



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
TREVOR KEITH, *DIRECTOR*

THIS IS A NEW PROJECT REFERRAL

DATE: 9/11/2018
TO: 1st District Legislative Assistant, Building Division, Public Works,
Environmental Health, Sheriff, Templeton CSD, Templeton Advisory Group
FROM: Steven Orozco (sorozco@co.slo.ca.us or 805-788-2084)

PROJECT NUMBER & NAME: DRC2018-00151 TWIN ARBOR ANALYTICAL

PROJECT DESCRIPTION: Proposed Minor Use Permit for a cannabis laboratory testing facility to be located at 3990 Ruth Way #D Paso Robles, CA 93446
APN(s): [040-153-018](#)

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART I: IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- ☐ YES (Please go on to PART II.)
- ☐ NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II: ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- ☐ YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- ☐ NO (Please go on to PART III.)

PART III: INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone



GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- ☐ Emergency Permit
 ☐ Tree Permit
 ☒ Minor Use Permit
☐ Conditional Use Permit/Development Plan
 ☐ Plot Plan
☐ Curb, Gutter & Sidewalk Waiver
 ☐ Other
 ☐ Site Plan
☐ Surface Mining/Reclamation Plan
 ☐ Zoning Clearance
☐ Amendment to approved land use permit
 ☐ Variance

DRC2018-00151

Minor Use Permit
 040-153-018 / 3990 RUTH WAY
 TWIN ARBOR ANALYTICAL
 CANNABIS

APPLICANT INFORMATION Check box for contact

person assigned to this project

☐ Landowner Name ~~Patrick~~ Patraine Family Trust Daytime Phone 805-674-8698
 Mailing Address 2000 Lookout Dr Templeton CA Zip Code 93465
 Email Address: NICK@PATRAINE.COM

☐ Applicant Name Gaster Foster Richmond Daytime Phone (805) 400-9711
 Mailing Address 3990 Ruth Way Suite D Paso Robles Zip Code 93446
 Email Address: Foster@R74.com

☐ Agent Name _____ Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

PROPERTY INFORMATION

Total Size of Site: 2,350 SF Assessor Parcel Number(s): 040-153-018
 Legal Description: Analytical Lab
 Address of the project (if known): 3990 Ruth Way Suite D Paso Robles CA 93446
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: See attachment
 Describe current uses, existing structures, and other improvements and vegetation on the property:
Currently Analytical Lab, Please See attachment

PROPOSED PROJECT

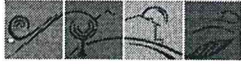
Describe the proposed project (inc. sq. ft. of all buildings): See Attachment

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature] Date 8/26/18

FOR STAFF USE ONLY



LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: ☒ Commercial Cannabis ☐ Industrial ☐ Residential ☐ Recreational ☒ Other Commercial Cannabis

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): N/A

Describe existing and future access to the proposed project site: Public Roads

Surrounding parcel ownership: Do you own adjacent property? ☐ Yes ☒ No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Commercial South: Commercial
East: Commercial West: Commercial

For all projects, answer the following: N/A Building will have no changes

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: _____ sq. feet 2 % Landscaping: _____ sq. feet _____ %
Paving: _____ sq. feet _____ % Other (specify) _____

Total area of all paving and structures: _____ ☐ sq. feet ☐ acres

Total area of grading or removal of ground cover: N/A ☐ sq. feet ☐ acres

Number of parking spaces proposed: N/A Height of tallest structure: _____

Number of trees to be removed: N/A Type: N/A

Setbacks: Front _____ Right _____ Left _____ Back _____

Proposed water source: ☐ On-site well ☐ Shared well ☐ Other _____

☒ Community System - List the agency or company responsible for provision: Templeton CSD

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

Proposed sewage disposal: ☐ Individual on-site system ☐ Other _____

☒ Community System - List the agency or company responsible for sewage disposal: Templeton CSD

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Templeton Fire

For commercial/industrial projects answer the following:

Total outdoor use area: 0 ☒ sq. feet ☐ acres

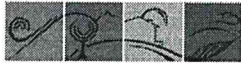
Total floor area of all structures including upper stories: 2,350 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____ sf

Total of area of the lot(s) minus building footprint and parking spaces: _____ sf



ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: All acres
Moderate slopes - 10-20%: _____ acres
20-30%: _____ acres
Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? ☐ Yes ☒ No
If yes, please describe: N/A
- Are there any flooding problems on the site or in the surrounding area? ☐ Yes ☒ No
If yes, please describe: N/A
- Has a drainage plan been prepared? ☐ Yes ☒ No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? ☐ Yes ☒ No
If yes, please explain: N/A
- Has a grading plan been prepared? ☐ Yes ☒ No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? ☐ Yes ☒ No
- Is a railroad or highway within 300 feet of your project site? ☐ Yes ☒ No
- Can the proposed project be seen from surrounding public roads? ☐ Yes ☒ No
If yes, please list: _____

Water Supply Information

1. What type of water supply is proposed?
☐ Individual well ☐ Shared well ☒ Community water system
2. What is the proposed use of the water?
☐ Residential ☐ Agricultural - Explain _____
☒ Commercial/Office - Explain Commercial analytical lab
☐ Industrial - Explain _____
3. What is the expected daily water demand associated with the project? NA
4. How many service connections will be required? NA
5. Do operable water facilities exist on the site?
☐ Yes ☒ No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
☐ Yes ☒ No If yes, please attach. _____
7. Does water meet the Health Agency's quality requirements?
Bacteriological? ☒ Yes ☐ No
Chemical? ☒ Yes ☐ No
Physical ☒ Yes ☐ No
Water analysis report submitted? ☐ Yes ☒ No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
☐ Well Driller's Letter ☐ Water Quality Analysis(☐ OK or ☐ Problems)
☐ Will Serve Letter ☐ Pump Test _____ Hours / _____ GPM
☐ Surrounding Well Logs ☐ Hydrologic Study ☐ Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
☐ Yes ☒ No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? NA feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
☐ Yes ☒ No
4. Has a piezometer test been completed?
☐ Yes ☒ No If 'Yes', please attach.
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
☐ Yes ☒ No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? ☒ Yes ☐ No
Distance to nearest sewer line: See attachments Location of connection: See attachments
2. What is the amount of proposed flow? < 50 GPD
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? ☒ Yes ☐ No

Solid Waste Information

1. What type of solid waste will be generated by the project?
☒ Domestic ☒ Industrial ☐ Agricultural ☐ Other, please explain? _____
2. Name of Solid Waste Disposal Company: Mid State Solid Waste
3. Where is the waste disposal storage in relation to buildings? _____
4. Does your project design include an area for collecting recyclable materials and/or composting materials?
☐ Yes ☒ No

Community Service Information

1. Name of School District: Templeton Unified School District
2. Location of nearest police station: 356 N Main St, Templeton, CA 93465
3. Location of nearest fire station: 206 5th St, Templeton, CA 93465
4. Location of nearest public transit stop: Theatre Drive at Rancho Paso Rd.
5. Are services (grocery/other shopping) within walking distance (1/2 mile or closer) of the project?
☐ Yes ☒ No

Historic and Archeological Information NA

1. Please describe the historic use of the property: _____
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? ☐ Yes ☐ No
If yes, please describe: _____
3. Has an archaeological surface survey been done for the project site? ☐ Yes ☐ No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change. NA, No Changes

1. Days of Operation: Monday - Friday Hours of Operation: 9:00 AM - 5:30 PM
2. How many people will this project employ? 25
3. Will employees work in shifts? ☐ Yes ☒ No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
☐ Yes ☒ No If yes, please explain: _____
5. Will this project increase the noise level in the immediate vicinity? ☐ Yes ☒ No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: Please See Attached Document "MUP Checklist" Pg 14
7. Will hazardous products be used or stored on-site? ☒ Yes ☐ No
If yes, please describe in detail: Please See attached document "MUP Checklist" Pg 14
8. Has a traffic study been prepared? ☐ Yes ☒ No If yes, please attach a copy.
9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 5 Between 4:00 to 6:00 p.m. 5

10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees ☒ Yes ☐ No
If yes, please specify what you are proposing: Please see attached document
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
☐ Yes ☒ No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production. NA

1. Is the site currently in Agricultural Preserve (Williamson Act)? ☐ Yes ☐ No
2. If yes, is the site currently under land conservation contract? ☐ Yes ☐ No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): NA
2. Will the development occur in phases? ☐ Yes ☒ No
If yes describe: NA
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? ☐ Yes ☒ No If yes, explain: NA
4. Are there any proposed or existing deed restrictions? ☐ Yes ☒ No
If yes, please describe: NA

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: NA

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
NA
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? ☐ Yes ☒ No
If yes, please list: NA

3. Are you aware of any previous environmental determinations for all or portions of this property?

☐ Yes ☒ No

If yes, please describe and provide "ED" number(s): NA

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): BCC - Testing Laboratory license

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned to the project)

TWIN ARBOR LABS MUP

Application Checklist

PROJECT DESCRIPTION

The applicant is seeking a Minor Use Permit for a commercial analytical laboratory located in Templeton, CA. The operation will occupy Suite D on the second floor of the building located at 3990 Ruth Way. The project site is located in the Commercial Services land use category. The APN for this parcel is 040-153-018. The laboratory is separated into active laboratory space and office space with approximately 1,500 being dedicated for active laboratory work space.

Minor Use Permit Application - Required Contents (*per Chapter 22.60*)

Agricultural Buffers

No proposed agricultural buffers required. Adjacent parcels are all zoned Commercial Services and/or Commercial Retail

Archeological Report

An Archeological report is not required for as this Minor Use Permit will be located in existing commercial space.

Botanical Report

A Botanical report is not required for as this Minor Use Permit will be located in enclosed commercial space.

Biological Report

A Biological report is not required for as this Minor Use Permit will be located in enclosed commercial space.

Building Site Envelopes

This Minor Use Permit only encompasses the commercial space in Unit D of the commercial building shown in the site plan. Future construction activities that would expand the building site envelope are not expected at this time.

Noise Study

Mechanical noise during operations is not expected to exceed County standards or adversely impact surrounding noise sensitive uses.

Tree inventory plan

The applicant currently leases space and has no plans for any tree removal on site plan. **Table 1** below details current tree locations, approximate height and species. A Tree Locations map is shown in **Figure 6**.

Tree #	Tree Location (Lat/Long)	Approximate Height (ft)	Species
1	35 deg 34'10.93" N 120 deg 41'43.30" W	20-25	American Sycamore
2	35 deg 34' 10.81" N 120 deg 41'43.01" W	20-25	American Sycamore
3	35 deg 34' 10.30" N 120 deg 41'42.99" W	20-25	American Sycamore

4	35 deg 34' 10.30" N 120 deg 41'42.88" W	20-25	American Sycamore
5	35 deg 34' 11.56" N 120 deg 41'42.57" W	20-25	American Sycamore
6	35 deg 34' 11.85" N 120 deg 41'42.71" W	20-25	American Sycamore
7	35 deg 34' 11.86" N 120 deg 41'42.66" W	20-25	American Sycamore
8	35 deg 34' 11.82" N 120 deg 41'42.50" W	20-25	American Sycamore
9	35 deg 34' 11.82" N 120 deg 41'42.33" W	20-25	American Sycamore
10	35 deg 34' 11.56" N 120 deg 41'42.57" W	20-25	American Sycamore
11	35 deg 34' 11.83" N 120 deg 41'42.01" W	20-25	American Sycamore
12	35 deg 34' 11.58" N 120 deg 41'41.98" W	20-25	American Sycamore
13	35 deg 34' 11.65" N 120 deg 41'41.50" W	20-25	American Sycamore
14	35 deg 34' 11.82" N 120 deg 41'41.45" W	20-25	American Sycamore
15	35 deg 34' 11.81" N 120 deg 41'41.22" W	20-25	American Sycamore
16	35 deg 34' 11.34" N 120 deg 41'41.21" W	10-15	Lagerstoemia
17	35 deg 34' 11.35" N 120 deg 41'41.47" W	10-15	Lagerstoemia
18	35 deg 34' 11.36" N 120 deg 41'41.71" W	10-15	Lagerstoemia
19	35 deg 34' 11.35" N 120 deg 41'41.99" W	10-15	Lagerstoemia

Table 1: Site Plan Tree Inventory

Visual Analysis

This property is over 1000 feet from significant visual corridors, as identified in the Open Space Element or the Land Use Element. The office is also located in a nondescript building away from main thoroughfares.

Traffic Analysis

Traffic generated by the analytical laboratory will be limited to employees only. The lab is not open to the public and hours of operation will conform to normal business hours (9am – 5pm). Sample Collection will be scheduled and conducted by a single employee. Laboratory personnel commute traffic is also included in the below analysis and is based on a headcount of 4 full-time employees.

Traffic impact of sampling schedule

Sampling of cannabis and cannabis related products is to be scheduled for Tuesday and Thursday of each week. Sampling is to be conducted by an employee of Twin Arbor Analytical. Routes will be determined prior to sampling to reduce sampling time and distances traveled. This schedule is designed to reduce travel times, reduce operational expenses and limit traffic to and from the laboratory.

Sampling is to be scheduled by the preceding Friday to give enough time to determine the best possible route for the following Tuesday. Any sampling scheduled on Monday will be conducted the following Thursday. A single sampler will travel to each location and sample product. All sampling will be conducting in a single run before sampler returns for laboratory intake. Emergency or rushed sampling can be scheduled at an additional cost.

Please see the following traffic study based on estimated traffic in 2018:

Traffic Analysis – Trip Generation							
Time of Year	Headcount	Daily Trips	Peak Hour Trips				
			Weekday AM			Weekday PM	
Typical Operations			In	Out	Total	In	Out
Sample Collection	1	2	0	1	1	1	0
Commuting	4	8	4	0	4	0	4
TOTAL:		10	5	0	5	0	5

Table 2: Traffic Analysis

Parking Plan

Parking is non-assigned in accordance to the lease – this is true for all the tenants of the building. Parking Area is show in **Figure 1**, representing 23 spaces (22 standard and 1 accessible). In addition to the off-street parking, on-street parking is available along Ruth Way. Our current parking conditions are adequate for the expected customer and employee requirements.

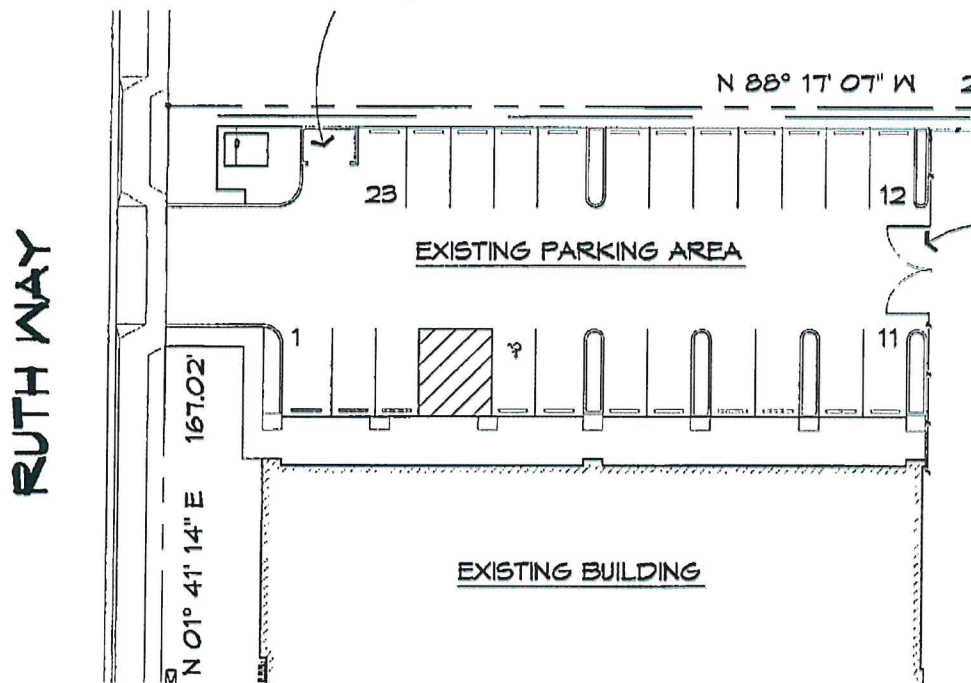


Figure 1: Existing Parking Area

Site Location and Dimensions (also in Site Plan)

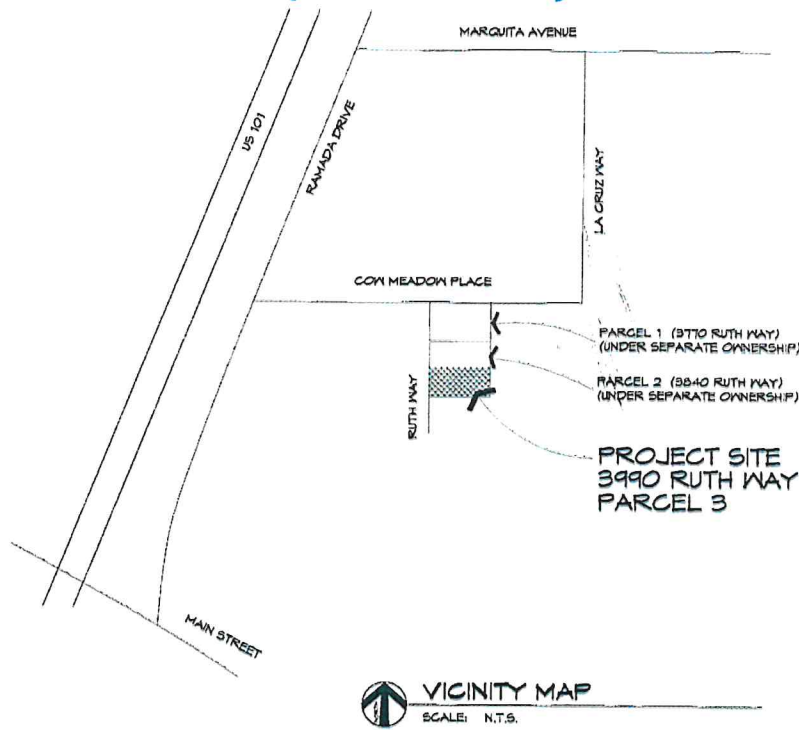


Figure 2: Site Location – APN# 040-153-018

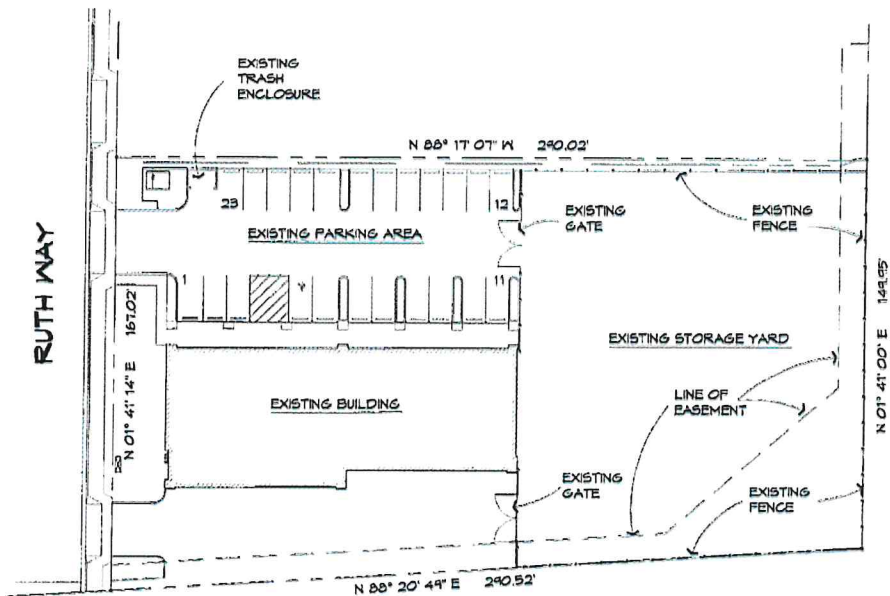


Figure 3: Parcel and Site Dimensions

Road access and street improvements

Access to the business is via Ramada Drive along US Highway 101, east on Cow Meadow Pl and South on Ruth Way. The road is paved the entire way from Ramada Drive.

Buildings and Structures

The building located at 3990 Ruth Way was built in 2006 and is in excellent condition. The applicant currently leases Suite D on the second floor, representing 2,350 square feet of space. The applicant intends to utilize approximately 1,500 square feet of this space as testing space, with the remaining 850 square feet as office and kitchen space.

Easements

Line of Easement for parcel 040-151-063 is shown in the Site Plan and should not impact operations under this Minor Use Permit.

Utilities

Templeton Community Services District provides the water supply and sewer services for the building.

Site Improvements

Location and dimensions of existing parking areas is shown in **Figure 3**. The parking lot material is asphalt and concrete. The building has conforming landscape in place, as shown in **Figure 3** and **Figure 4**.



Figure 4: Existing Landscaping

Landforms

No major topographic or man-made features on the site.

Combining designation

Does not apply, site is not in a combined designation area.

Drainage Plan

This Minor Use Permit does not require a Drainage Plan due to the following:

1. No changes expected for runoff volume or velocity leaving any point of the site beyond those that existed prior.
2. Does not involve **ANY** new land disturbance
3. Does not result in an impervious surface of more than 20,000 square feet
4. Is **NOT** subject to local ponding
5. The parcel is located in an MS4 Area. During previous commercial operations as an office, the Public Works Director did not identify this area as having a history of flooding or erosion that was further aggravated by or had a harmful effect on operations or adjoining properties. No site disturbance occurs under this Minor Use Permit and therefore there are no material changes to how Public Works views this project from a historical perspective.
6. Parcel is not located within a Flood Hazard (FH) combining designation
7. Parcel is not located over a known high recharge area
8. Does not involve **ANY** land disturbance and is not located within 100 feet of the top bank of any watercourse shown with blue line on the most current USGS 7.5 minute quadrangle map
9. Project topography does not contain any grade steeper than 10%
10. **DOES NOT** alter existing drainage, cause an on-site erosion or inundation hazard, or change the off-site drainage pattern, including, but not limited to any change in the direction, velocity, or volume of flow.

Fire Safety Plan

To be established with Templeton Fire District

Grading Plan

No grading is planned under this permit and therefore a grading permit is not required.

Erosion and Sedimentation Control Plan

Projects exempt from grading permit submittal are not required to prepare an erosion and sedimentation control plan. This project also qualifies as exempt as no site disturbances would occur under this permit.

