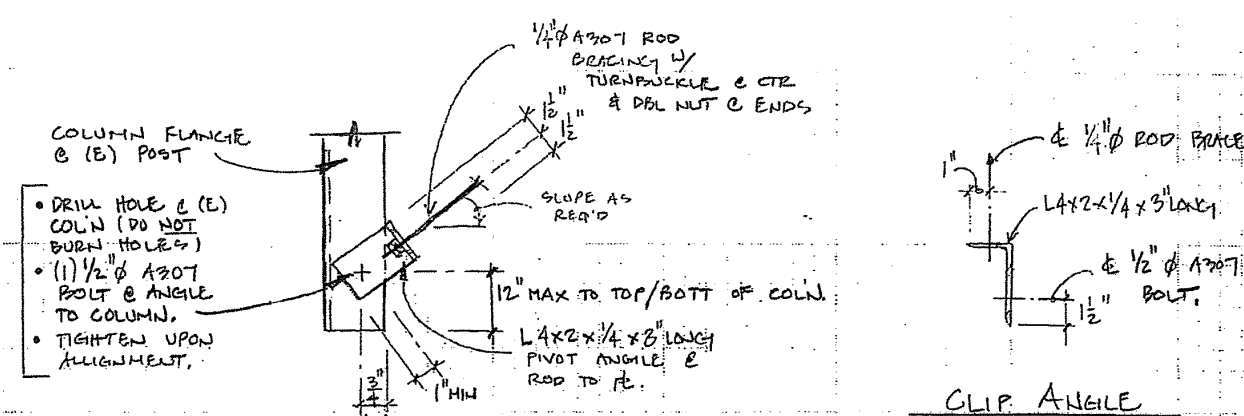
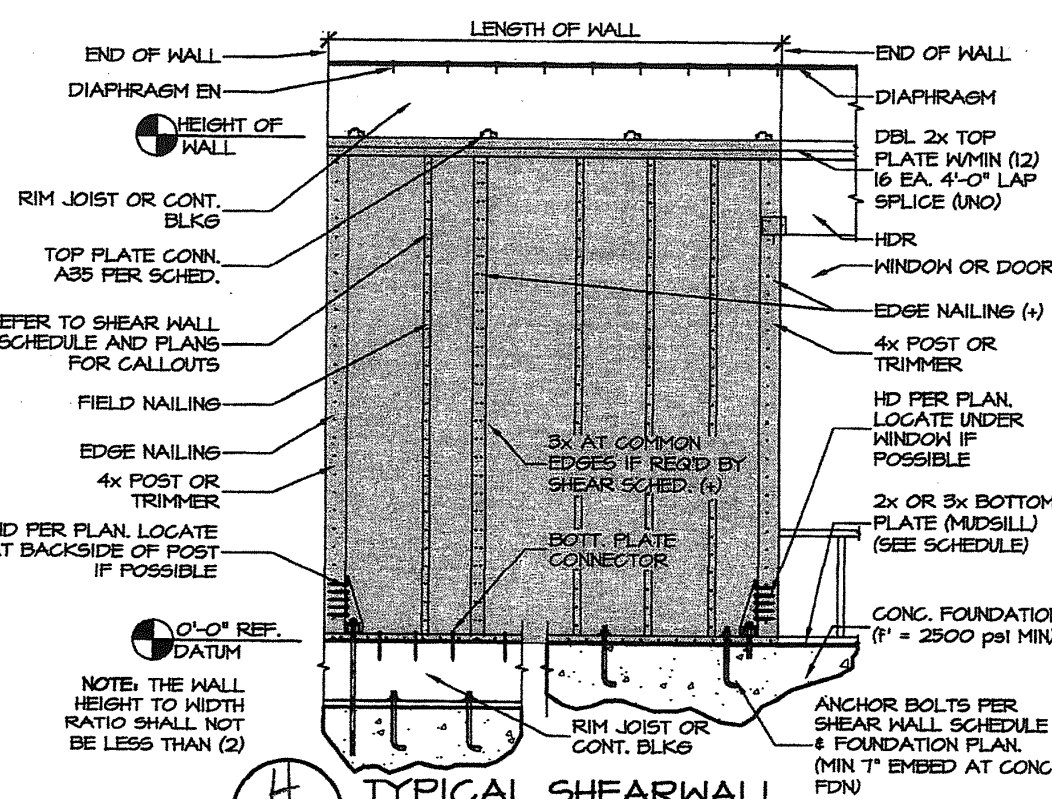