Community Plan/Specific Plan/Design Plan

NA

Planning Area Requirements

Topic	Standard	Proposed	Complies?
Allowable Land Uses, Permit Requirement			
	"Cannabis Testing" is an allowed use in the Commercial Services land use category. A Minor Use Permit is required.	MUP Application submitted	Yes
General Property Development Standards			
Location	Cannabis testing facilities shall not be located within six hundred (600) feet from any pre-school, elementary school, junior high school, high school, library, park, playground, recreation or youth center, licensed drug or alcohol recovery facility, or licensed sober living facility. Distance shall be measured from the structure that contains the dispensary to the property line of the enumerated use using a direct straight-line measurement.	Facility is not located within 600ft of sites listed in 22.40.080.D.1	Yes
Setbacks	Setbacks are required as set forth in Section 22.10.140.	Operation is located in existing building	Yes

Table 2: Planning Area Requirements

Sign Information (location, size, design and copy shall be provided)

Signage for the testing facility will be minimal. A decal on the glass entrance door to Suite D will indicate the lab name and phone number (Office Land Line TBD). The decal signage will be similar to Figure 5.

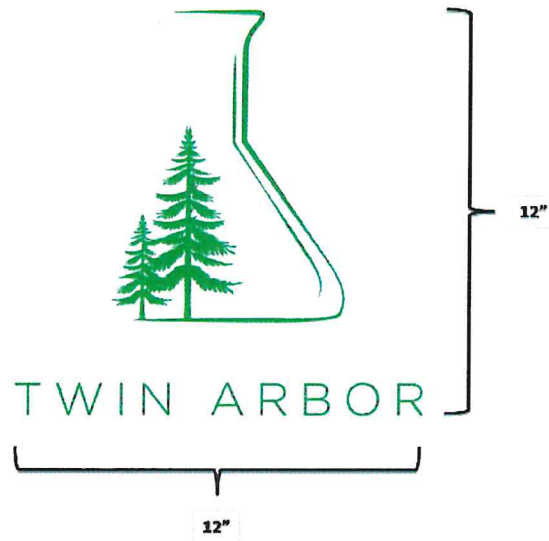


Figure 5: Entrance Door Signage

Tree locations (locations, 8" or larger diameter

All trees on property are less than 8" in diameter. These are listed in the tree inventory in Table 1 and the locations are shown in Figure 6.

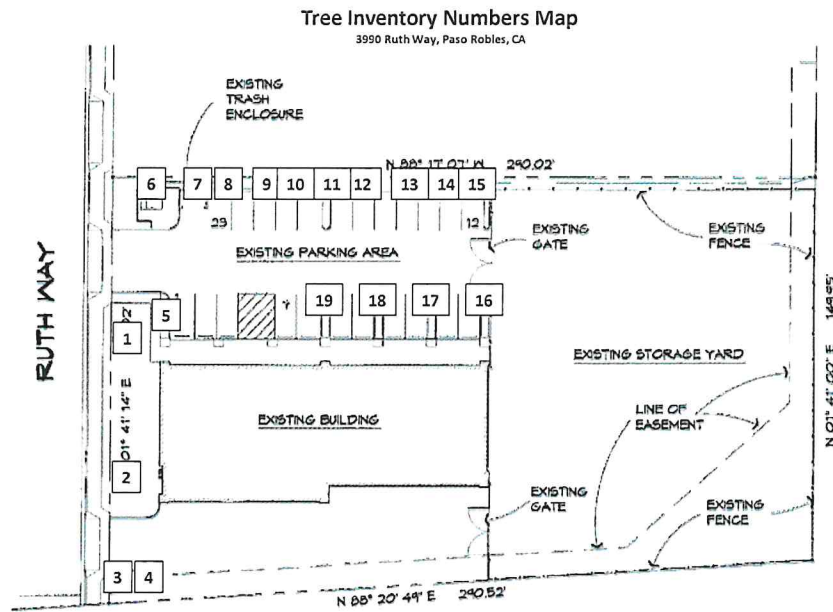


Figure 6: Tree Locations

Ownership Authorization/Verification Form

Owner consent form found in Minor Use Permit General Application.

Preliminary Floor Plan

The Preliminary Floor Plan for the lab is shown below in **Figure 6**. A more detailed floor plan is included in the Site Plan packet. Indicated Areas: (1) Main Laboratory, (2) Sample Prep Room, (3) Secured Storage/Storage, (4) Kitchen and Employee Lounge/Office

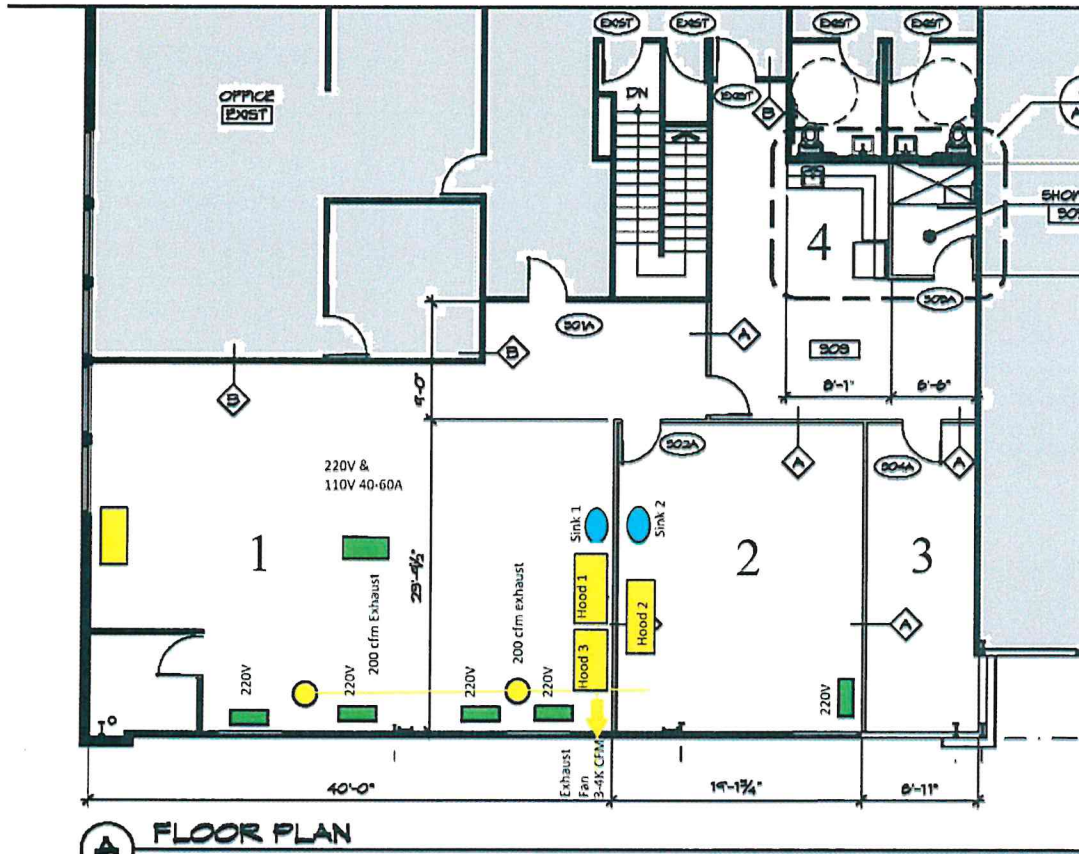


Figure 6: Preliminary Floor Plan

Architectural elevations

NA

Adjacent Land Use Information

Building north of lab – dimensions (google earth) and use (commercial services, type of business needed)

Businesses in 3990 Ruth Way:

1. Clever Concepts Inc, Address, Business Type/Use
2. Warehouse Area / Vineyard Professional Services

Landscape Plan

The Site has existing landscaping. See Landscape Plan.

Contour Map

See figure 7 below.

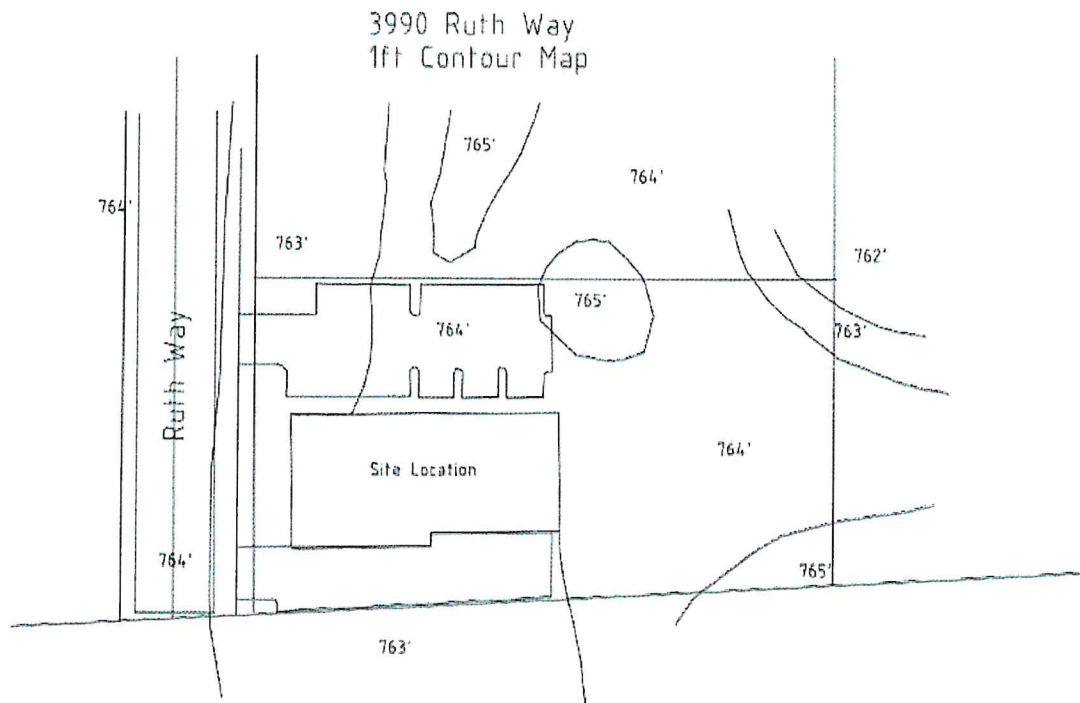


Figure 7: Two Feet contour map

Supplementary Development Statement

300 ft Parcel Map

A list of names and addresses of all owners of real property within 300 feet as shown on the latest equalized assessment role, and residents within 100 feet of the perimeter of the parcel to be developed. This list shall be typed on gummed labels.

Security Plan

The applicant has enlisted SecurePro (Figure 8), a security system installation firm specializing in Cannabis Security systems to install a sufficient system in accordance with state regulations. The laboratory will have both video surveillance and recording systems, as well as an Alarm and Monitoring System and Service provided by SecurePro.

SecurePRO, Inc.
119 N Milpas St
Santa Barbara, CA 93103
(P) (805) 880-1200
(F) (888) 701-8105



Estimate #: 10447
Customer #: 21422796

License #010 894629, ACO 7328, LCO 8943 & PPO 17724
www.secureproinc.com

Customer	Service Location
Twin Arbor Analytical 3990 Ruth Way, Unit D Paso Robles, Ca 93446	3990 Ruth Way, Unit D Paso Robles, Ca 93446

Item(s)						
Qty	Name	Description	Rate	Amount	Tax	Approved
1	VS: VS-NVR-16IP-4HD	Network Video Recorder - 16 Camera Support - 4 HD Bays PoE	\$795.00	\$795.00	Tax	Yes
4	VS: VS-HD-8TB	Hard Drive - Video - 8TB	\$325.00	\$1,300.00	Tax	Yes
11	CAM: VS-EIPT-HDIR-4M	IP Turret Camera - Interior/Exterior IP66, 4MP High Definition and Night Vision Matrix IR LED Resolution 2688 x1536 2.8 mm fixed lens	\$205.00	\$2,255.00	Tax	Yes
1	ups	Battery Back Up	\$109.99	\$109.99	Non	Yes
1	MISC	Mounting hardware, conduit, cable, fasteners, connectors, miscellaneous hardware	\$125.00	\$125.00	Tax	Yes
12	LABOR	Labor - Installation and adjustment of cameras, network video recorder, cabling, network hardware, configuration and set up, testing, instruction, app set up on devices as needed	\$100.00	\$1,200.00	Non	Yes

Subtotal \$5,784.99
Tax \$346.81
Total \$6,131.80

Figure 8: Estimate for security plan

Operations Plan

Operations will be conducted at 3990 Ruth Way Ste. D, Paso Robles, CA 93446 during normal business hours. The laboratory is separated into active laboratory space and office space with approximately 1,500 being dedicated for active laboratory work space.

Parking Plan

Parking is non-assigned in accordance to the lease. The laboratory is expected to have 4 full time employees. Since sample collection is to be conducted by laboratory personnel we expect little customer traffic and a decreased need for customer parking. Our current parking conditions are adequate for the expected customer and employee requirements.

Sample Collection

Samples will be collected by a trained and certified employee. Samples shall be sampled in accordance to BCC regulations. All samples are to be vacuumed sealed in tamper evident bags with corresponding lab file number and chain of custody documents. All incoming samples will be stored in a secure location until processing.

Odor Control Plan

Sample processing will occur in the laboratory sample prep room. This room will have a negative air pressure to assure no odor is released to the outside environment. Air exiting the sample prep room will be scrubbed by a carbon scrubber through the exhaust vent to prevent the release of odor to the environment. Unused sample material will be vacuumed sealed for storage. All samples will be stored in a secure location with access only to laboratory personnel.

Waste management

The laboratory will have two hazardous waste streams categorized as flammable liquids and heavy metal waste with each waste stream generating less than 27 gallons per month. The lab will be classified as a conditionally exempt small quantity generator (CESQG).

The laboratory shall register with the Department of Toxic substances Control (DTSC) and obtain an EPA ID number for the disposal of hazardous waste. Hazardous waste will be disposed through the San Luis Obispo Integrated Waste Management Authority (IWMA).

Cannabis samples will be disposed of after 45 days of sample holding in accordance with BCC regulations.

Materials plan

Hazardous material will be stored in designated locations. All hazardous materials will be below the minimum reportable quantities. Non-compatible substances will be segregated and safely stored. Compressed gasses are to be safely secured and labeled. All materials locations will be properly marked for easy recognitions. Flammable liquids shall be stored in a flammable safety cabinet. Corresponding safety data sheets (SDS) are available for all material stored on site.



Parcel Information

APN: 040-153-018

Assessee: POKRAJAC NICHOLAS E TRE ETAL

Care Of:

Address: 2000 LOOKOUT DR TEMPLETON
CA 93465

Description: PM 75/79-80 PAR 2

Site Address:
03990 RUTH WY

Tax Rate Area Code: 126028

Estimated Acres: 1.04

Community Code: TEMP

Supervisor District: Supdist 1

Avg Percent Slope: 1



Selected Parcel

Land Use Information

Land Uses Combining Designations

CS	
----	--



Parcel location within San Luis Obispo County

Permit Information

Permit	Description	Application Date
DRC2018-00151	Land Use	8/28/2018 9:53:32 AM
PMT2012-00536	PMTTC - Commercial Permit	9/20/2012 3:18:59 PM
SUB2011-00039	Subdivision	3/27/2012 3:41:32 PM
ZON2007-00066	Zoning Clearance	7/27/2007 4:21:07 PM
PMT2005-03056	PMTTC - Commercial Permit	4/14/2006 4:07:19 PM



Parcel Summary Report

APN: 040-153-018

DRC2005-00101	Land Use	12/1/2005 9:41:06 AM
SUB2004-00070	Subdivision	8/19/2004 12:00:00 AM
PMT2003-02285	PMTG - Commercial Permit	1/23/2004 12:00:00 AM
PMT2002-13450	PMTG - Grading Permit	9/12/2002 12:00:00 AM
PMT2002-13448	PMTG - Commercial Permit	9/12/2002 12:00:00 AM
S010223N	Subdivision	2/8/2002 12:00:00 AM
PMT2002-12402	PMTG - Commercial Permit	2/6/2002 12:00:00 AM
G000017F	Long Range Planning	3/8/2001 12:00:00 AM
D000174S	Land Use	11/16/2000 12:00:00 AM
C0334	PMTG - Grading Permit	6/7/2000 12:00:00 AM
S990306Q	Subdivision	5/12/2000 12:00:00 AM
S850009C	Subdivision	5/3/1998 12:00:00 AM
S880136T	Subdivision	3/10/1998 12:00:00 AM

Clerk Recorder Documents

Clerk Document	Date	Document Type
2014-I-002858	10/06/2014	C



Interactive Data Viewer



Legend

- SLO County Parcels
- Roads**
 - CalTrans
 - Maintained by SLO CO
 - Private Maintenance
 - Federal or State Maintenance

-188.08 0 94.04 188.08 Feet 1: 1,128

WGS_1984_Web_Mercator_Auxiliary_Sphere
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The County of San Luis Obispo does not assume liability for any damages caused by errors or omissions in the data and makes no warranty of any kind, express or implied, that these data are accurate and reliable.

Map for Reference Purposes Only



Interactive Data Viewer



Legend

- SLO County Parcels
- Roads**
 - CalTrans
 - Maintained by SLO CO
 - Private Maintenance
 - Federal or State Maintenance
- Community Advisory Groups**
 - Community Advisory Group Boundary
 - Cayucos Citizens Advisory Council Subarea
 - Creston Advisory Body Sub Areas
- Supervisor Districts
- Land Use Outlines

-1,504.66 0 752.33 1,504.66 Feet 1: 9,028

WGS_1984_Web_Mercator_Auxiliary_Sphere
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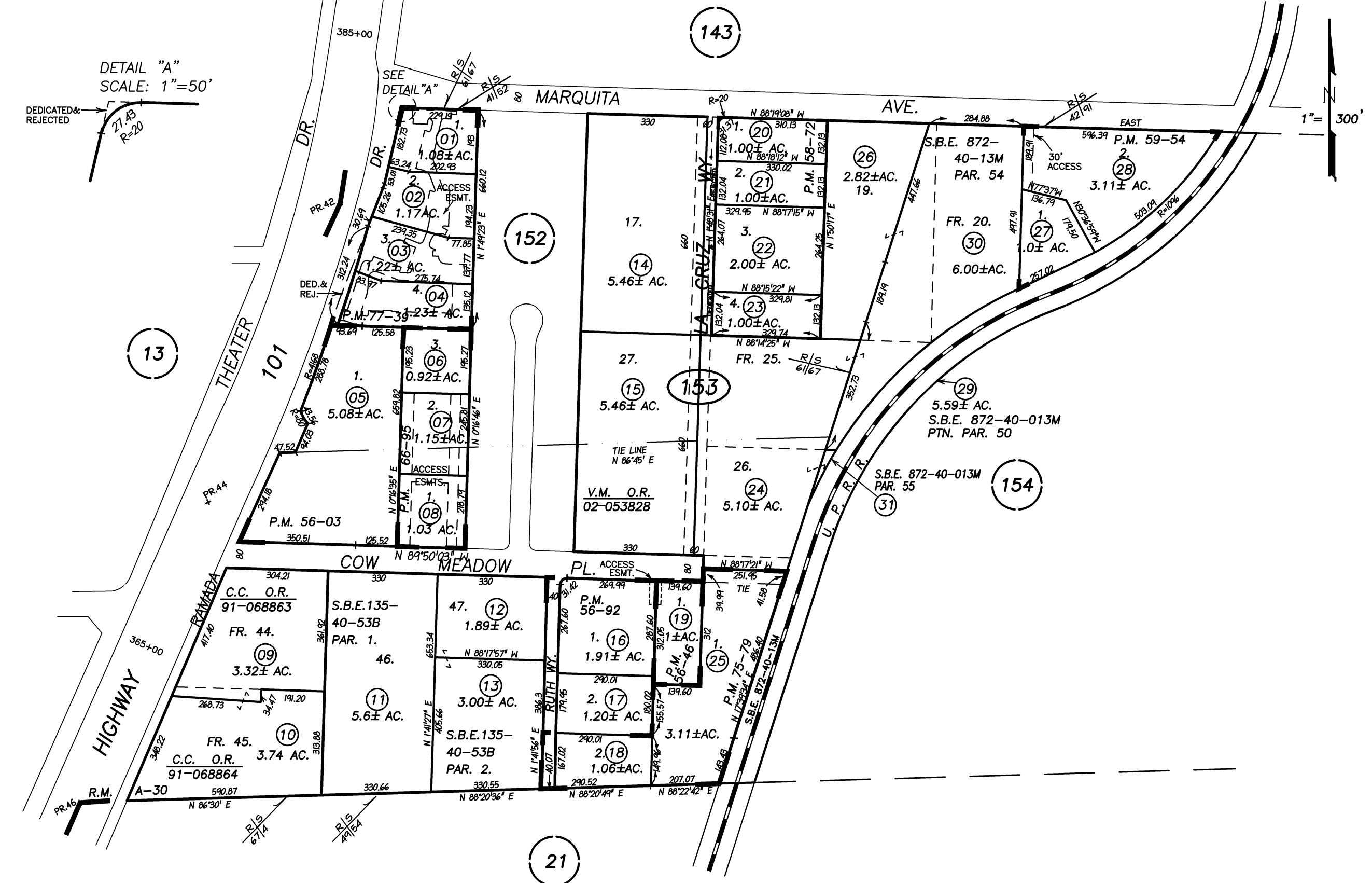
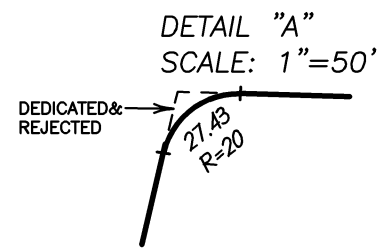
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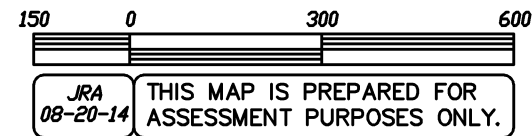


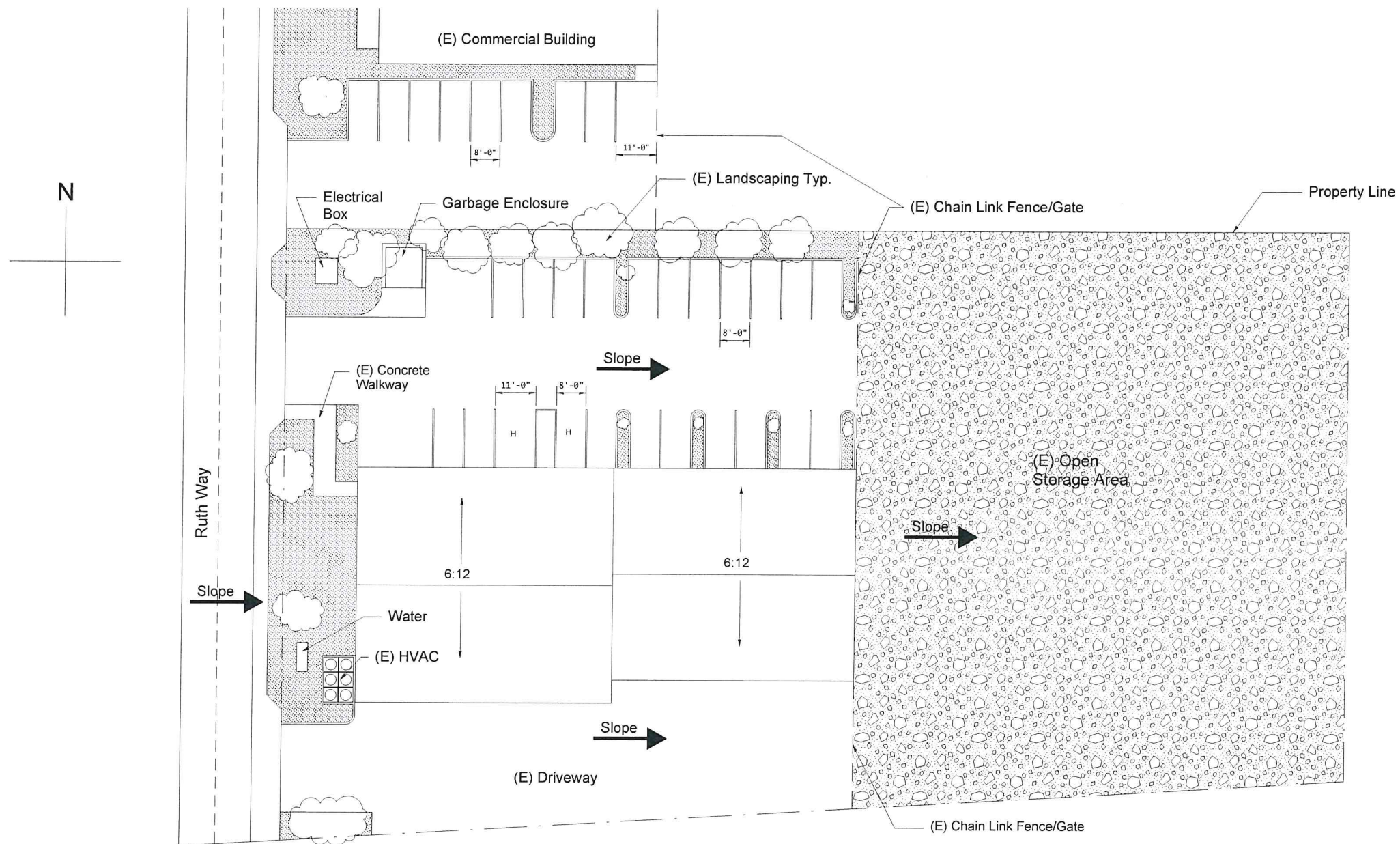
REFERRAL -- Page 24 of 50

040-151



REVISIONS	
I.S.	DATE
15-071	08-20-14
NA	10-15-14
NA	11-03-16
NA	05-30-17





Revisions:	
A	XXXXXX
B	
C	
D	

Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Commercial

**Crizer Design
Company, Inc.**
P.O. Box 6952 Los Osos, CA 93412
Ph. (805) 528-4812 Fax 528-2325

Date:
6/26/18
Scale:
1/16"
Drawn By:
RC
Sht.
C-1

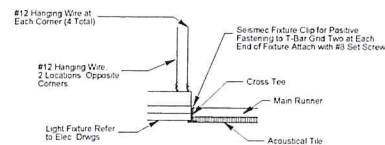
Ceiling Legend

Exist	Existing, No Change
Exposed	Exposed to Existing Structure
GB	5/8" Type 'X' Gypsum Wallboard
SAT	24"x48" Suspended Acoustical Tile, Cirrus Beveled Regular by Armstrong with 15/16 White Suspension System, Prelude MX by Armstrong (ICBO # 5175) or Approved Equal

Ceiling Fixture Legend & Notes

Strip Fluorescent Light Fixture	Exhaust Grille
2'x4' Fluorescent Light Fixture	Side Wall Diffuser
2'x2' Fluorescent Light Fixture	Supply Air Diffuser
Cove Light w/ Strip Fluorescent	Return Air Grille
Track Light Fixture	Exhaust Grille (1/2")
Decorative Ceiling Mounted Fixture	Illuminated Exit Sign
Wall Mounted Light Fixture	Speaker
Recessed Directional Light Fixture	Smoke/Vacuum Detector
Recessed Light Fixture	Security Camera
Wall Mounted Uplight	Security Camera (Mounting)
Decorative Indirect Light Fixture	
Television Mount @ 8" A.P.F.	

- 1) Horizontal Dimensions: All dimensions shown are from face of stud, face of concrete or face of C.M.U. unless otherwise noted.
- 2) Vertical Dimensions: Dimensions shown are from face of ceiling to finished floor.
- 3) Light fixtures, diffusers, grilles to be centered between walls/beams unless otherwise noted.
- 4) See interior plans for decorative wall mounted light fixture locations.

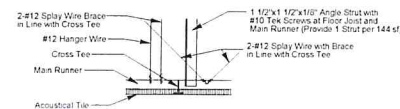


Light Fixture Support Notes

- All wire shall have 3 tight turns minimum around itself.
- Suspended ceiling shall comply with CBC tables 25-A and 16-0.

2 Typ. Light Fixture Support

Scale: 1/2" = 1' 0"



Ceiling Notes

- Hanger wire shall be located 4'-0" O.C. max. and 6" max. from face of wall.
- Splay wire bracing shall be located 12'-0" O.C. max. each way and 4'-0" max. from face of wall.
- All wire shall have 3 tight turns min. around itself.
- Provide 14ga. clips at all intersections and a hanger at each corner of light fixture.
- Suspended ceiling shall comply with CBC tables 25-A and 16-0.

1 Typ. Seismic Brace

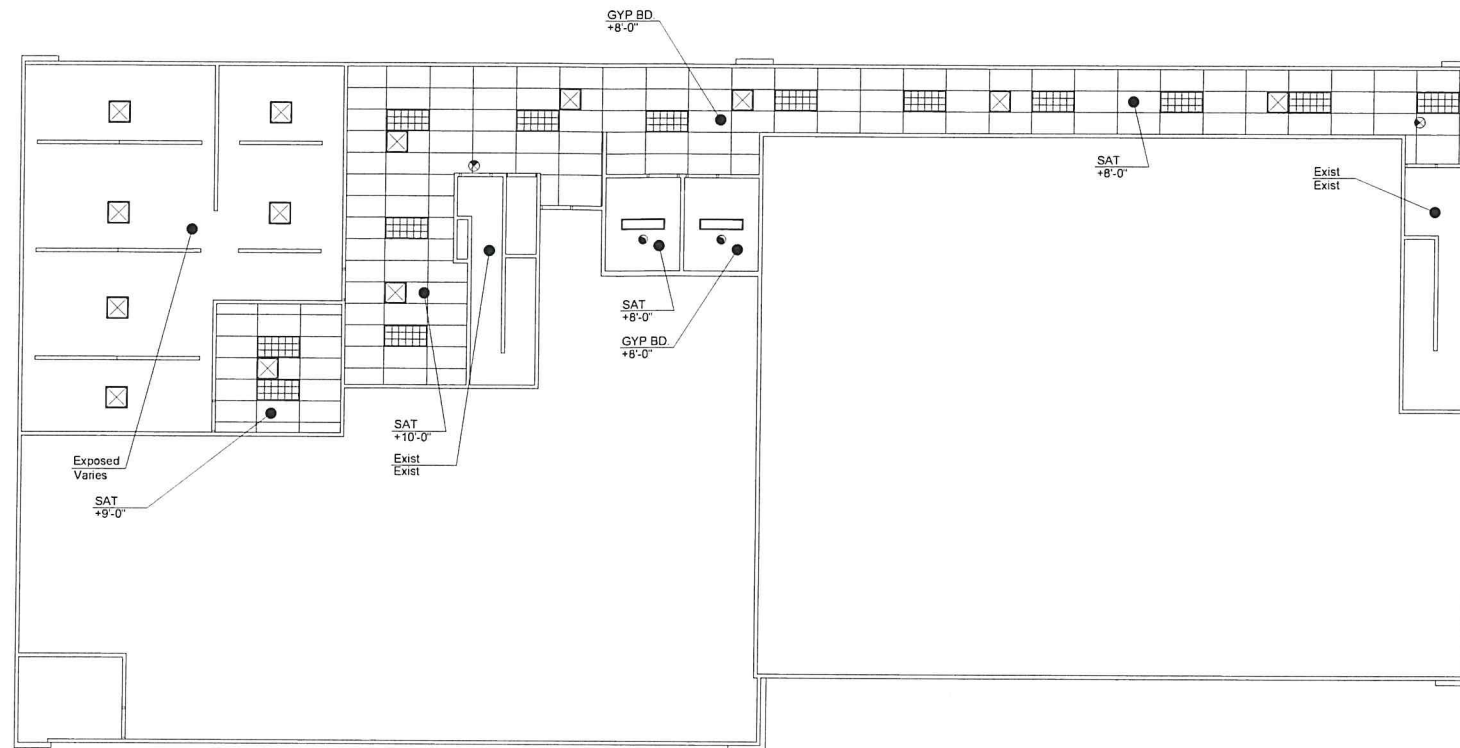
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Wall Legend

Existing Wall to Remain	Existing Wall to Remain
-------------------------	-------------------------

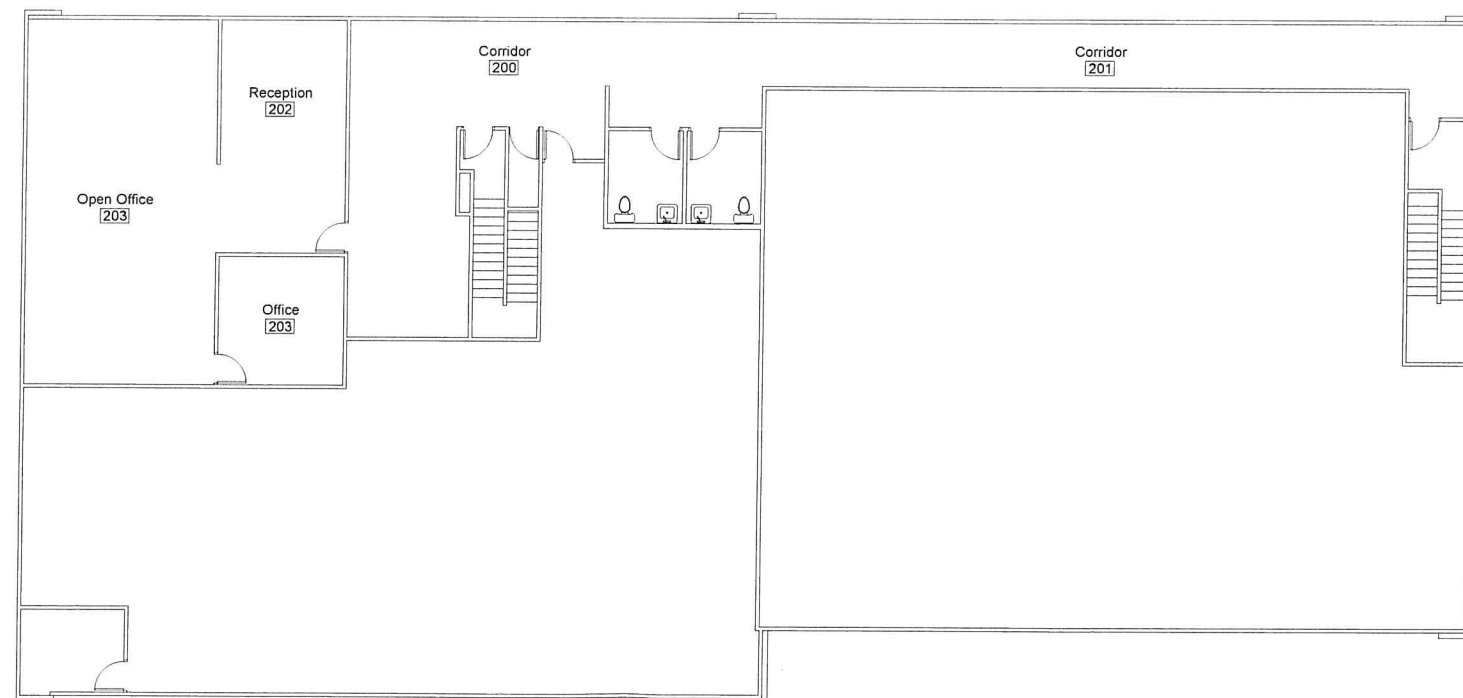
Wall Types

A	3-5/8"x22ga MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP BD Each Side with 2" Sound Attm. Blanket (1-Hour Rated) Full Height
B	With 5/8" Type 'X' GYP BD One Side on Existing Wall
C	6"x22ga MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP BD Each Side with 2" Sound Attm. Blanket Full Height



B Reflected Ceiling Plan

Scale: 1/8" = 1' 0"



A Floor Plan

Scale: 1/8" = 1' 0"

Revisions:	
A	XX/XX/XX
B	
C	
D	

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

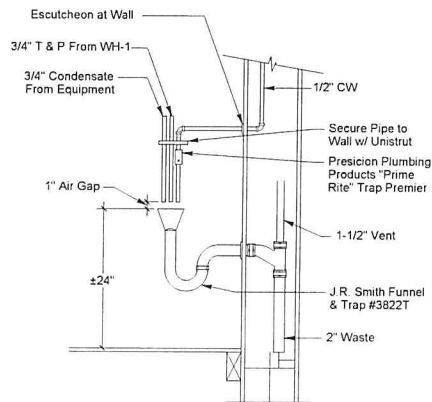
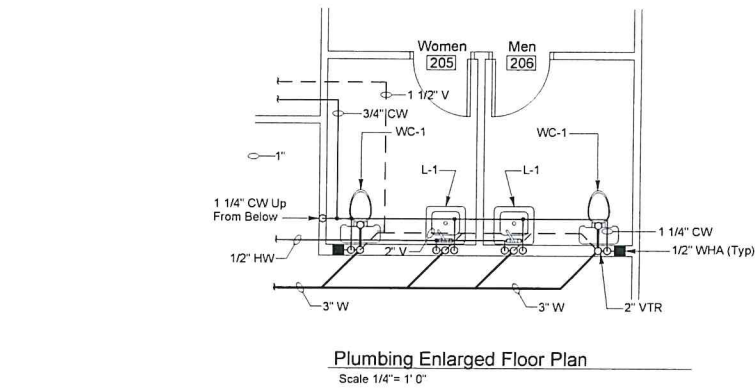
Commercial

Owner/Site Address:
3990 Ruth Way Suite D
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Crizer Design
Company, Inc.

P.O. Box 6952 Los Osos, CA 93412
Ph. (805) 528-4812 Fax 528-2325

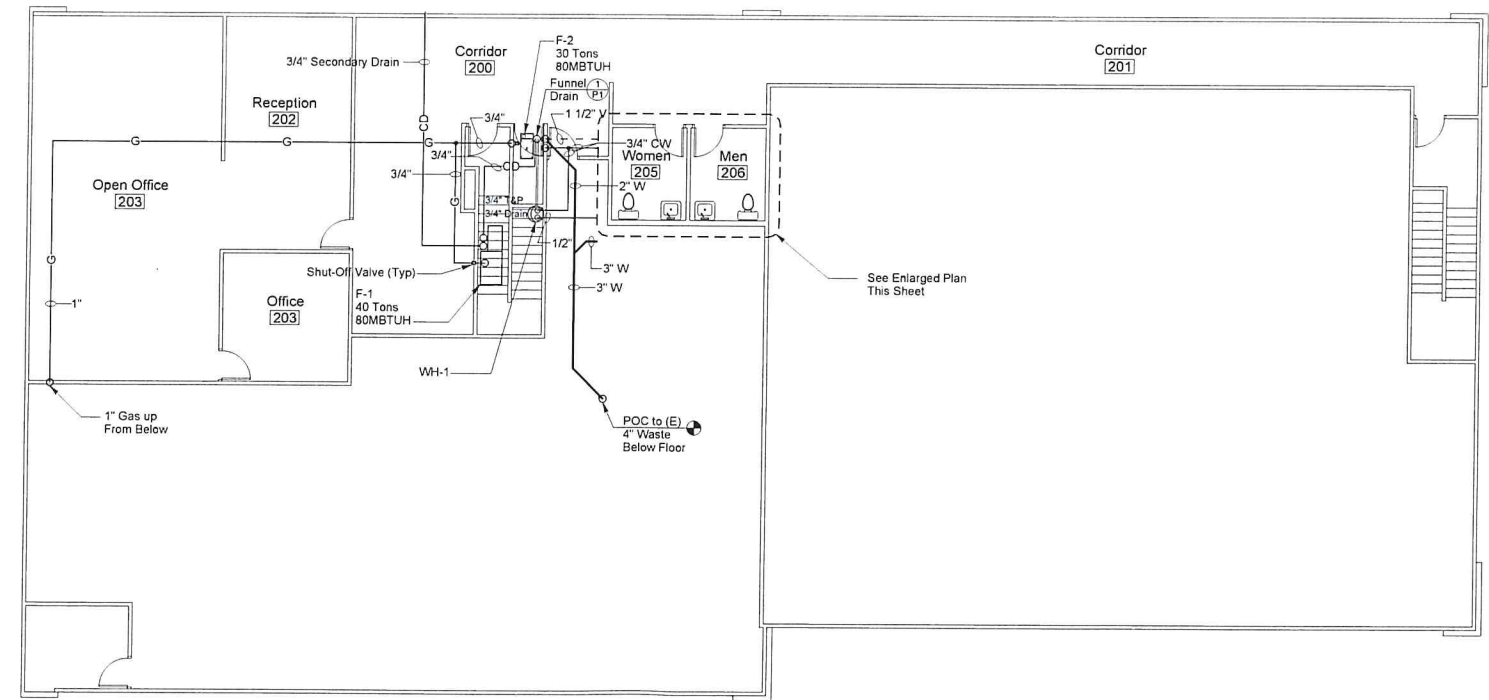
Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?



Plumbing Fixture Schedule												
Mark	Description	Min. Branch Size (")				Make and Model	Fittings				Remarks	
		W	V	CW	HW							
L-1	ADA Lavatory Wall Mount	2	1-1/2	1/2	1/2	Kohler "Kingston" #K2005, 21"x18" Vitreous China	Symmons Faucet #S-20-2-G-FR:IP5 w/ Grid Strainer, Stops, Supplies, and C.P. Brass "P" Trap J.R. Smith Wall Support #0722					See Architectural Drawing for ADA Requirements
WC-1	ADA Water Closet Floor Mounted Elongated, 1.6 GPF	3	2	1-1/4	—	Kohler "Highcrest" #K-4302, 27-5/8" x 14 1/2" x 16 1/2" RIM, Vitreous China	Sloan Royal Flush Valve #111, and Oisonite Seat #10CC					See Architectural Drawing for ADA Requirements, Flush Valve Actuator to Wide Side of Space

Door Plan

Water Heater Schedule														
Mark	Make	Model	Storage Capacity (Gallons)	Dimensions	Full Weight (Pounds)	Inlet/ Outlet (Inches)	Power			KW	MBTUH	Branch Size (Inches)	Flue Size (Inches)	Remarks
							Volts	PH	CY					
WH-1	A.O. Smith	DEL-10	10	18-1/4"x18"ø	135	3/4"	120	1	60	1.5	—	—	—	Provide with Smitz Drain Pan Attach to Wall w/ Approved Seismic Restraint Spacemaker #TSE-25



Revisions:	
A	XXXXXX
B	
C	
D	

Legal Description:
APN : 040-151-063
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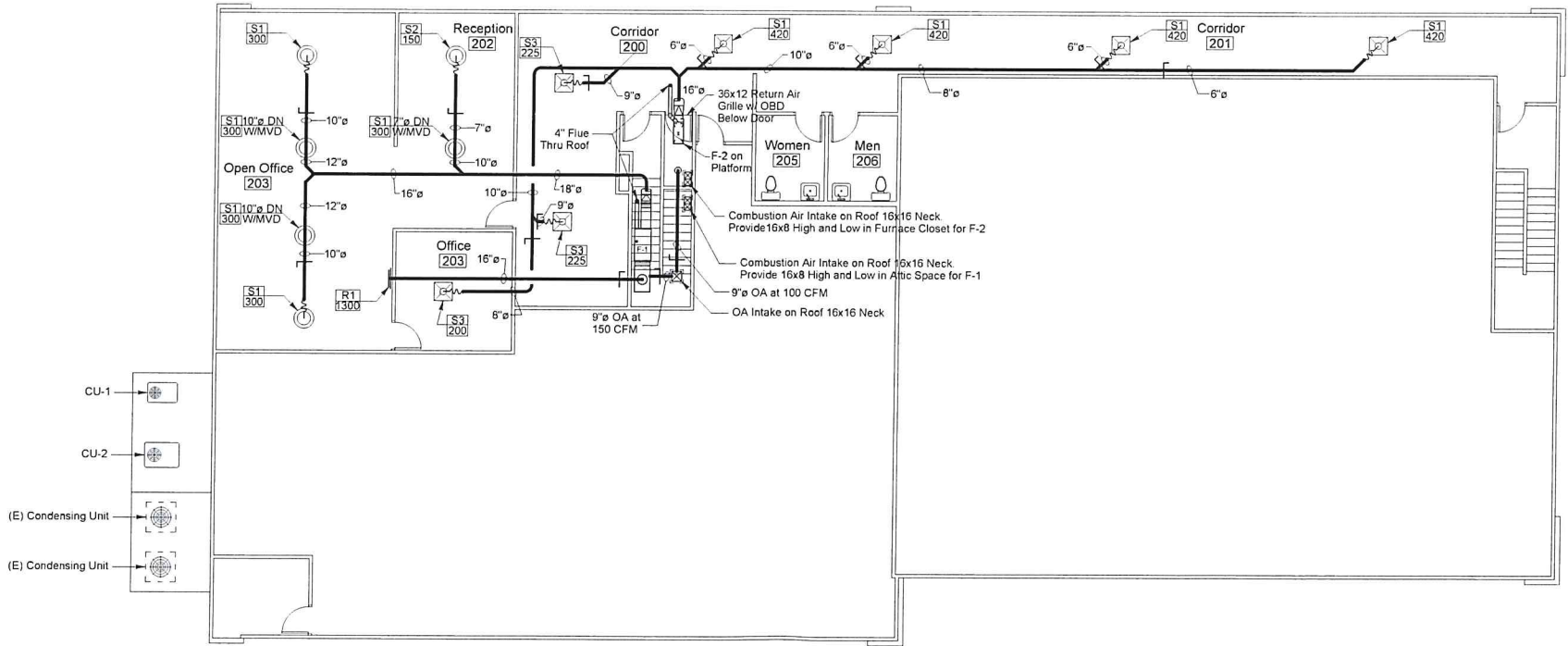
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Date:
6/26/18
Scale:
1/8"
Drawn By:
RC
Sht.
?