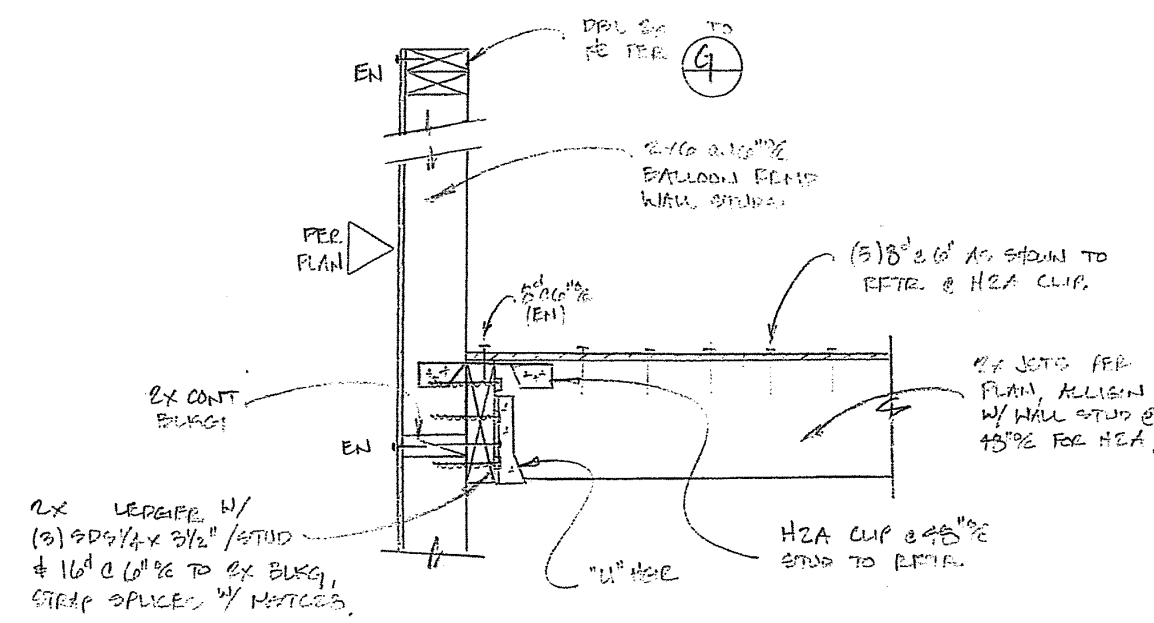