Gas Furnace with Cooling Coil Schedule																	
Mark	Make	Model	Type	BTUH Capacity		CSE (SSE)	CFM	ESP	Fan Speed RPM	HP	Power	FLA	Cooling Coil			Weight (LBS)	Remarks (See Below)
				Input	Output								Model	NOM Tons	Matching Cond. Unit		
F-1	York	GY8S080B	Horizontal	80,000	64,000	80	1,500	.8	High	3/4	120/1/60	12.0	GFD046	4	CU-1	191	See Note 1
F-2	York	GY8S080B	Horizontal	80,000	64,000	80	1,500	.8	High	3/4	120/1/60	12.0	GFD046	4	CU-1	191	See Note 1
Notes: 1. Provide with Honeywell T874A1010/Q674A1019 thermostat/subbase.																	
Air-Cooled Condensing Unit Schedule																	
Mark	Make	Model	NOM Tons	Electrical Data			ARI Performance				Connections		OPT. WT.	Matching System	Remarks (See Below)		
				Power	Total Unit FLA	Min Circ Amps	Max Fuse Size	Cooling BTUH	EER	SEER	Refrig.	Liquid				Suction	
CU-1	York	HRD048	4	208/1/60	16.8	20.6	35	44,500	11.6	13.0	R-22	Note 1	Note 1	275	F-1		
CU-2	York	HRD036	4	208/1/60	15.4	18.9	30	32,800	11.4	13.0	R-22	Note 1	Note 1	224	F-2		
Notes: 1. Provide with Honeywell T874A1010/Q674A1019 thermostat/subbase.																	
Grille, Register, and Diffuser Schedule																	
S1 420		Mark: S-Supply; R-Return; E-Exhaust; T-Transfer; L-Louver															
CFM																	
Mark	Make	Series	Model	Size	Construction	Finish	Deflection	Mounting	Face Style	Frame	T-Bar Panel	SQ.-RND Adapter	OBD	FD	Remarks (See Below)		
S1	Metalaire	900	—	10" ø	Aluminum	Off White	Radial	Exposed Duct	Louver	Flat	No	No	No	No	—		
S2	Metalaire	900	—	8" ø	Aluminum	Off White	Radial	Exposed Duct	Louver	Flat	No	No	No	No	—		
S3	Metalaire	5500	65	9x9	Aluminum	Off White	4-Way	24x24 Lay-In Panel	Louver	Flat	Yes	Yes	No	No	—		
S4	Metalaire	5500	65	6x6	Aluminum	Off White	4-Way	24x24 Lay-In Panel	Louver	Flat	Yes	Yes	No	No	—		
R1	Metalaire	RH	—	36x18	Aluminum	Off White	—	Sidewall	45° Vanes	Flat	Yes	Yes	No	No	—		



B Mechanical Second Floor Plan
Scale 1/8" = 1' 0"

Revisions:	
A	XX XX XX
B	
C	
D	

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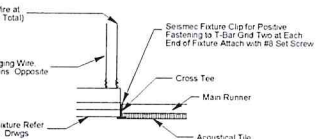
Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?

Ceiling Legend	
Exist	Existing, No Change
Exposed	Exposed to Existing Structure
GB	5/8" Type "x" Gypsum Wallboard
SAT	24" x 48" Suspended Acoustical Tile, Cirrus Beveled Regular by Armstrong with 1 5/16 White Suspension System, Prelude MX by Armstrong (ICBO # 5175) or Approved Equal

Ceiling Fixture Legend & Notes

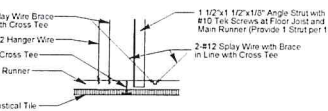
Strip Fluorescent Light Fixture	Exhaust Grille
24" x 4" Fluorescent Light Fixture	Side Wall Diffuser
24" x 2" Fluorescent Light Fixture	Supply Air Diffuser
Cove Light w/ Strip Fluorescent	Return Air Grille
Track Light Fixture	
Decorative Ceiling Mounted Fixture	Illuminated Exit Sign
Wall Mounted Light Fixture	Speaker
Recessed Directional Light Fixture	Smoke/Carbon Monoxide Detector
Recessed Light Fixture	Security Camera
Wall Mounted Light	Security Camera Mount
Decorative Indirect Light Fixture	
Television Mount	

1. Horizontal Dimensions: All dimensions shown are from face of stud, face of concrete, or face of C.B.U. unless otherwise noted.
2. Vertical Dimensions: Dimensions shown are from face of ceiling to finished floor.
3. Light fixture, diffusers, grilles to be centered between wall studs unless otherwise noted.
4. See interior plans for decorative wall mounted light fixture locations.



- Light Fixture Support Notes
- All wire shall have 3 tight turns minimum around itself.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-0.

2 Typ. Light Fixture Support
Scale 1 1/2" = 1' 0"



- Ceiling Notes
- Hanger wire shall be located 4'-0" O.C. max. and 8" max. from face of wall.
 - Splay wire bracing shall be located 12'-0" O.C. max. each way and 4'-0" max. from face of wall.
 - All wire shall have 3 tight turns min. around itself.
 - Provide 14ga. clips at all intersections and a hanger at each corner of light fixture.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-0.

1 Typ. Seismic Brace
Scale 1 1/2" = 1' 0"

Wall Legend

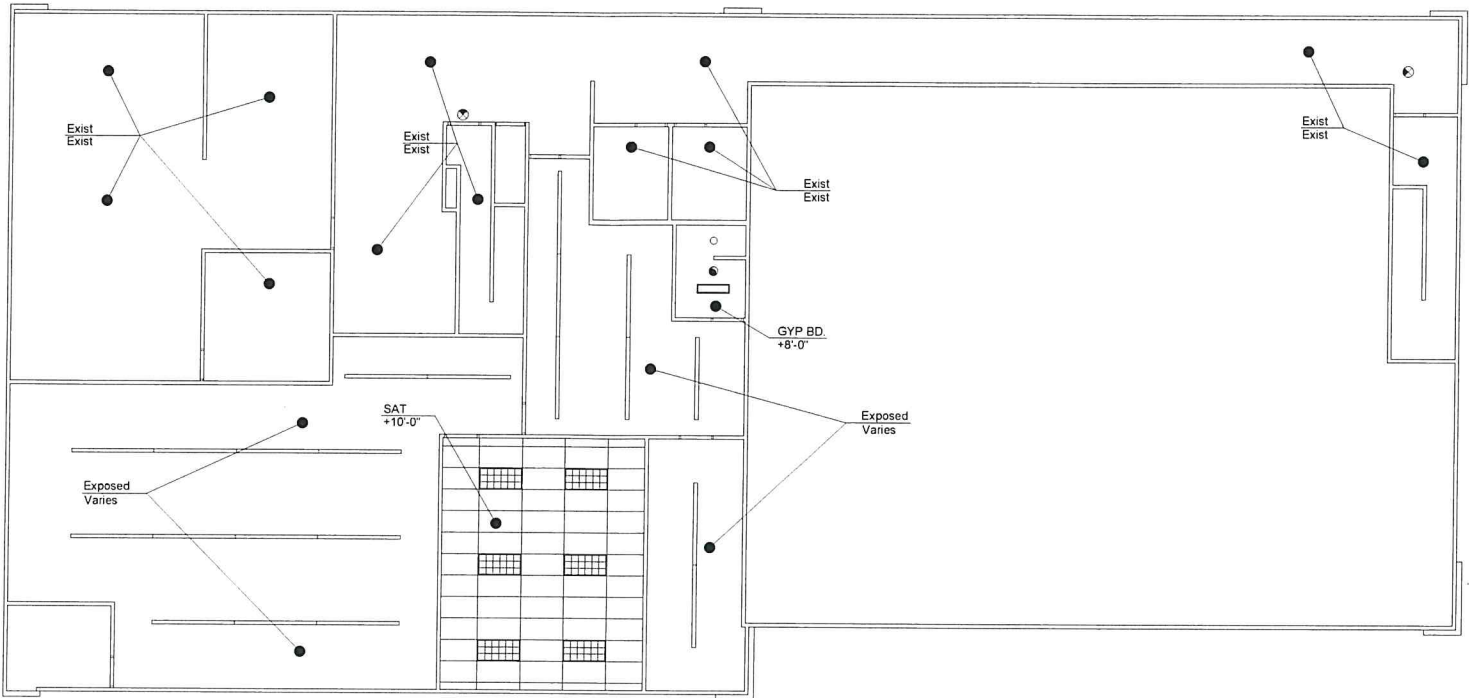
Existing Wall to Remain

Wall Types

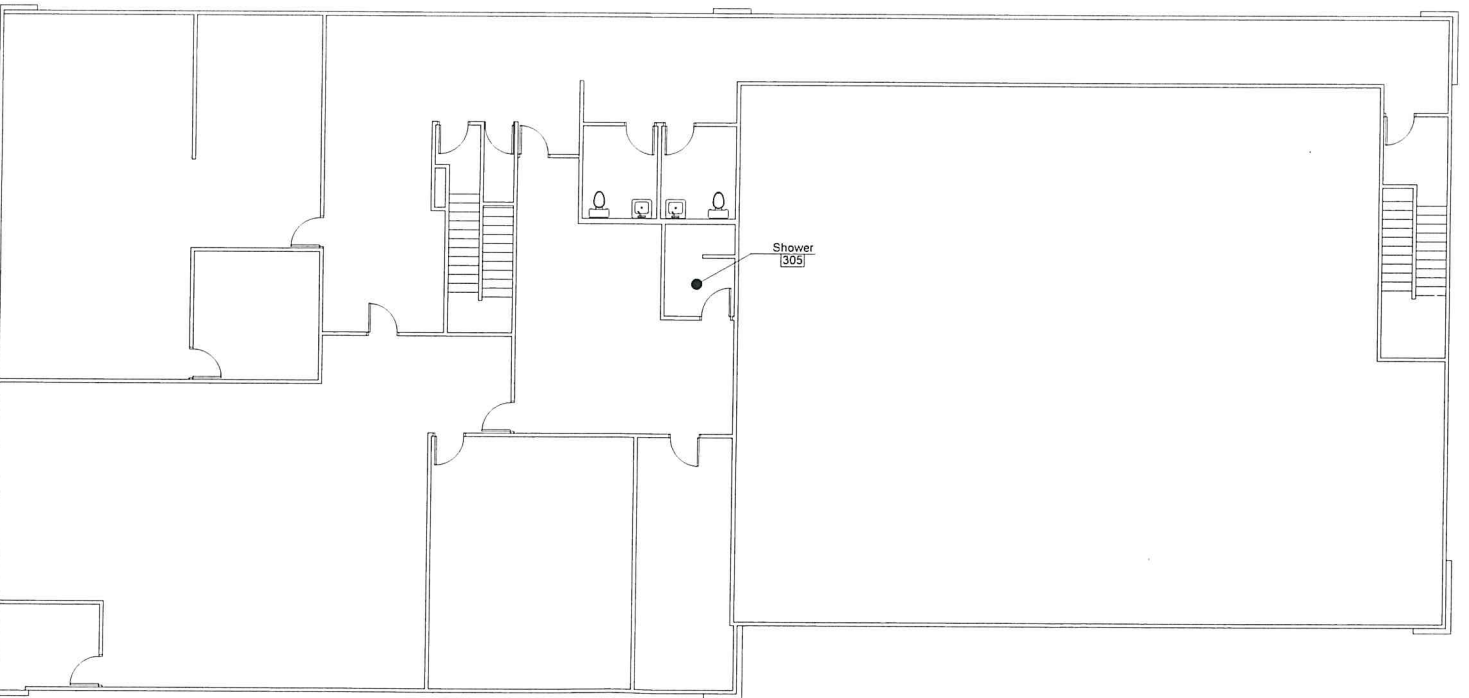
A	3-5/8" x 22ga. MTL Studs @ 16" O.C. with 5/8" Type "x" GYP BD. Each Side with 3" Sound Absor. Blanket (1" Houd. Blanket Full Height)
B	W/ 5/8" Type "x" GYP BD. One Side on Existing Wall

Stair Notes

- All stairs shall have 1 1/2" O.D. max. handrails each side of stair mounted at 34" above stair nosings.
- Handrails shall extend 12" beyond the top riser and 24" beyond the bottom riser.
- Handrails shall be smooth with the ends returned or shall have rounded terminations or bends.
- Handrails shall not project more than 3" from the wall and have a space between the handrail and the wall of not less than 1 1/2".
- All edges of treads shall be free from sharp objects and have smooth, rounded edges.
- Nosings shall not project more than 1 1/2" past the face of the riser.
- Provide a 2" wide slip resistant color contrasting warning strip parallel to and not more than 1" from the step nosing, strip to be replaced on the upper tread and lower tread of each stair run.



B Reflected Ceiling Plan
Scale 1/8" = 1' 0"



A Floor Plan
Scale 1/8" = 1' 0"

Revisions:	
A	XXXXXXXX
B	
C	
D	

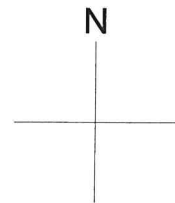
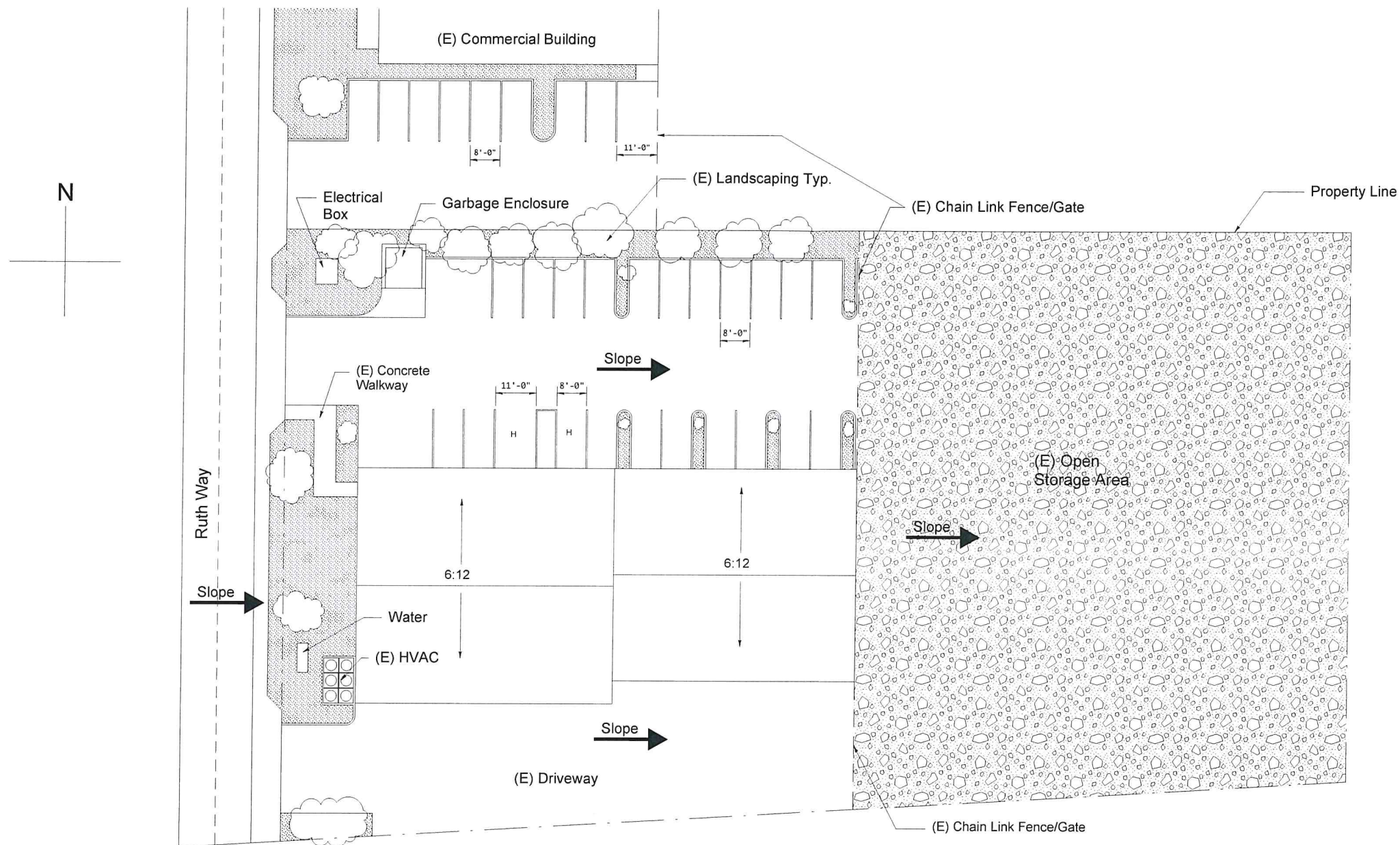
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Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?



Revisions:	
A	XX/XX/XX
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Ph: (805) 528-4812 Fax 528-2325

Date: 6/26/18
Scale: 1/16"
Drawn By: RC
Sht. C-1

Ceiling Legend	
Exist	Existing, No Change
Exposed	Exposed to Existing Structure
GB	5/8" Type 'X' Gypsum Wallboard
SAT	24" x48" Suspended Acoustical Tile, Cirrus Beveled Regular by Armstrong with 15/16 White Suspension System, Prelude MX by Armstrong (ICBO # 5175) or Approved Equal

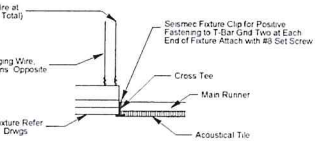
Ceiling Fixture Legend & Notes	
	Strip Fluorescent Light Fixture
	2x4' Fluorescent Light Fixture
	2x2' Fluorescent Light Fixture
	Cove Light w/ Strip Fluorescent
	Track Light Fixture
	Decorative Ceiling Mounted Fixture
	Wall Mounted Light Fixture
	Recessed Directional Light Fixture
	Recessed Light Fixture
	Wall Mounted Uplight
	Decorative Indirect Light Fixture
	Television Mount @ 6" A.P.F.
	Exhaust Grille
	Side Wall Diffuser
	Supply Air Diffuser
	Return Air Grille
	Illuminated Exit Sign
	Speaker
	Smoke/Nation Detector
	Security Camera
	Security Camera Mount (No Mounting)

1) Horizontal Dimensions: All dimensions shown are from face of studs, face of concrete or face of C.M.U. unless otherwise noted.

2) Vertical Dimensions: Dimensions shown are from face of ceiling to finish floor.

3) Light fixtures, diffusers, grilles to be centered between wall beams unless otherwise noted.

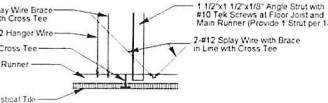
4) See interior plans for decorative wall mounted light fixture locations.



- Light Fixture Support Notes**
- All wire shall have 3 tight turns minimum around itself.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-O.

2 Typ. Light Fixture Support

Scale: 1 1/2" = 1' 0"



- Ceiling Notes**
- Hanger wire shall be located 4'-0" O.C. max. and 8" max. from face of wall.
 - Splay wire bracing shall be located 12'-0" O.C. max. each way and 4'-0" max. from face of wall.
 - All wire shall have 3 tight turns min. around itself.
 - Provide 14ga. clips at all intersections and a hanger at each corner of light fixture.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-O.

1 Typ. Seismic Brace

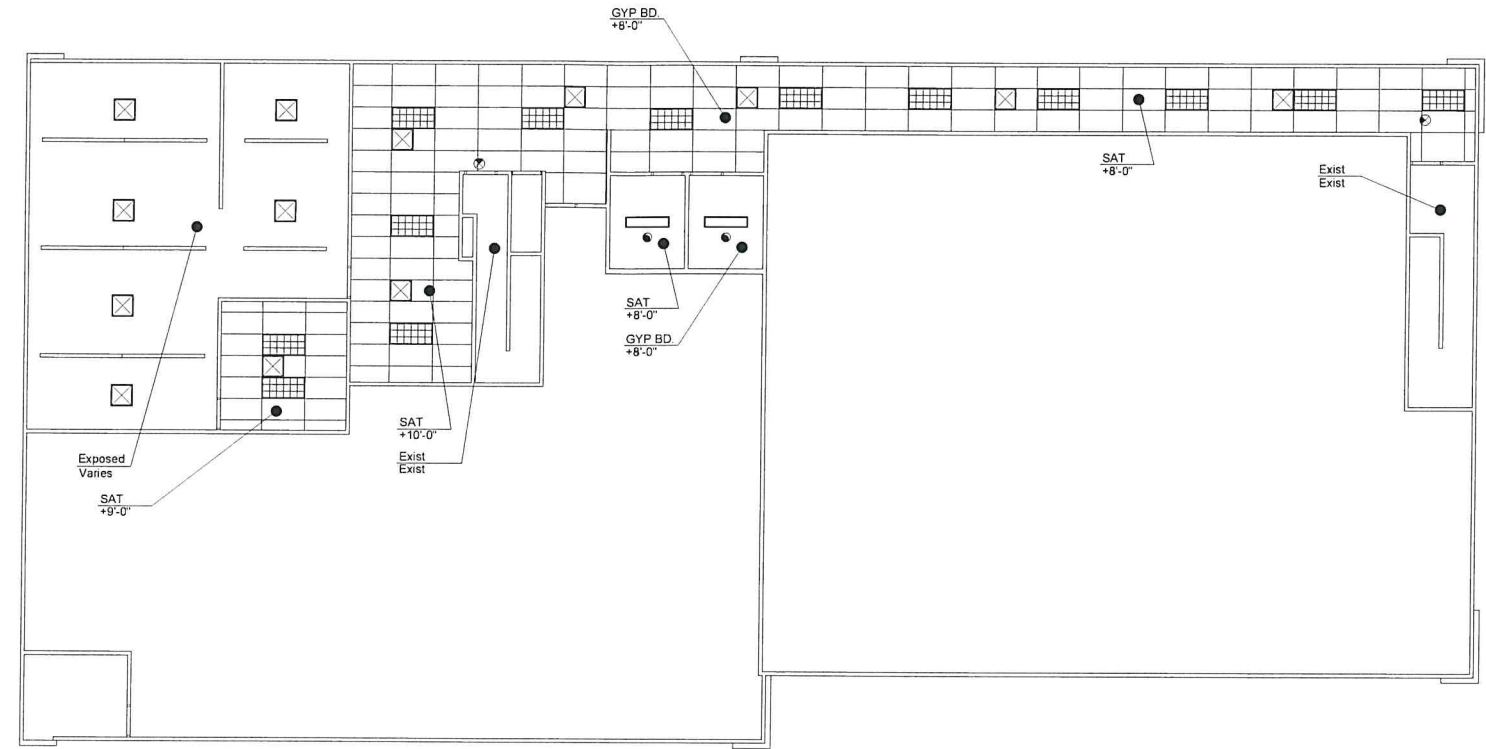
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Wall Legend

Existing Wall to Remain

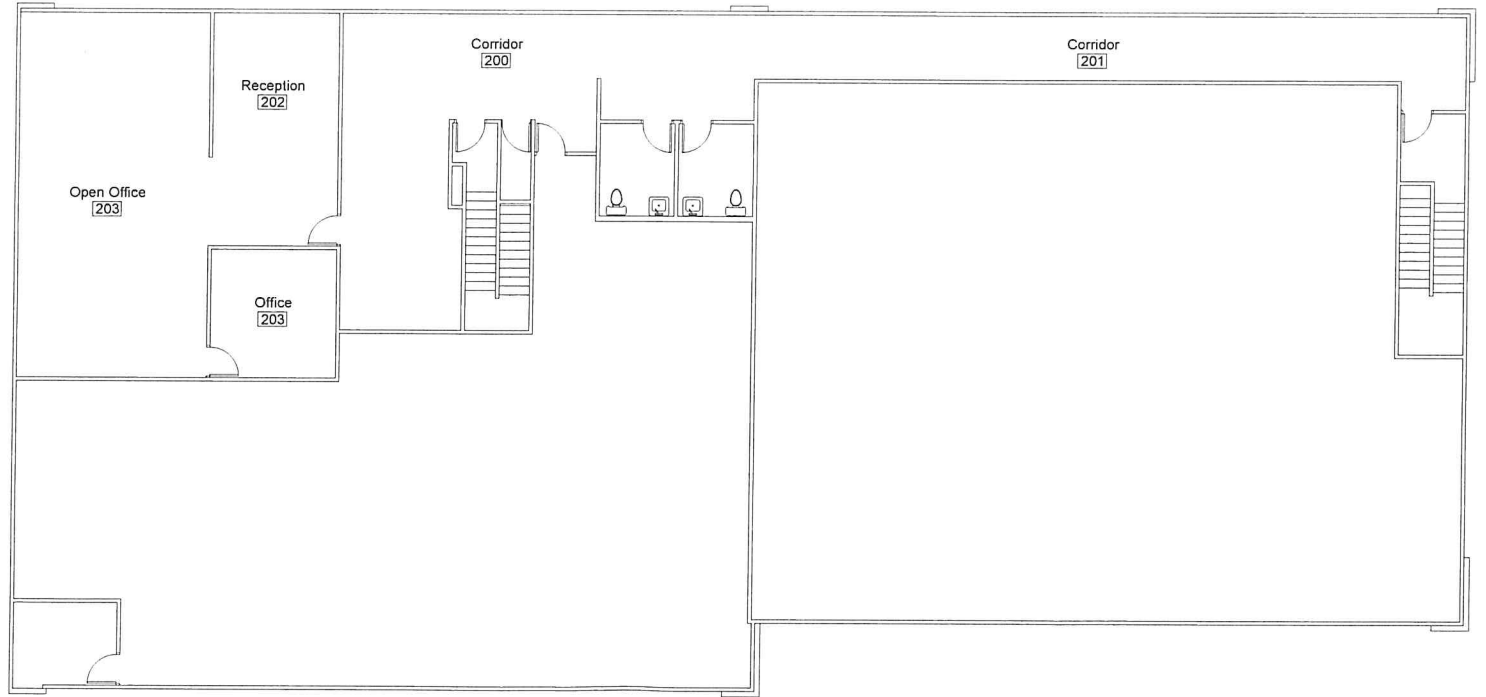
Wall Types

- A** 3.5/5"x22ga MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP. BD. Each Side with 2" Sound Atom Blanket (1-Hour Rated) Full Height
- B** With 5/8" Type 'X' GYP. BD. One Side on Existing Wall
- C** 6"x22ga MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP. BD. Each Side with 2" Sound Atom Blanket Full Height



B Reflected Ceiling Plan

Scale 1/8" = 1' 0"



A Floor Plan

Scale 1/8" = 1' 0"

Revisions:	
A	XXXXXXXX
B	
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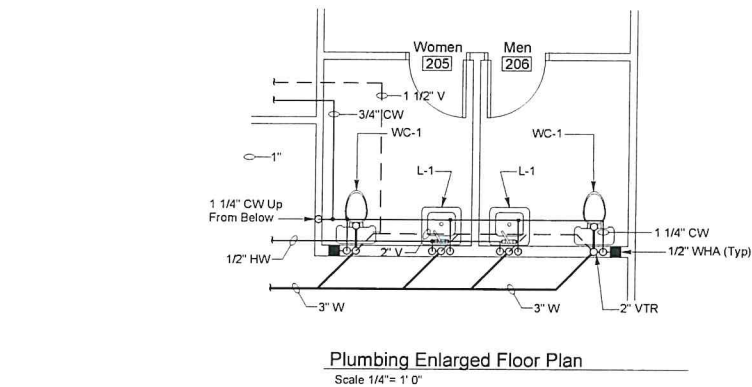
Legal Description:
APN : 040-151-063
County Of San Luis Obispo

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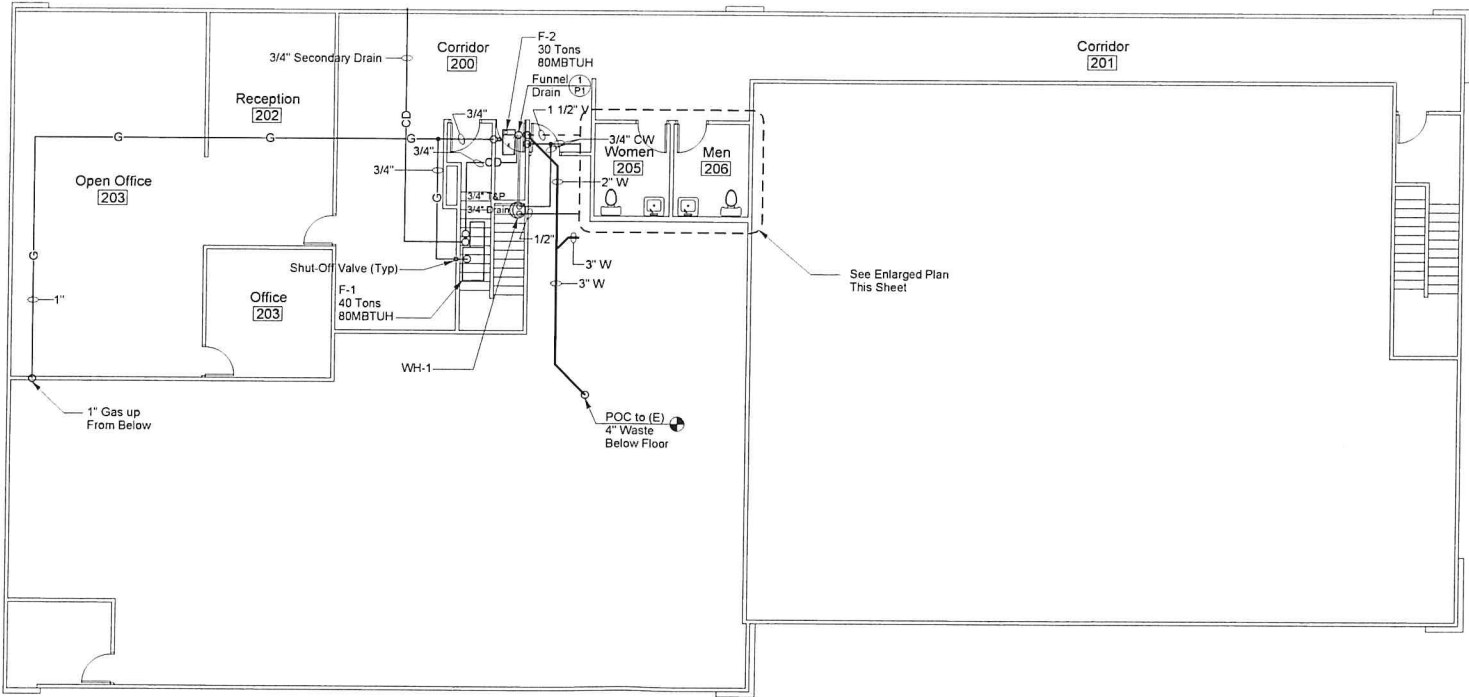
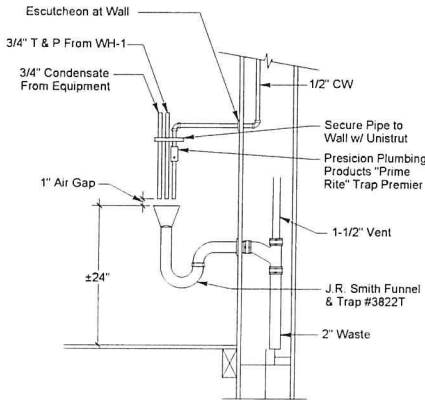
Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

**Crizer Design
Company, Inc.**
P.O. Box 6952 Los Osos, CA 93412
Ph: (805)528-4812 Fax 528-2325

Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?



Plumbing Fixture Schedule														
Mark	Description	Min. Branch Size (")				Make and Model	Fittings				Remarks			
		W	V	CW	HW									
L-1	ADA Lavatory Wall Mount	2	1-1/2	1/2	1/2	Kohler "Kingston" #K2005, 21"x10" Vitreous China	Symmons Faucet #S-20-2-G-FR-IPS w/ Grid Strainer, Stops, Supplies, and C.P. Brass "P" Trap J.R. Smith Wall Support #0722				See Architectural Drawing for ADA Requirements			
WC-1	ADA Water Closet Floor Mounted Elongated, 1.6 GPF	3	2	1-1/4	—	Kohler "Highcrest" #K-4302, 27-5/8" x 14 1/2" x 16 1/2" RIM, Vitreous China	Sloan Royal Flush Valve #111, and Otonite Seal #10CC				See Architectural Drawing for ADA Requirements, Flush Valve Actuator to Wide Side of Space			
Water Heater Schedule														
Mark	Make	Model	Storage Capacity (Gallons)	Dimensions	Full Weight (Pounds)	Inlet/Outlet (Inches)	Power			KW	MBTUH	Branch Size (Inches)	Flue Size (Inches)	Remarks
							Volts	PH	CY					
WH-1	A.O. Smith	DEL-10	10	18-1/4"x18"o	135	3/4"	120	1	60	1.5	—	—	—	Provide with Siphon Drain Pan Attach to Wall w/ Approved Seismic Restraint Spacemaker #TSE-25



Plumbing Second Floor Plan
Scale 1/8" = 1' 0"

Revisions:	
A	XXXXXX
B	
C	
D	

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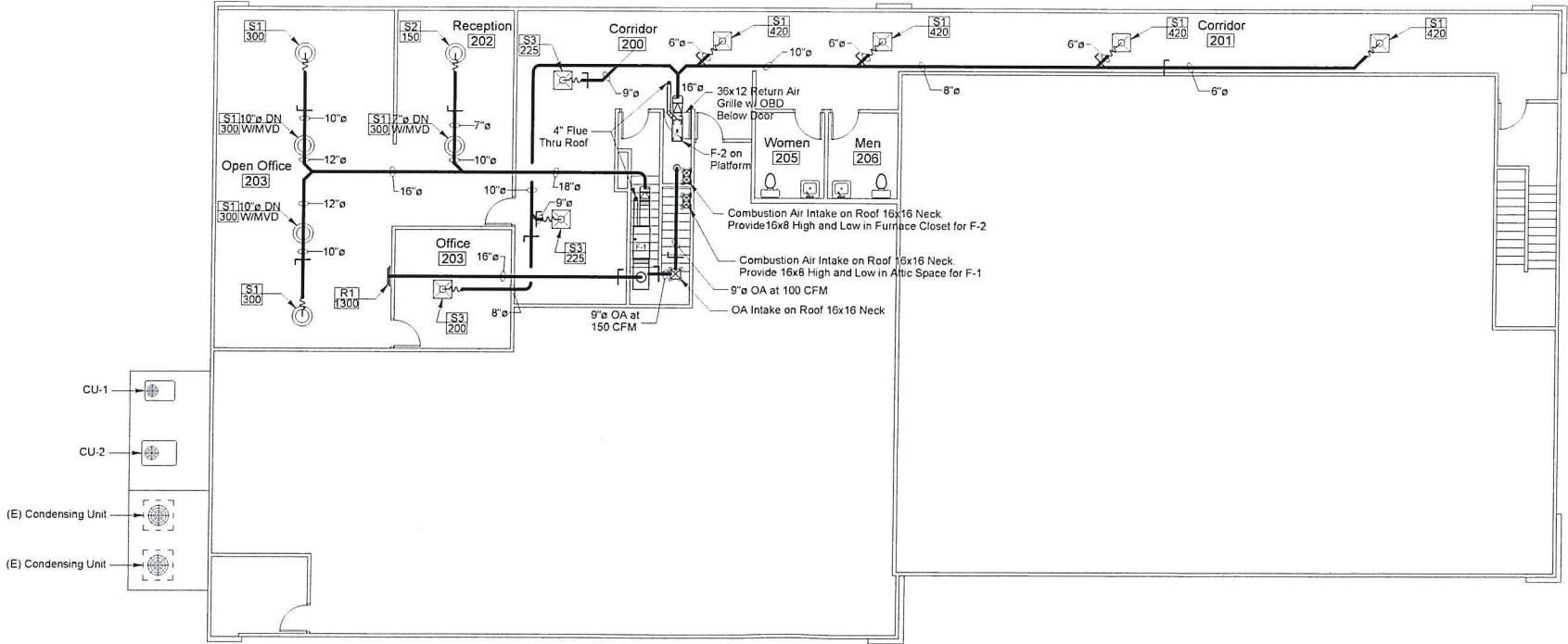
Date:
6/26/18

Scale:
1/8"

Drawn By:
RC

Sht.
?

Gas Furnace with Cooling Coil Schedule																	
Mark	Make	Model	Type	BTUH Capacity		CSE (SSE)	CFM	ESP	Fan Speed RPM	HP	Power	FLA	Cooling Coil			Weight (LBS)	Remarks (See Below)
				Input	Output								Model	NOM Tons	Matching Cond. Unit		
F-1	York	GY8S080B	Horizontal	80,000	64,000	80	1,500	.8	High	3/4	120/1/60	12.0	GFD046	4	CU-1	191	See Note 1
F-2	York	GY8S080B	Horizontal	80,000	64,000	80	1,500	.8	High	3/4	120/1/60	12.0	GFD046	4	CU-1	191	See Note 1
Notes: 1. Provide with Honeywell T874A1010/Q674A1019 thermostat/subbase.																	
Air-Cooled Condensing Unit Schedule																	
Mark	Make	Model	NOM Tons	Electrical Data				ARI Performance				Connections		OPT. WT.	Matching System	Remarks (See Below)	
				Power	Total Unit FLA	Min Circ Amps	Max Fuse Size	Cooling BTUH	EER	SEER	Refrig.	Liquid	Suction				
CU-1	York	HRD048	4	208/1/60	16.8	20.6	35	44,500	11.6	13.0	R-22	Note 1	Note 1	275	F-1		
CU-2	York	HRD036	4	208/1/60	15.4	18.9	30	32,800	11.4	13.0	R-22	Note 1	Note 1	224	F-2		
Notes: 1. Provide with Honeywell T874A1010/Q674A1019 thermostat/subbase.																	
Grille, Register, and Diffuser Schedule																	
Mark: S-Supply; R-Return; E-Exhaust; T-Transfer; L-Louver																	
S1 420	CFM																
Mark	Make	Series	Model	Size	Construction	Finish	Deflection	Mounting	Face Style	Frame	T-Bar Panel	SQ.-RND Adapter	OBD	FD	Remarks (See Below)		
S1	Metalaire	900	—	10" ø	Aluminum	Off White	Radial	Exposed Duct	Louver	Flat	No	No	No	No	—		
S2	Metalaire	900	—	8" ø	Aluminum	Off White	Radial	Exposed Duct	Louver	Flat	No	No	No	No	—		
S3	Metalaire	5500	65	9x9	Aluminum	Off White	4-Way	24x24 Lay-in Panel	Louver	Flat	Yes	Yes	No	No	—		
S4	Metalaire	5500	65	6x6	Aluminum	Off White	4-Way	24x24 Lay-in Panel	Louver	Flat	Yes	Yes	No	No	—		
R1	Metalaire	RH	—	36x18	Aluminum	Off White	—	Sidewall	45° Vanes	Flat	Yes	Yes	No	No	—		



B Mechanical Second Floor Plan
Scale 1/8" = 1' 0"

Revisions:	
A	XXXXXX
B	
C	
D	

Legal Description:
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County Of San Luis Obispo

Commercial

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Crizer Design
Company, Inc.
P.O. Box 6952 Los Osos, CA 93412
Ph. (805)528-4812 Fax 528-2325

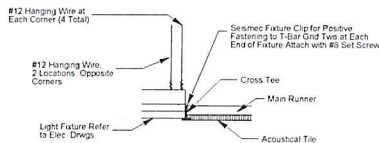
Date: 6/26/18
Scale: 1/8"
Drawn By: RC
Sht. ?

Ceiling Legend	
Exist	Existing, No Change
Exposed	Exposed to Existing Structure
GB	5/8" Type "x" Gypsum Wallboard
SAT	24" x48" Suspended Acoustical Tile, Cirrus Beveled Tegular by Armstrong with 15/16 White Suspension System, Prelude MX by Armstrong (ICBO # 5175) or Approved Equal

Ceiling Fixture Legend & Notes

Strip Fluorescent Light Fixture	Exhaust Grille
24" Fluorescent Light Fixture	Side Wall Diffuser
24"2" Fluorescent Light Fixture	Supply Air Diffuser
Cove Light w/ Strip Fluorescent	Return Air Grille
Track Light Fixture	
Decorative Ceiling Mounted Fixture	Illuminated Exit Sign
Wall Mounted Light Fixture	Speaker
Recessed Downlight Light Fixture	Smoke/Fraction Detector
Recessed Light Fixture	Security Camera
Wall Mounted Spotlight	Security Camera Mount
Decorative Indirect Light Fixture	
Television Mount @ 8" @ A.P.P.	

- 1) Horizontal Dimensions: All dimensions shown are from face of stud, face of partition, or face of C.M.U. unless otherwise noted.
- 2) Vertical Dimensions: Dimensions shown are from face of ceiling to finished floor.
- 3) Light fixtures, diffusers, grilles to be centered between walls/studs unless otherwise noted.
- 4) See interior plans for decorative wall mounted light fixture locations.

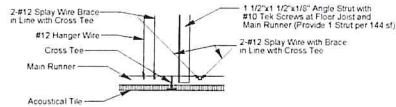


Light Fixture Support Notes

1. All wire shall have 3 tight turns minimum around itself.
2. Suspended ceiling shall comply with CBC tables 25-A and 16-O.

2 Typ. Light Fixture Support

Scale: 1/12" = 1' 0"



Ceiling Notes

1. Hanger wire shall be located 4'-0" O.C. max. and 8" max. from face of wall.
2. Splay wire bracing shall be located 12'-0" O.C. max. each way and 4'-0" max. from face of wall.
3. All wire shall have 3 tight turns min. around itself.
4. Provide 14ga. clips at all intersections and a hanger at each corner of light fixture.
5. Suspended ceiling shall comply with CBC tables 25-A and 16-O.