J	FLOOR TO WALL
---	---------------

G	TYPICAL PLATE SPLICE
---	----------------------

D	CABLE BRACE OPTION
---	--------------------

A	RAFTER SUPPORT
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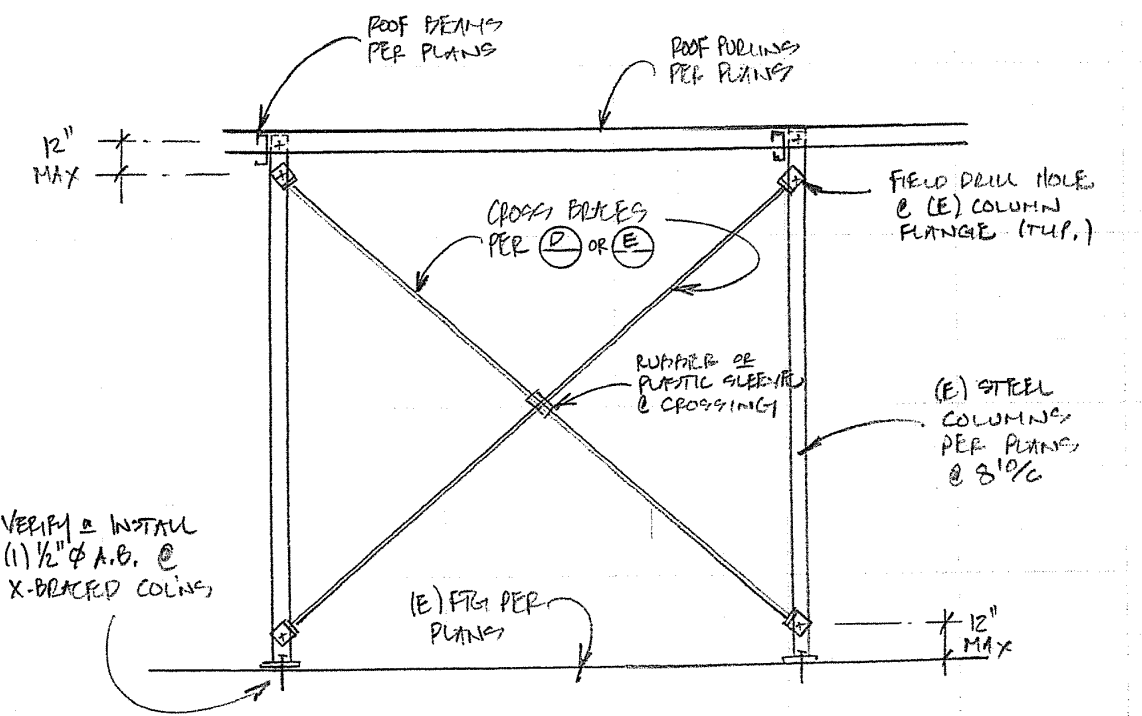
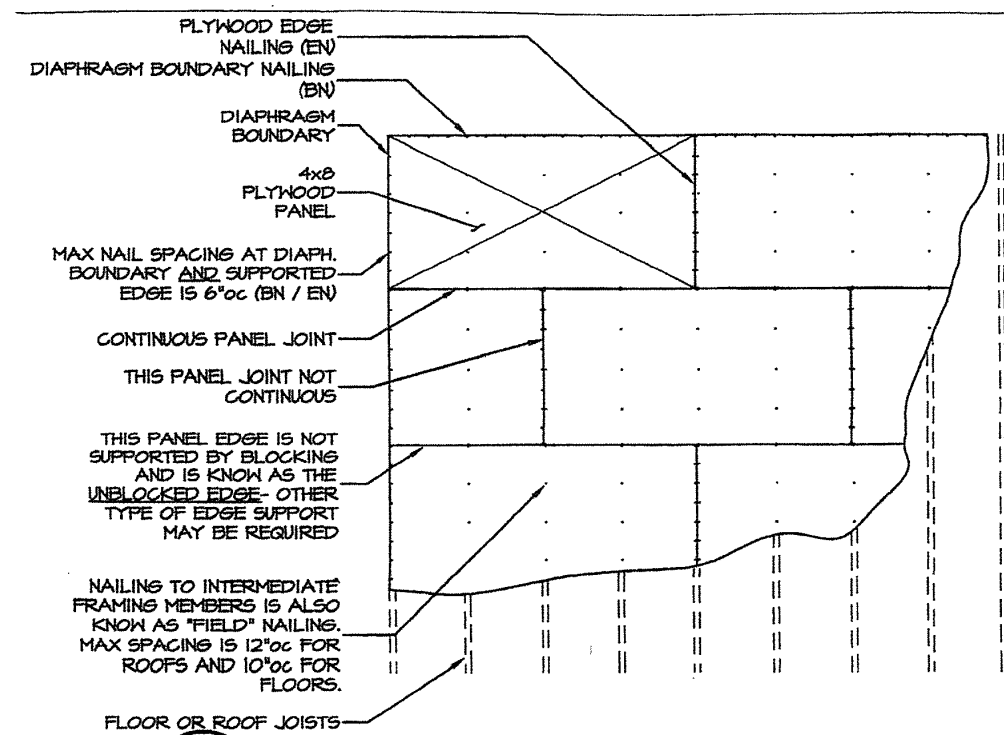
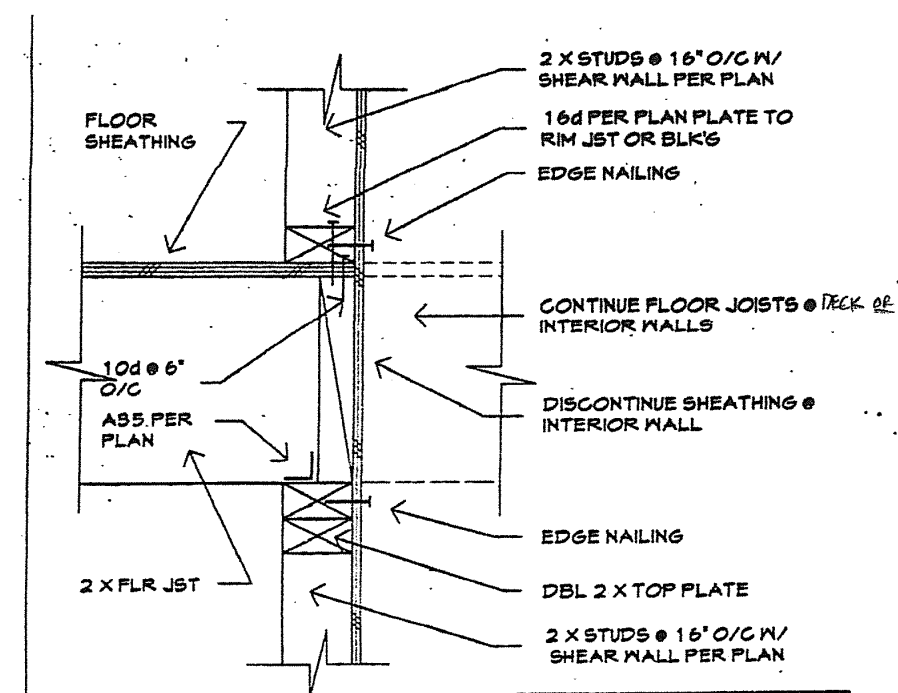
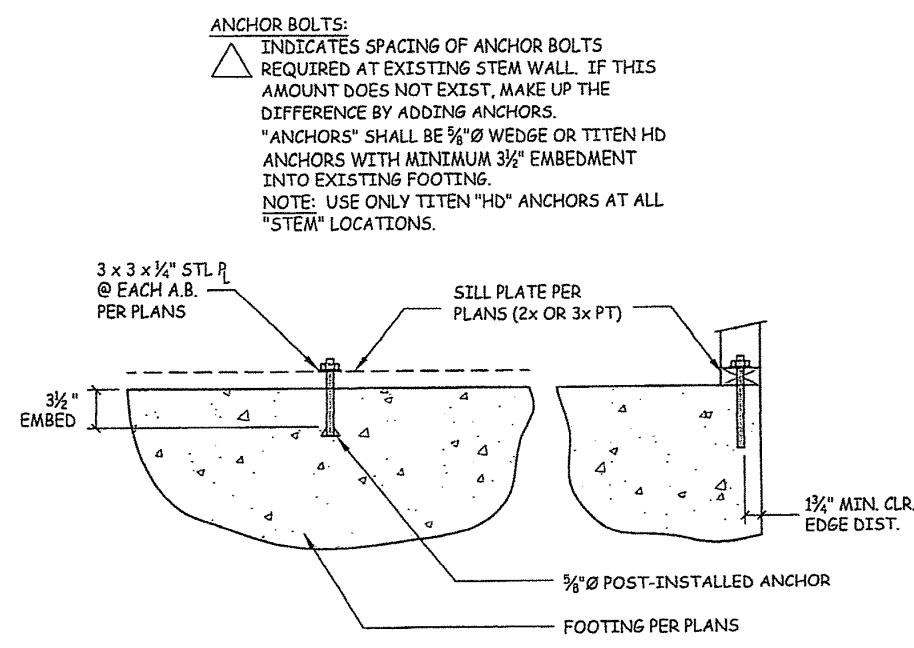