1 Typ. Seismic Brace

Scale: 1/12" = 1' 0"

Wall Legend

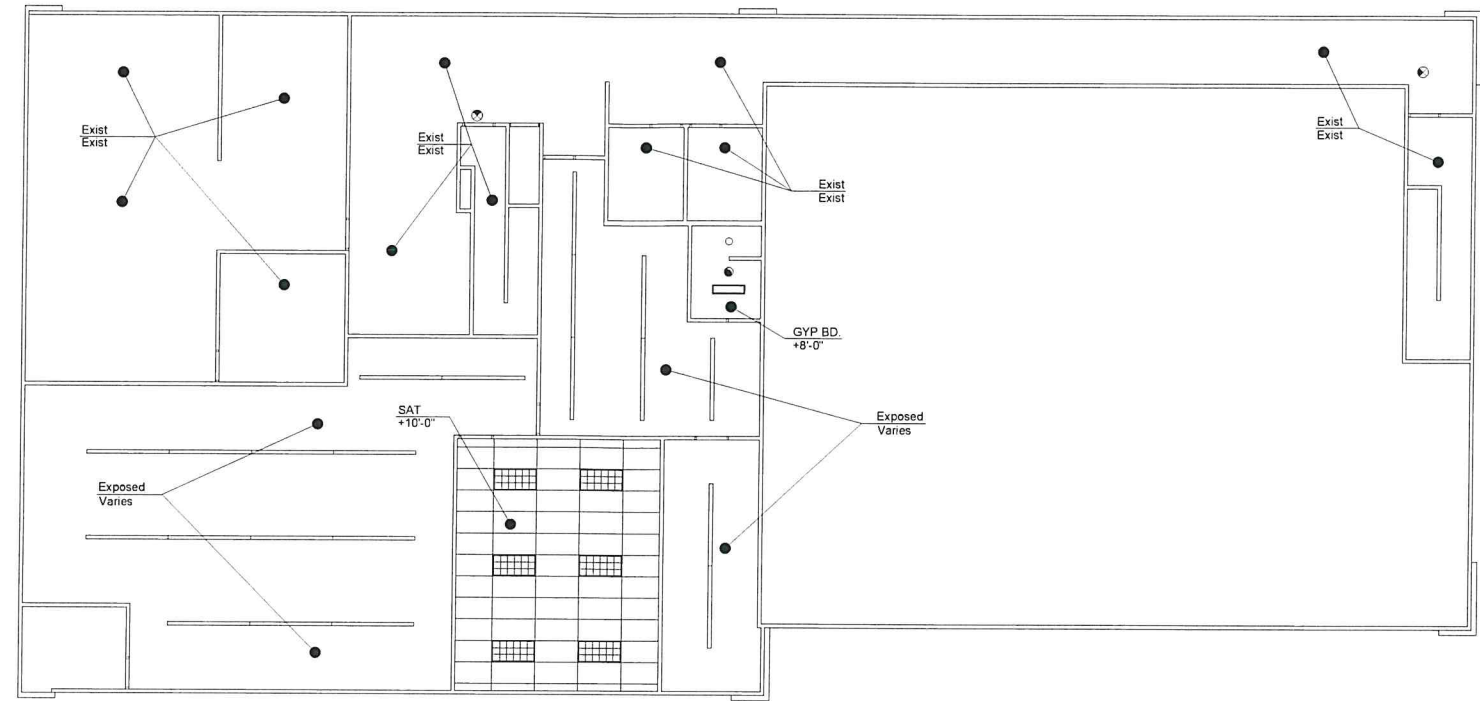
Existing Wall to Remain

Wall Types

- A 3-5/8"x22ga. MTL Studs @ 16" O.C. with 5/8" Type "X" GYP. BD. Each Side with 3" Sound Attn. Blanket (1 Hour Rated) Full Height.
- B With 5/8" Type "X" GYP. BD. One Side on Existing Wall

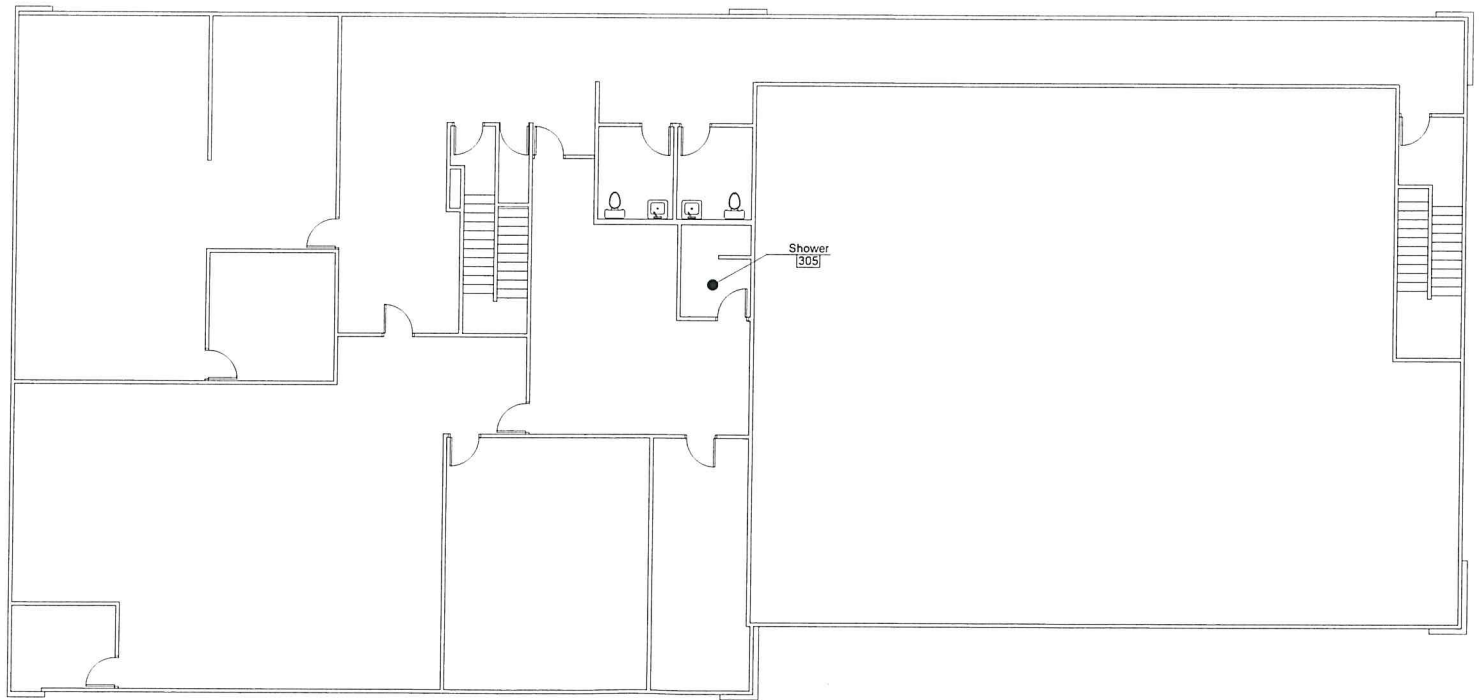
Stair Notes

1. All stairs shall have 1 1/2" O.D. max. handrails each side of stair mounted at 34" above stair nosings.
2. Handrails shall extend 12" beyond the top riser and 24" beyond the bottom riser.
3. Handrails shall be smooth with the ends returned or shall have rounded terminations or bends.
4. Handrails shall not project more than 3" from the wall and have a space between the handrail and the wall of not less than 1 1/2".
5. All edges of treads shall be free from sharp objects and have smooth, rounded edges.
6. Nosings shall not project more than 1 1/2" past the face of the riser.
7. Provide a 2" wide slip resistant color contrasting warning strip parallel to and not more than 1" from the step nosing, strip to be replaced on the upper tread and lower tread of each stair run.



B Reflected Ceiling Plan

Scale: 1/8" = 1' 0"



A Floor Plan

Scale: 1/8" = 1' 0"

Revisions:	
A	XXXXXXXX
B	
C	
D	

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Commercial

Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

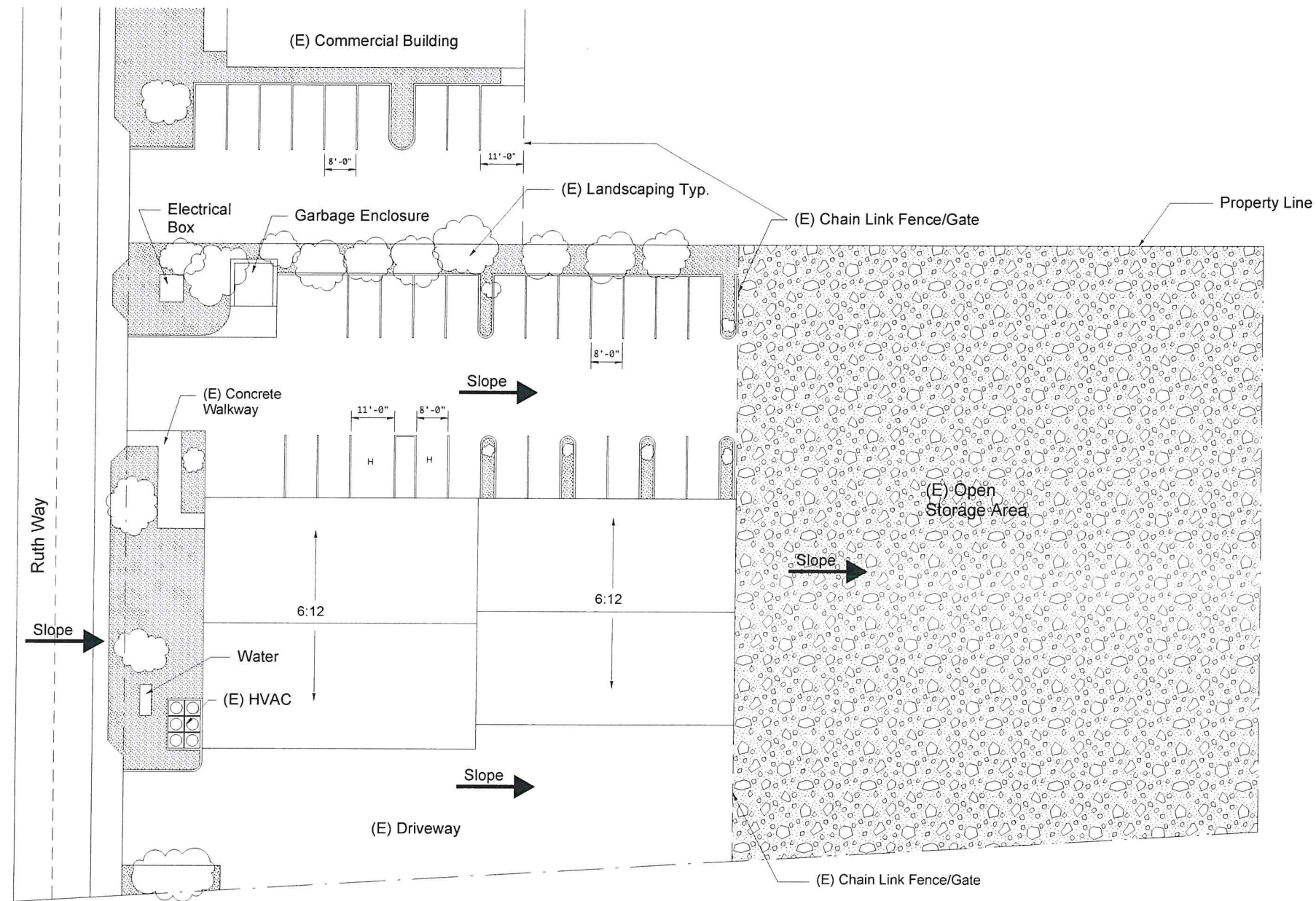
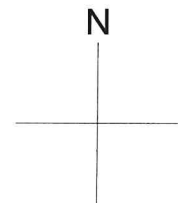
**Crizer Design
Company, Inc.**

P.O. Box 6952 Los Osos, CA 93412
Ph. (805)528-4812 Fax 528-2325

Date:
6/26/18
Scale:
1/8"

Drawn By:
RC

Sht.
?



Revisions:	
A	XXXXXX
B	
C	
D	

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Commercial

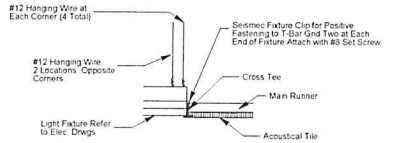
Owner/Site Address:
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Crizer Design
Company, Inc.
P.O. Box 6952 Los Osos, CA 93412
Ph. (805) 528-4812 Fax 528-2325

Date:	6/26/18
Scale:	1/16"
Drawn By:	RC
Sht.	C-1

Ceiling Legend	
Exist	Existing, No Change
Exposed	Exposed to Existing Structure
GB	5/8" Type 'X' Gypsum Wallboard
SAT	24" x48" Suspended Acoustical Tile, Curus Beveled Regular by Armstrong with 15/16 White Suspension System, Prelude MK by Armstrong (ICBO # 5175) or Approved Equal

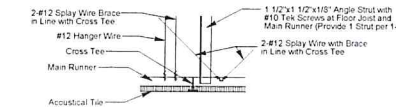
Ceiling Fixture Legend & Notes	
	Drop Fluorescent Light Fixture
	24"x48" Fluorescent Light Fixture
	24"x24" Fluorescent Light Fixture
	Cove Light w/ Drop Fluorescent
	Track Light Fixture
	Decorative Ceiling Mounted Fixture
	Wall Mounted Light Fixture
	Recessed Downward Light Fixture
	Recessed Light Fixture
	Wall Mounted Uplight
	Decorative Indirect Light Fixture
	Television Mount @ 6' 0" A.P.F.
	Exhaust Grille
	Side Wall Diffuser
	Supply Air Diffuser
	Return Air Grille
	Illuminated Exit Sign
	Speaker
	Smoke/Intrusion Detector
	Security Camera
	Security Camera Monthly Test Mount @ 6' 0" A.P.F.
1) Horizontal Dimensions: All dimensions shown are from face of studs, face of concrete or face of C.M.U. unless otherwise noted. 2) Vertical Dimensions: Dimensions shown are from face of ceiling to finished floor. 3) Light fixtures, diffusers, grilles to be centered between walls/beams unless otherwise noted. 4) See elevations plans for decorative wall mounted light fixture locations.	



- Light Fixture Support Notes**
- All wire shall have 3 tight turns minimum around itself.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-0.

2 Typ. Light Fixture Support

Scale: 1 1/2" = 1' 0"



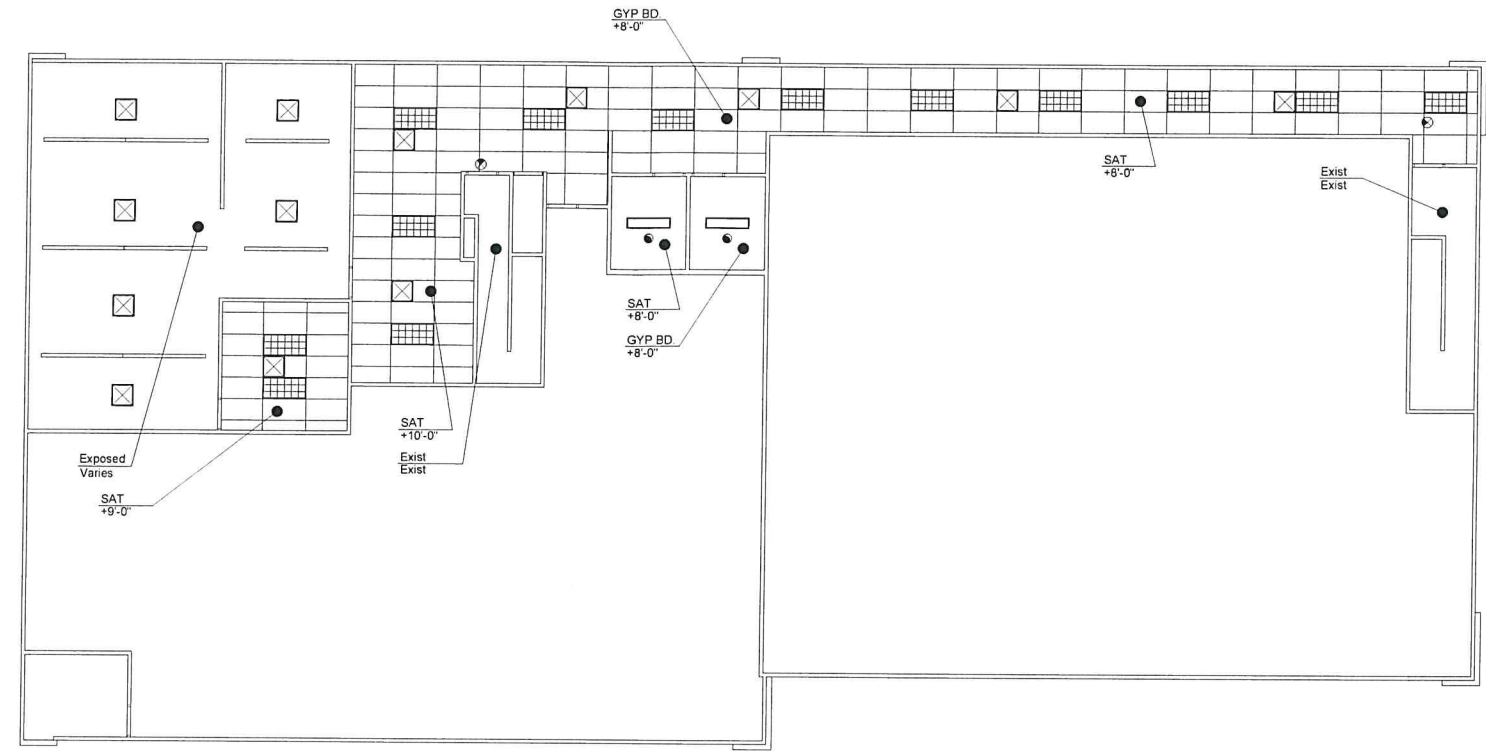
- Ceiling Notes**
- Hanger wire shall be located 4'-0" O.C. max. and 6" max. from face of wall.
 - Spay wire bracing shall be located 12'-0" O.C. max. each way and 4'-0" max. from face of wall.
 - All wire shall have 3 tight turns min. around itself.
 - Provide 14ga. clips at all intersections and a hanger at each corner of light fixture.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-0.

1 Typ. Seismic Brace

Scale: 1 1/2" = 1' 0"

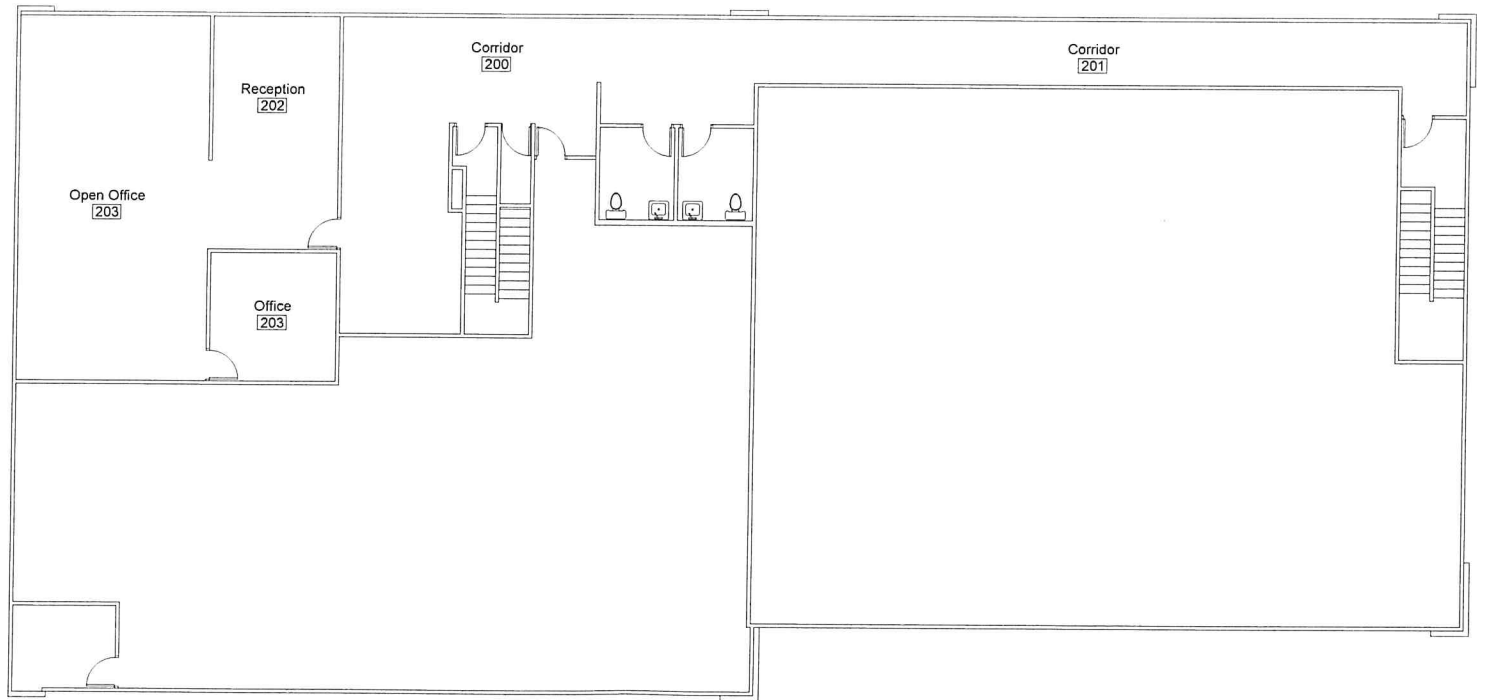
Wall Legend	
	Existing Wall to Remain

Wall Types	
	3-5/8"x22ga. MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP BD Each Side with 3" Sound Absor. Blanket (1-Hour Rated) Full Height
	With 5/8" Type 'X' GYP BD One Side on Existing Wall
	6"x22ga. MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP BD Each Side with 3" Sound Absor. Blanket Full Height



B Reflected Ceiling Plan

Scale: 1/8" = 1' 0"



A Floor Plan

Scale: 1/8" = 1' 0"

Revisions:	
A	XXXXXX
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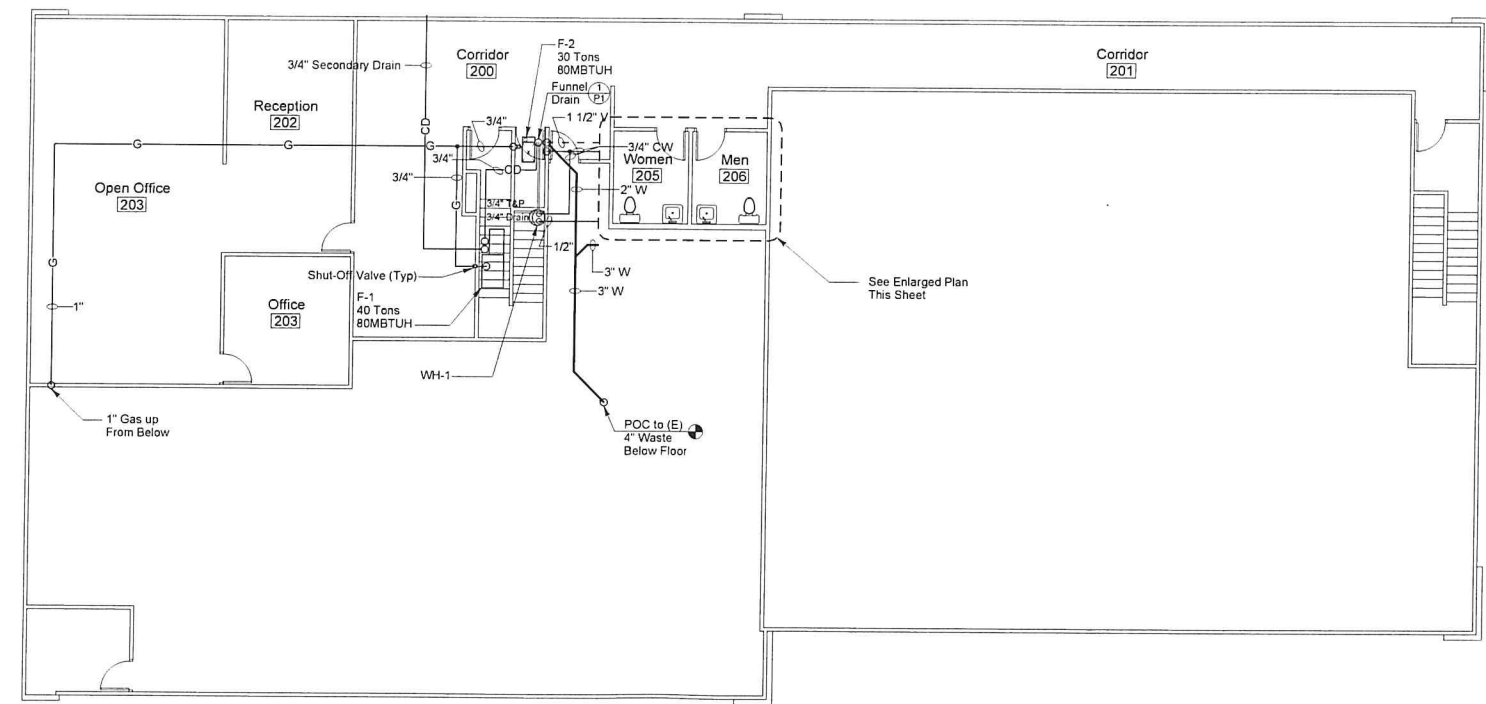
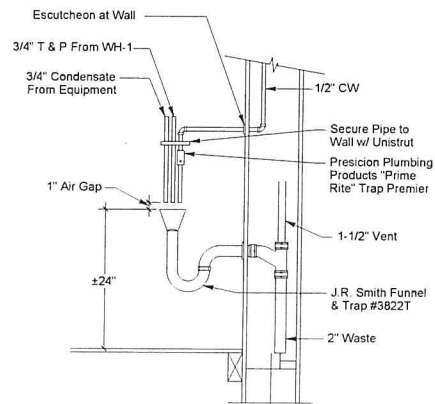
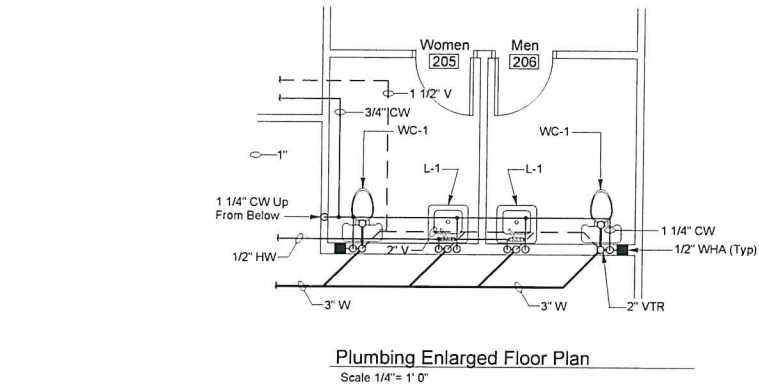
Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Commercial

Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

Crizer Design
Company, Inc.
P.O. Box 6952 Los Osos, CA 93412
Ph: (805) 528-4812 Fax 528-2325

Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?



Plumbing Fixture Schedule													
Mark	Description	Min. Branch Size (")				Make and Model	Fittings				Remarks		
		W	V	CW	HW								
L-1	ADA Lavatory Wall Mount	2	1-1/2	1/2	1/2	Kohler "Kingston" #K2005, 21"x16" Vitreous China	Symmons Faucet #5-20-2-G-FR-IPS w/ Grid Strainer, Stops, Supplies, and C.P. Brass "P" Trap J.R. Smith Wall Support #0722				See Architectural Drawing for ADA Requirements		
WC-1	ADA Water Closet Floor Mounted Elongated, 1.6 GPF	3	2	1-1/4	—	Kohler "Highcrest" #K-4302, 27-5/8" x 14 1/2" x 16 1/2" RIM, Vitreous China	Sloan Royal Flush Valve #111, and Oisonite Seal #10CC				See Architectural Drawing for ADA Requirements, Flush Valve Actuator to Wide Side of Space		
Water Heater Schedule													
Mark	Make	Model	Storage Capacity (Gallons)	Dimensions	Full Weight (Pounds)	Inlet/Outlet (Inches)	Power		KW	MBTUH	Branch Size (Inches)	Flue Size (Inches)	Remarks
							Volts	PH CY					
WH-1	A.O. Smith	DEL-10	10	18-1/4"x18"o	135	3/4"	120	1 60	1.5	—	—	—	Provide with Gundy Drain Pan. Attach to Wall w/ Approved Seismic Restraint Strap/anchor #TSE-25

Revisions:	
A	XXXXX
B	
C	
D	

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

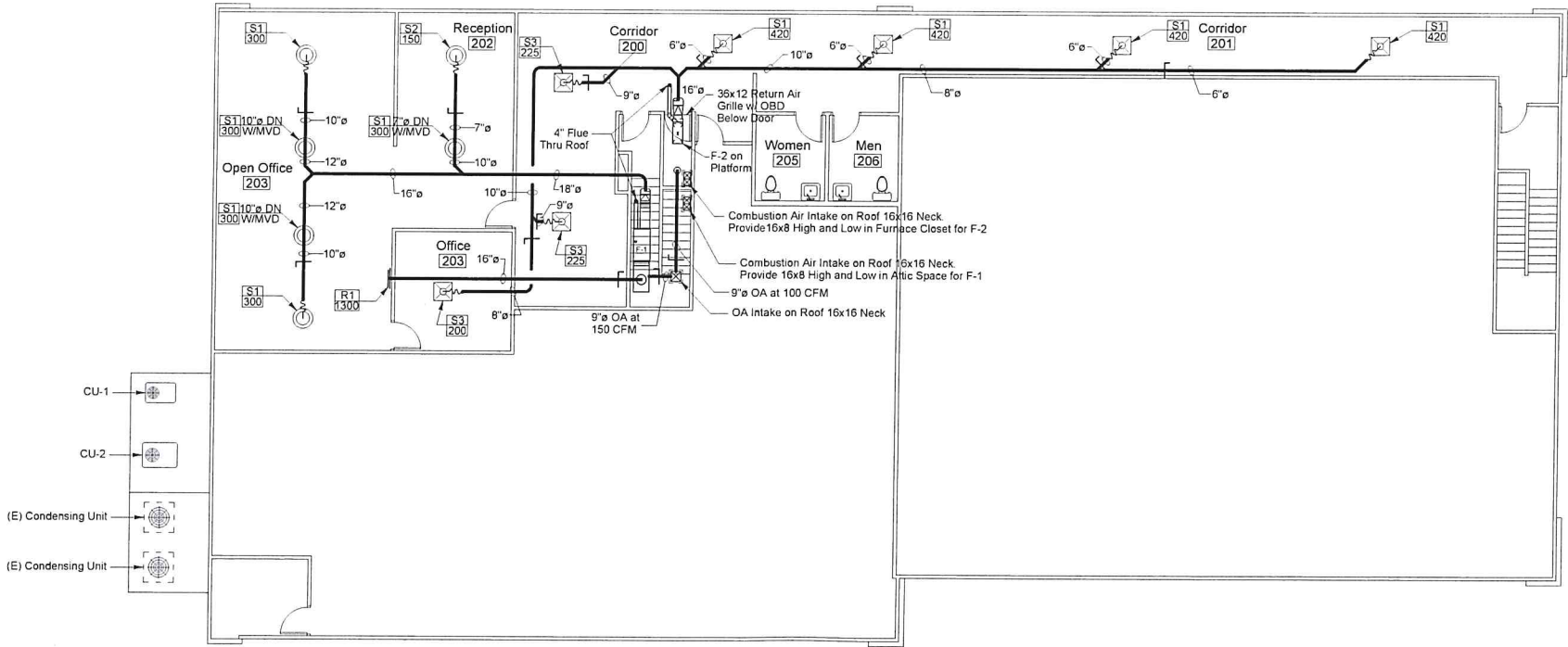
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P.O. Box 6952 Los Osos, CA 93412
Ph: (805)528-4812 Fax 528-2325

Date:
6/26/18
Scale:
1/8"
Drawn By:
RC
Sht.
?

Gas Furnace with Cooling Coil Schedule																	
Mark	Make	Model	Type	BTUH Capacity		CSE (SSE)	CFM	ESP	Fan Speed RPM	HP	Power	FLA	Cooling Coil			Weight (LBS)	Remarks (See Below)
				Input	Output								Model	NOM Tons	Matching Cond. Unit		
F-1	York	GY8S080B	Horizontal	80,000	64,000	80	1,500	8	High	3/4	120/1/60	12.0	GFD046	4	CU-1	191	See Note 1
F-2	York	GY8S080B	Horizontal	80,000	64,000	80	1,500	8	High	3/4	120/1/60	12.0	GFD046	4	CU-1	191	See Note 1
Notes: 1. Provide with Honeywell T874A1010/Q674A1019 thermostat/subbase.																	
Air-Cooled Condensing Unit Schedule																	
Mark	Make	Model	NOM Tons	Electrical Data			ARI Performance				Connections		OPT. WT.	Matching System	Remarks (See Below)		
				Power	Total Unit FLA	Min Circ Amps	Max Fuse Size	Cooling BTUH	EER	SEER	Refrig.	Liquid	Suction				
CU-1	York	HRD046	4	208/1/60	16.8	20.6	35	44,500	11.6	13.0	R-22	Note 1	Note 1	275	F-1		
CU-2	York	HRD036	4	208/1/60	15.4	18.9	30	32,800	11.4	13.0	R-22	Note 1	Note 1	224	F-2		
Notes: 1. Provide with Honeywell T874A1010/Q674A1019 thermostat/subbase.																	
Grille, Register, and Diffuser Schedule																	
S1 420		Mark: CFM		S-Supply; R-Return; E-Exhaust; T-Transfer; L-Louver													
Mark	Make	Series	Model	Size	Construction	Finish	Deflection	Mounting	Face Style	Frame	T-Bar Panel	SQ.-RND Adapter	OBD	FD	Remarks (See Below)		
S1	Metalaire	900	—	10" ø	Aluminum	Off White	Radial	Exposed Duct	Louver	Flat	No	No	No	No	—		
S2	Metalaire	900	—	8" ø	Aluminum	Off White	Radial	Exposed Duct	Louver	Flat	No	No	No	No	—		
S3	Metalaire	5500	65	9x9	Aluminum	Off White	4-Way	24x24 Lay-In Panel	Louver	Flat	Yes	Yes	No	No	—		
S4	Metalaire	5500	65	6x6	Aluminum	Off White	4-Way	24x24 Lay-In Panel	Louver	Flat	Yes	Yes	No	No	—		
R1	Metalaire	RH	—	36x18	Aluminum	Off White	—	Sidewall	45° Vanes	Flat	Yes	Yes	No	No	—		



B Mechanical Second Floor Plan
Scale 1/8" = 1' 0"

Revisions:	
A	AV/AV/AV
B	
C	
D	

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Commercial

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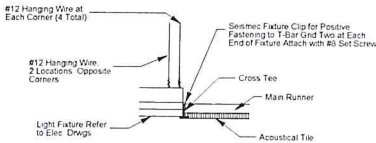
Date: 6/26/18
Scale: 1/8"
Drawn By: RC
Shd. ?

Ceiling Legend		
Exist	Existing, No Change	
Exposed	Exposed to Existing Structure	
GB	5/8" Type "X" Gypsum Wallboard	
SAT	24"x48" Suspended Acoustical Tile, Cirrus Beveled Tegular by Armstrong with 15/16 White Suspension System, Prelude MX by Armstrong (CBO # 5175) or Approved Equal	

Ceiling Fixture Legend & Notes

Strip Fluorescent Light Fixture	Exhaust Grille
2'x4' Fluorescent Light Fixture	Side Wall Diffuser
2'x2' Fluorescent Light Fixture	Supply Air Diffuser
Cove Light w/ Strip Fluorescent	Return Air Grille
Track Light Fixture	Illuminated Exit Sign
Decorative Ceiling Mounted Fixture	Speaker
Wall Mounted Light Fixture	Smoke/Nitrogen Detector
Recessed Directional Light Fixture	Security Camera
Recessed Light Fixture	Security Camera
Wall Mounted Uplight	Television Mount @ 8" A.P.D.
Decorative Indirect Light Fixture	
Television Mount @ 8" A.P.D.	

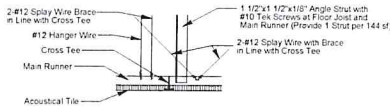
- 1) Horizontal Dimensions: All dimensions shown are from face of stud, face of concrete or face of C.M.U. unless otherwise noted.
- 2) Vertical Dimensions: Dimensions shown are from face of ceiling to finished floor.
- 3) Light Fixtures, diffusers, grilles to be centered between wall/beams unless otherwise noted.
- 4) See interior plans for decorative wall mounted light fixture locations.



Light Fixture Support Notes

- All wire shall have 3 tight turns minimum around itself.
- Suspended ceiling shall comply with CBC tables 25-A and 16-O.

2 Typ. Light Fixture Support
Scale: 1/16" = 1' 0"



Ceiling Notes

- Hanger wire shall be located 4'-0" O.C. max. and 8" max. from face of wall.
- Splay wire bracing shall be located 12'-0" O.C. max. each way and 4'-0" max. from face of wall.
- All wire shall have 3 tight turns min. around itself.
- Provide 1-ga. clips at all intersections and a hanger at each corner of light fixture.
- Suspended ceiling shall comply with CBC tables 25-A and 16-O.

1 Typ. Seismic Brace
Scale: 1/16" = 1' 0"

Wall Legend

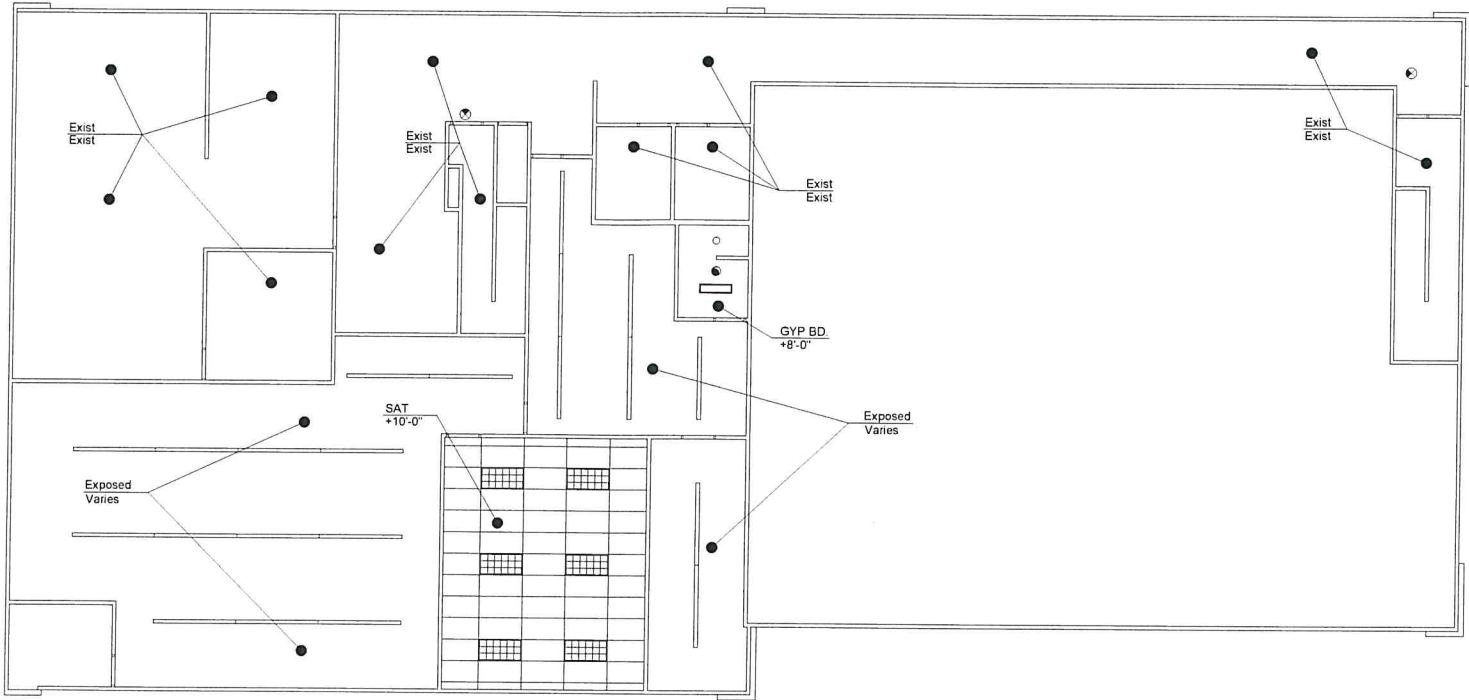
Existing Wall to Remain

Wall Types

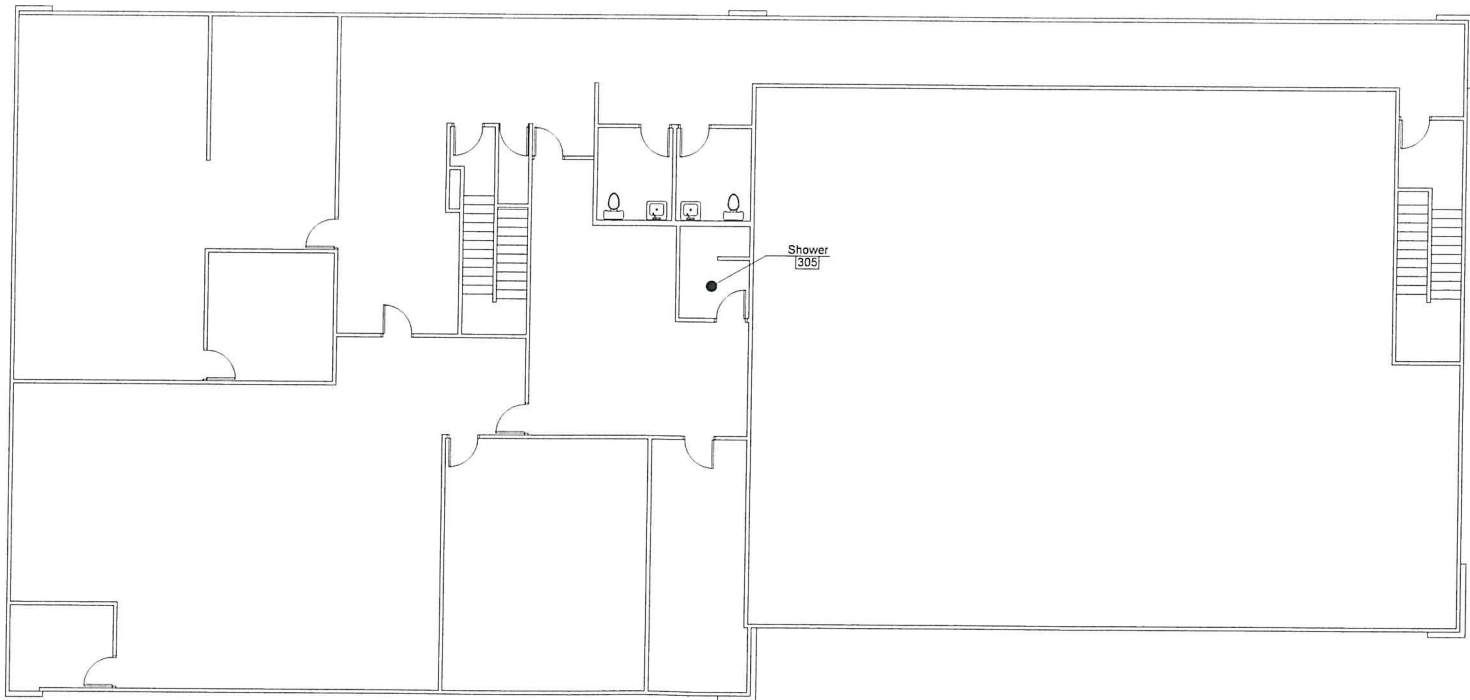
- A 3-5/8"x22ga. MTL Studs @ 16" O.C. with 5/8" Type "X" GYP BD. Each Side with 2" Sound Attn. Blanket (1-Hour Rated) Full Height
- B With 5/8" Type "X" GYP BD. One Side on Existing Wall

Stair Notes

- All stairs shall have 1 1/2" O.D. max. handrails each side of stair mounted at 34" above stair nosings.
- Handrails shall extend 12" beyond the top riser and 24" beyond the bottom riser.
- Handrails shall be smooth with the ends returned or shall have rounded terminations or bends.
- Handrails shall not project more than 3" from the wall and have a space between the handrail and the wall of not less than 1 1/2".
- All edges of treads shall be free from sharp objects and have smooth, rounded edges.
- Nosings shall not project more than 1 1/2" past the face of the riser.
- Provide a 2" wide slip resistant color contrasting warning strip parallel to and not more than 1" from the step nosing. Strip to be replaced on the upper tread and lower tread of each stair run.



B Reflected Ceiling Plan
Scale: 1/8" = 1' 0"



A Floor Plan
Scale: 1/8" = 1' 0"

Revisions:	
A	XX XX XX
B	
C	
D	

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

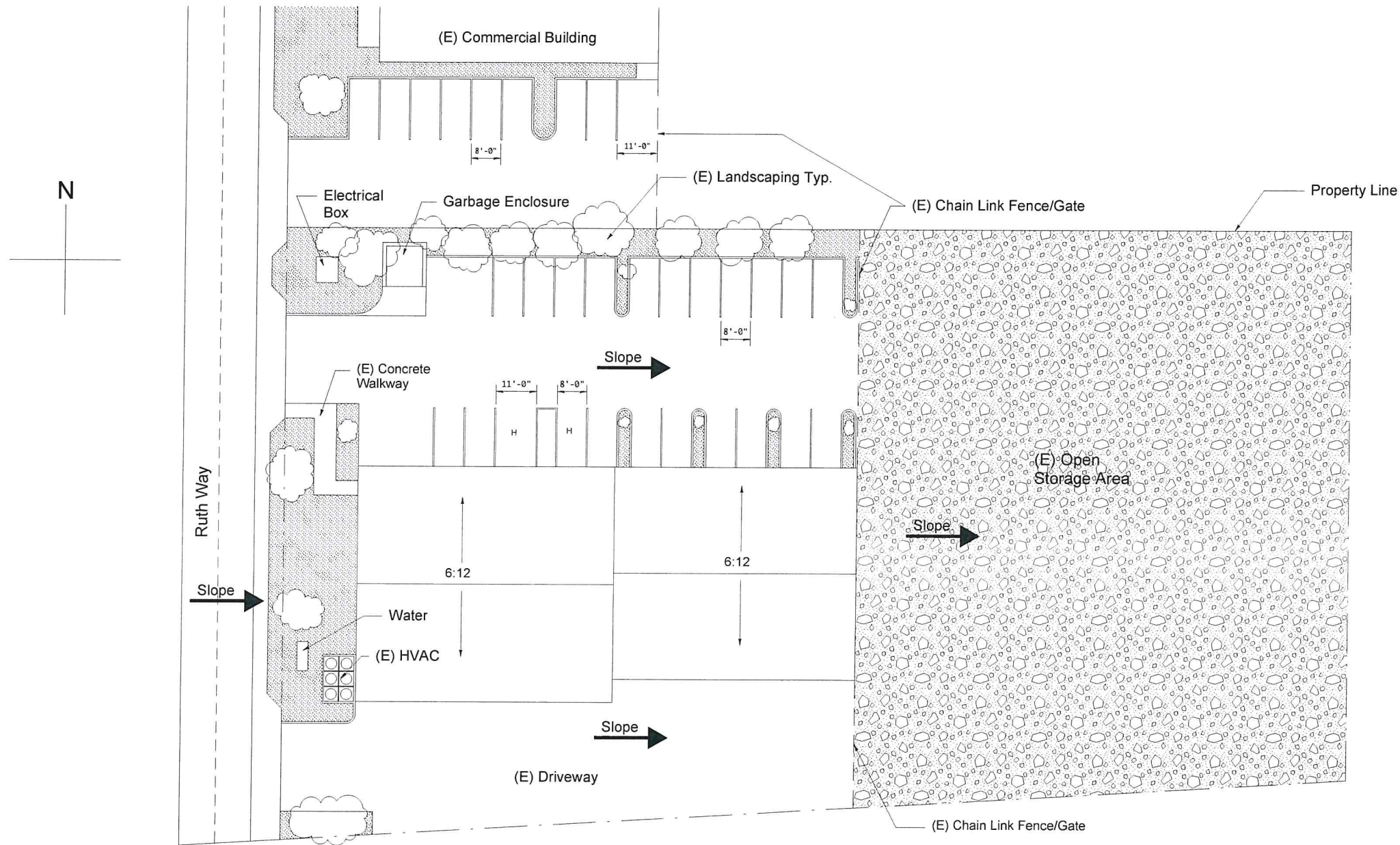
Commercial

Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

Crizer Design
Company, Inc.