K	FLOOR TO WALL
---	---------------

H	TYPICAL SHEARWALL
---	-------------------

E	ROD BRACING
---	-------------

B	DIAG. BRACING
---	---------------

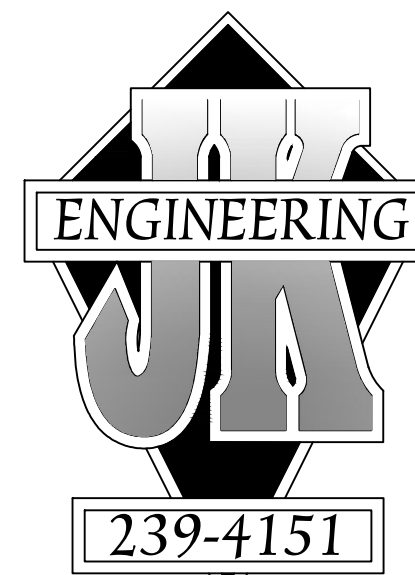


L	ANCHOR BOLT @ (E) FTG
---	-----------------------

I	FLOOR TO WALL
---	---------------

F	UNBLOCKING DIAPHRAGM
---	----------------------

C	STEEL CROSS BRACING
---	---------------------



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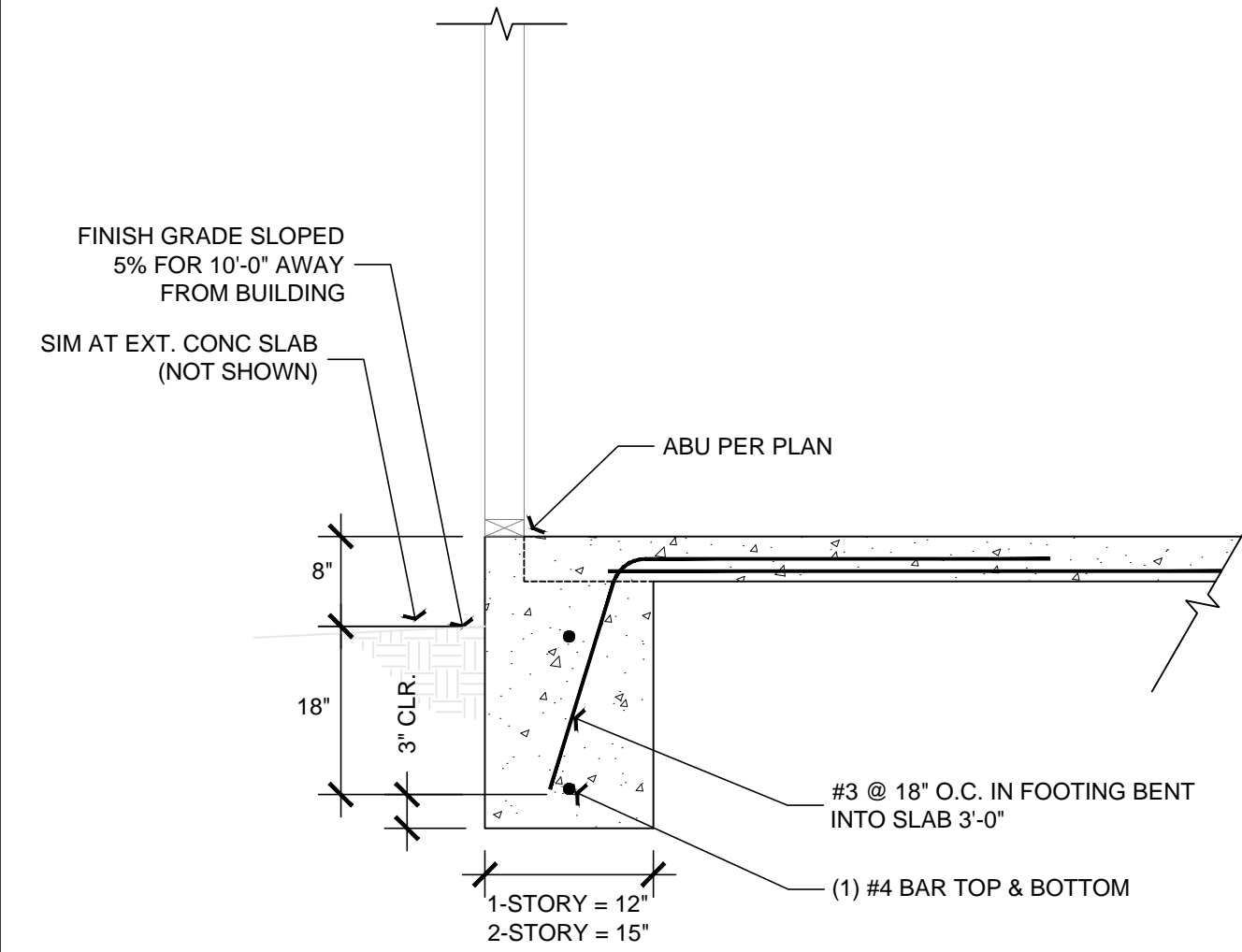
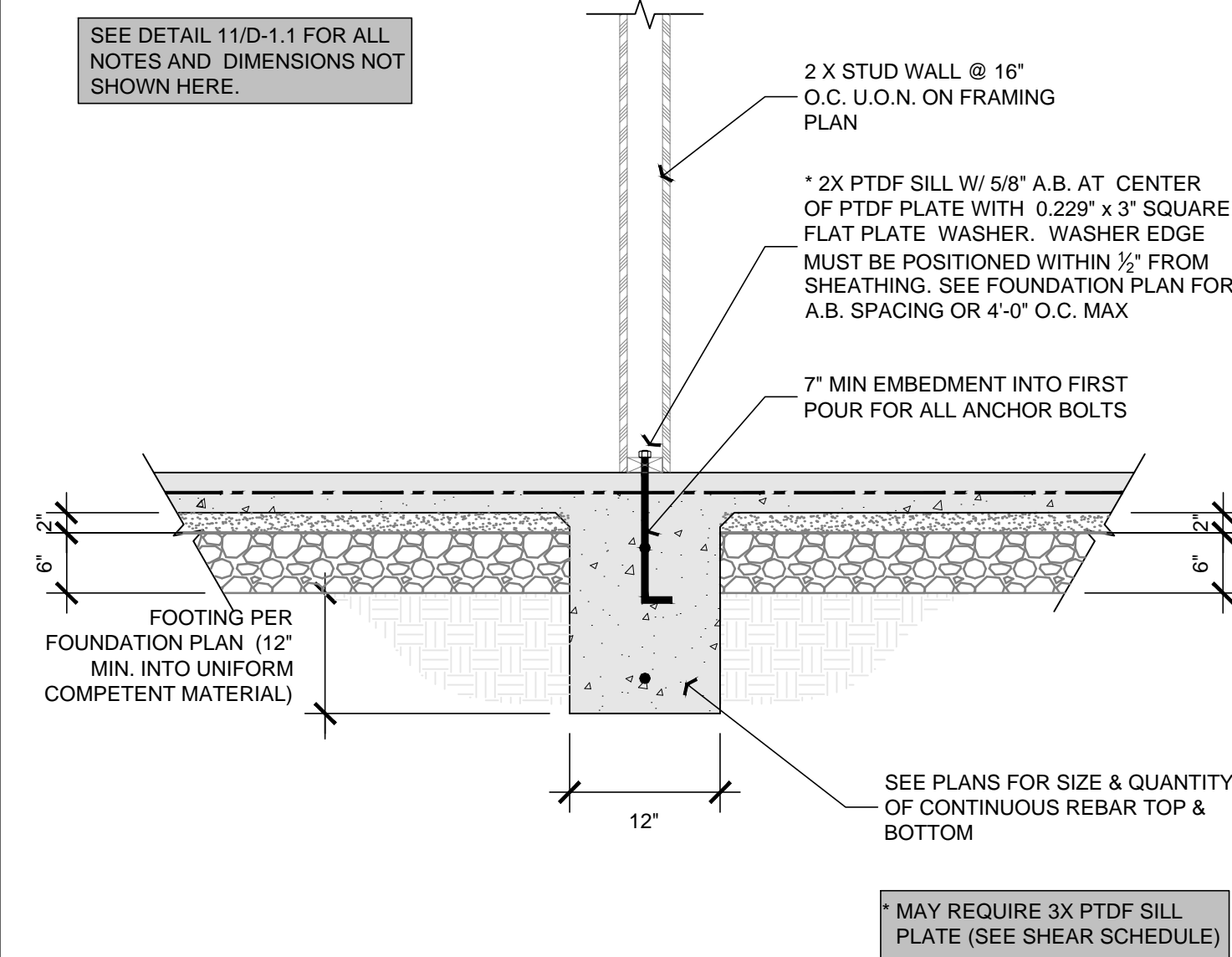
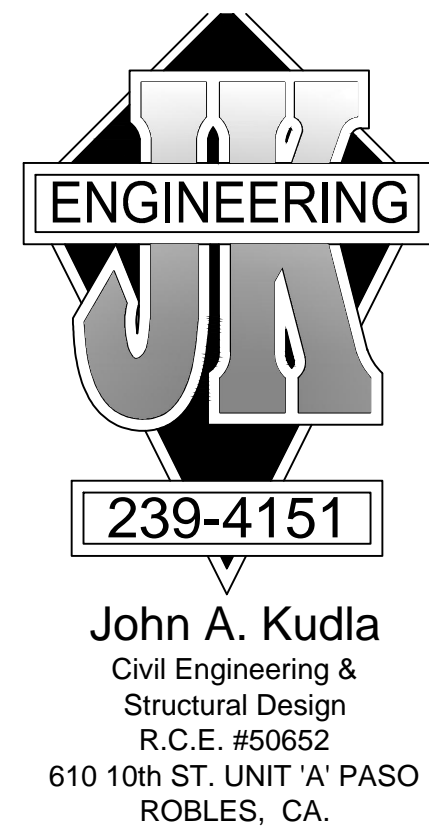
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PROJECT NO. ----
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SHEET TITLE:

DETAIL SHEET

SHEET NUMBER:

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