P.O. Box 6952 Los Osos, CA 93412
Ph: (805) 528-4812 Fax 528-2325

Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?



Revisions:	
A	XXXXXX
B	
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Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Commercial

Owner/Site Address:
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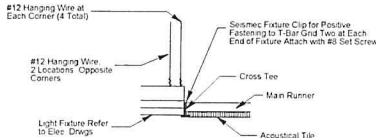
**Crizer Design
Company, Inc.**
P.O. Box 6952 Los Osos, CA 93412
Ph. (805) 528-4812 Fax 528-2325

Date:
6/26/18
Scale:
1/16"
Drawn By:
RC
Sht.
C-1

Ceiling Legend	
Exist	Existing, No Change
Exposed	Exposed to Existing Structure
GB	5/8" Type 'x' Gypsum Wallboard
SAT	24"x48" Suspended Acoustical Tile, Cirrus Beveled Regular by Armstrong with 15/16 White Suspension System, Pyralis MK by Armstrong (ICBO # 5175) or Approved Equal

Ceiling Fixture Legend & Notes	
	Strip Fluorescent Light Fixture
	2x4' Fluorescent Light Fixture
	2x2' Fluorescent Light Fixture
	Cove Light w/ Strip Fluorescent
	Track Light Fixture
	Decorative Ceiling Mounted Fixture
	Wall Mounted Light Fixture
	Recessed Directional Light Fixture
	Recessed Light Fixture
	Wall Mounted Light
	Decorative Recessed Light Fixture
	Television Mount @ 8" @ A.P.F.
	Exhaust Grille
	Side Wall Diffuser
	Supply Air Diffuser
	Return Air Grille
	Illuminated Exit Sign
	Speaker
	Smoke/Nitrogen Detector
	Security Camera
	Decorative Ceiling Mounted Light Fixture

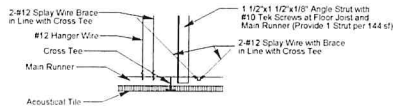
- 1) Horizontal Dimensions: All dimensions shown are from face of studs, face of concrete or face of C.M.U. unless otherwise noted.
2) Vertical Dimensions: Dimensions shown are from face of ceiling to finished floor.
3) Light fixture diffusers, grilles to be centered between walls/beams unless otherwise noted.
4) See interior plans for decorative wall mounted light fixture locations.



- Light Fixture Support Notes**
- All wire shall have 3 tight turns minimum around itself.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-O.

2) Typ. Light Fixture Support

Scale: 1 1/2" = 1' 0"



- Ceiling Notes**
- Hanger wire shall be located 4'-0" O.C. max. and 8" max. from face of wall.
 - Spay wire bracing shall be located 12'-0" O.C. max. each way and 4'-0" max. from face of wall.
 - All wire shall have 3 tight turns min. around itself.
 - Provide 14ga. clips at all intersections and a hanger at each corner of light fixture.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-O.

1) Typ. Seismic Brace

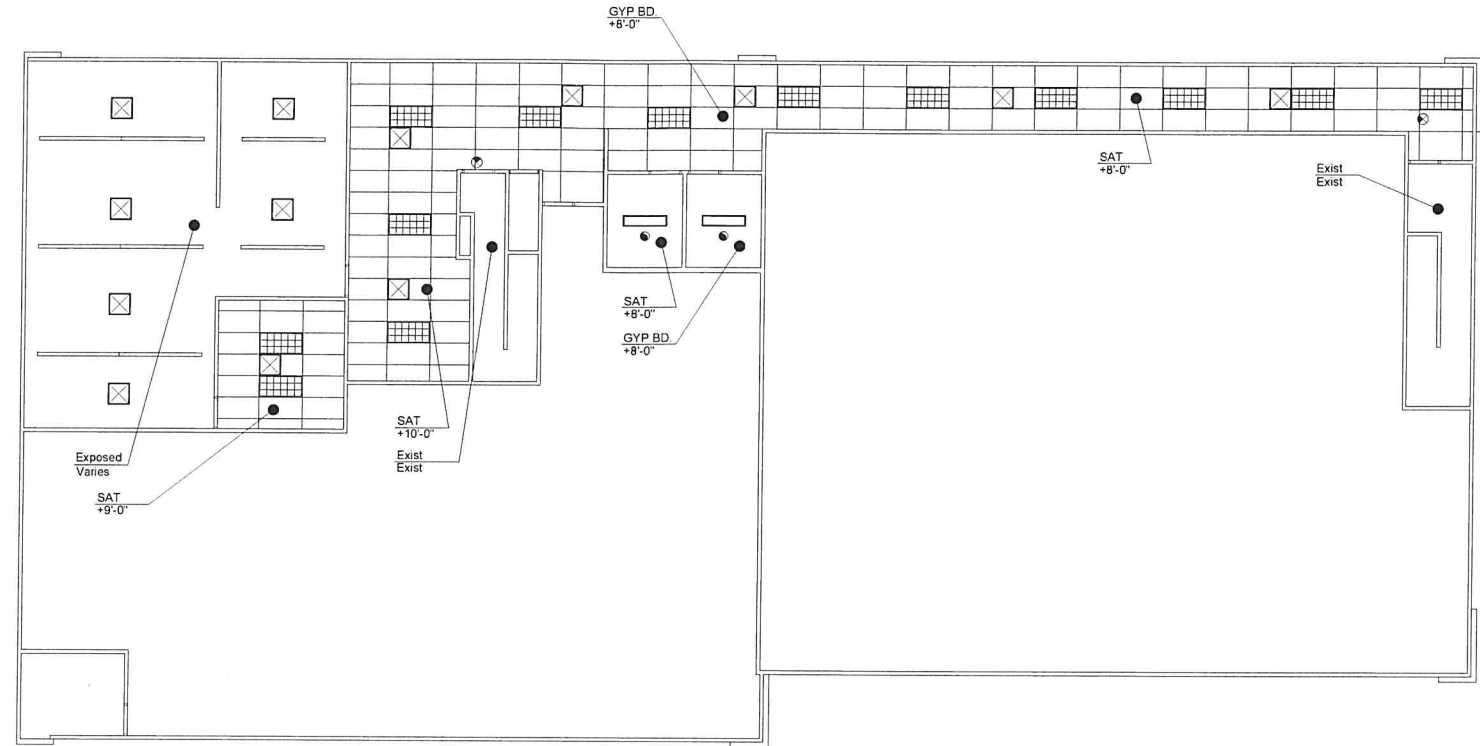
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Wall Legend

- Existing Wall to Remain

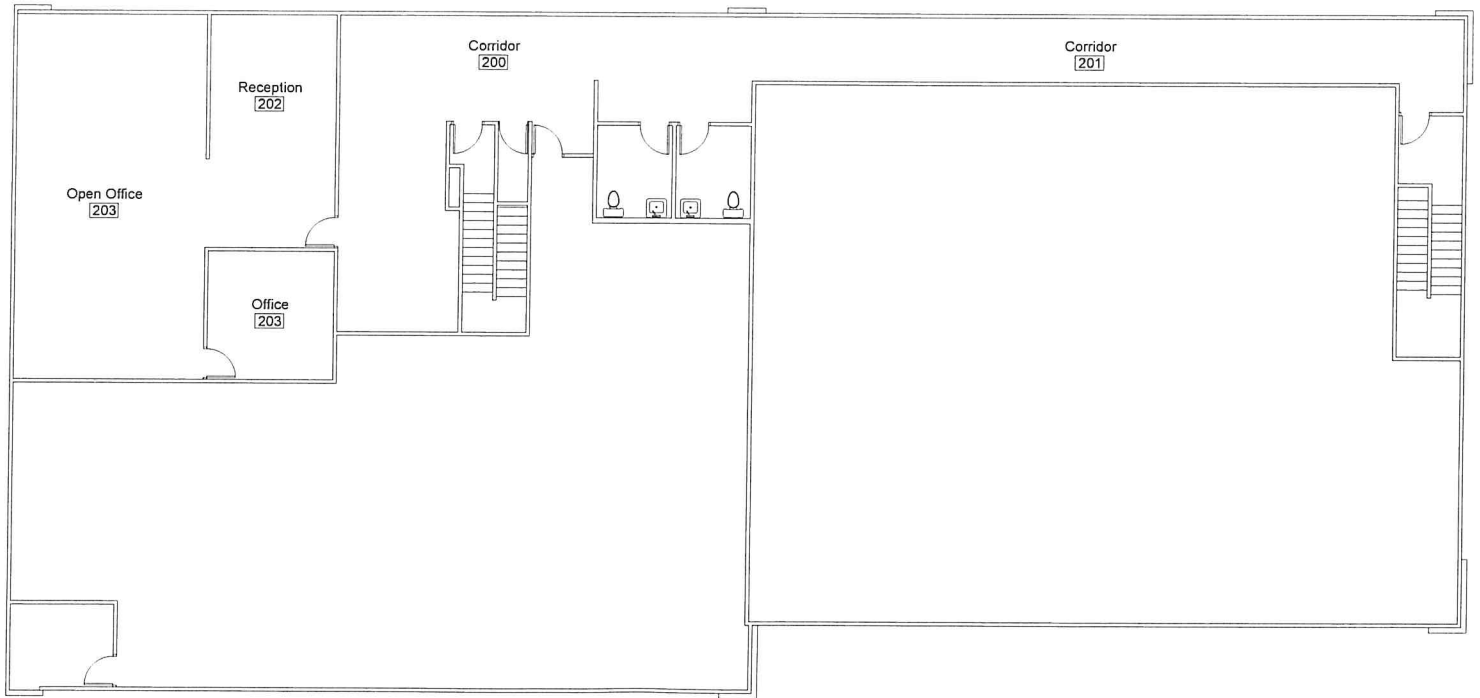
Wall Types

- A 3-5/8"x22ga. MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP BD. Each Side with 3" Sound Attn. Blanket (1-Hour Rated) Full Height.
B With 5/8" Type 'X' GYP BD One Side on Existing Wall.
C 6"x22ga. MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP BD Each Side with 3" Sound Attn. Blanket Full Height.



B) Reflected Ceiling Plan

Scale: 1/8" = 1' 0"



A) Floor Plan

Scale: 1/8" = 1' 0"

Revisions:	
A	XXXXXXXX
B	
C	
D	

Legal Description:
APN: 040-151-063
County Of San Luis Obispo

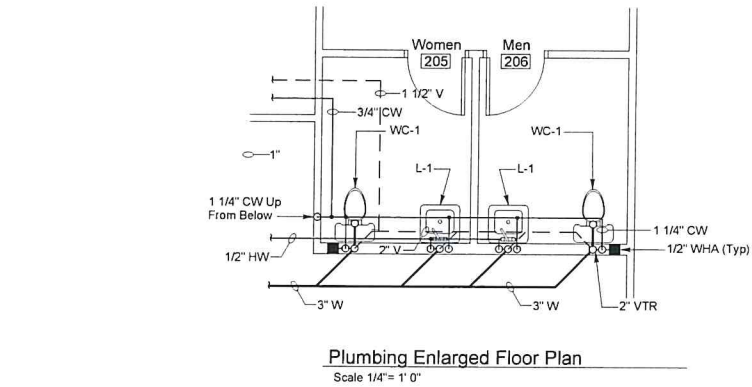
Commercial

Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

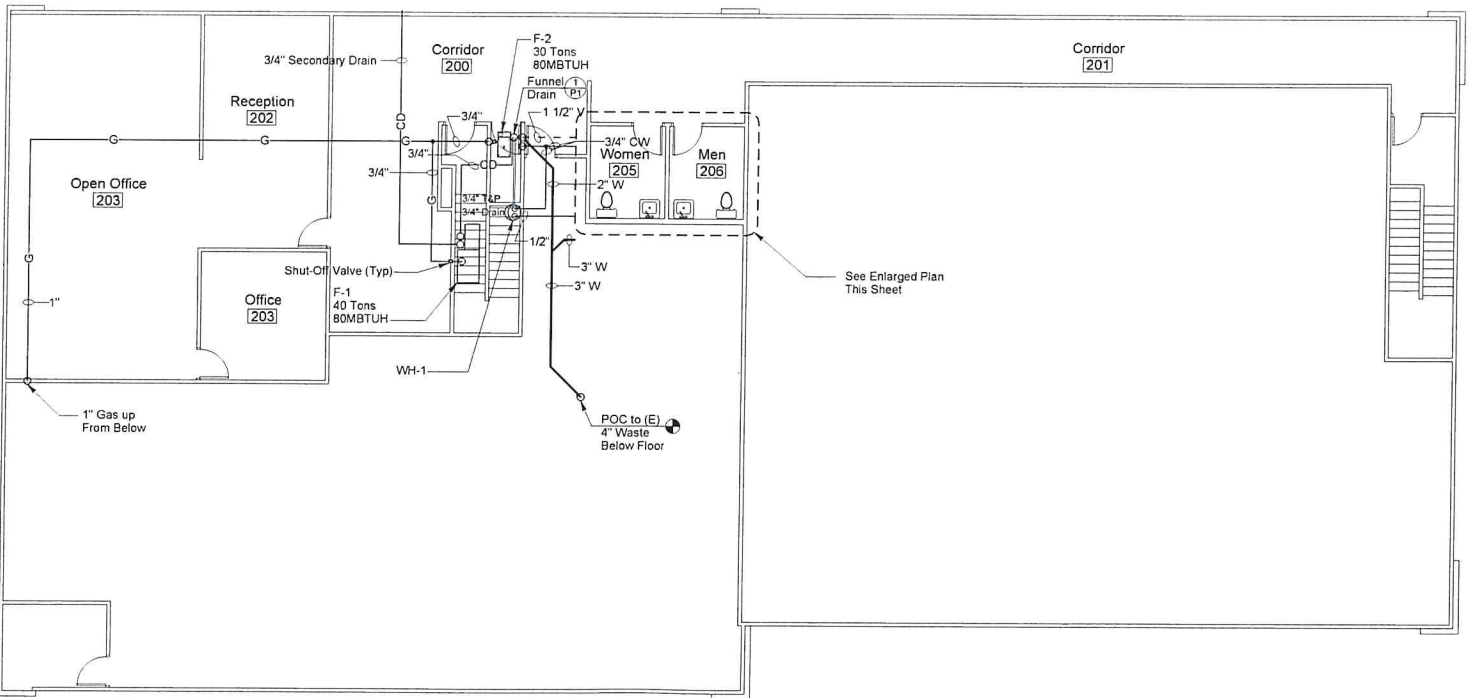
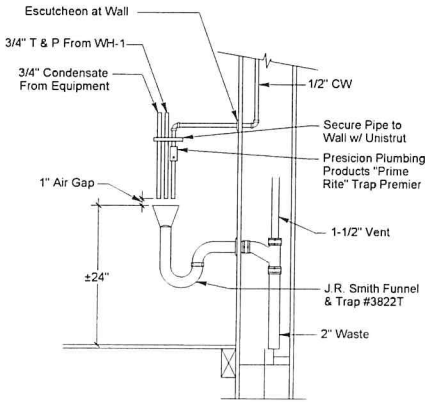
**Crizer Design
Company, Inc.**
P.O. Box 6952 Los Osos, CA 93412
Ph: (805) 528-4812 Fax 528-2325

Date:
6/26/18
Scale:
1/8"
Drawn By:
RC
Sht.

?



Plumbing Fixture Schedule													
Mark	Description	Min. Branch Size (")				Make and Model	Fittings				Remarks		
		W	V	CW	HW								
L-1	ADA Lavatory Wall Mount	2	1-1/2	1/2	1/2	Kohler "Kingston" #K200S, 21"x18" Vitreous China	Symmons Faucet #S-20-2-G-FR, IPS w/ Grid Strainer, Stops, Supplies, and C.P. Brass "P" Trap J.R. Smith Wall Support #0722				See Architectural Drawing for ADA Requirements		
WC-1	ADA Water Closet Floor Mounted Elongated, 1.6 GPF	3	2	1-1/4	—	Kohler "Highrest" #K-302, 27-5/8" x 14 1/2" x 16 1/2" RIM, Vitreous China	Sloan Royal Flush Valve #1111, and Oleanite Seat #10CC				See Architectural Drawing for ADA Requirements. Flush Valve Actuator to Wide Side of Space		
Water Heater Schedule													
Mark	Make	Model	Storage Capacity (Gallons)	Dimensions	Full Weight (Pounds)	Inlet/Outlet (Inches)	Power			Branch Size (Inches)	Flue Size (Inches)	Remarks	
							Volts	PH	CY				
WH-1	A.O. Smith	DEL-10	10	18-1/4" x 18"e	135	3/4"	120	1	60	1.5	—	—	Provides with Smith Drain Pan. Attach to Wall w/ Approved Seismic Restraint Spacemaker #TSE 25



Plumbing Second Floor Plan
Scale 1/8" = 1' 0"

Revisions:	
A	XX XX XX
B	
C	
D	

Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

Commercial

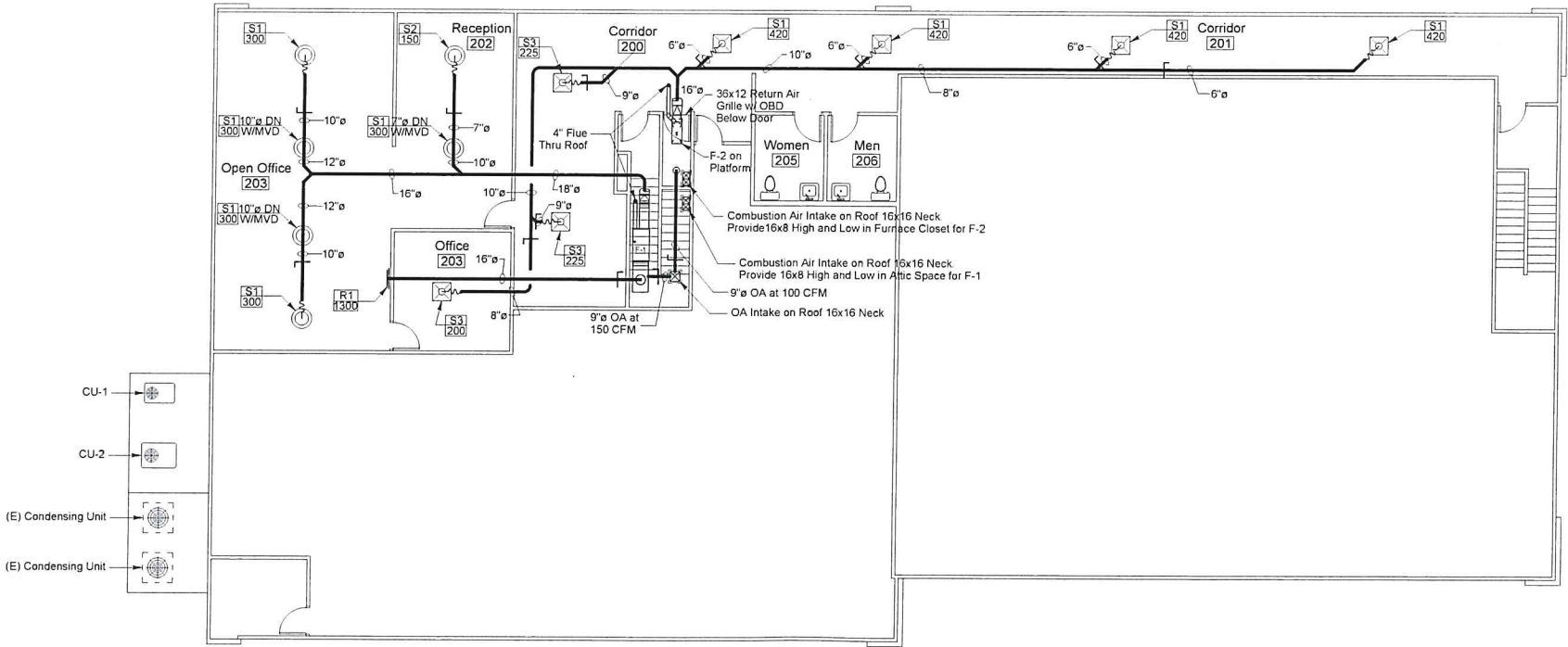
Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Crizer Design
Company, Inc.

P.O. Box 6952 Los Osos, CA 93412
Ph: (805)528-4812 Fax 528-2325

Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?

Gas Furnace with Cooling Coil Schedule																	
Mark	Make	Model	Type	BTUH Capacity		CSE (SSE)	CFM	ESP	Fan Speed RPM	HP	Power	FLA	Cooling Coil			Weight (LBS)	Remarks (See Below)
				Input	Output								Model	NOM Tons	Matching Cond. Unit		
F-1	York	GY8S080B	Horizontal	80,000	64,000	80	1,500	8	High	3/4	120/1/60	12.0	GFD046	4	CU-1	191	See Note 1
F-2	York	GY8S080B	Horizontal	80,000	64,000	80	1,500	8	High	3/4	120/1/60	12.0	GFD046	4	CU-1	191	See Note 1
Notes: 1. Provide with Honeywell T874A1010/Q674A1019 thermostat/subbase.																	
Air-Cooled Condensing Unit Schedule																	
Mark	Make	Model	NOM Tons	Electrical Data			ARI Performance			Connections		OPT. WT.	Matching System	Remarks (See Below)			
				Power	Total Unit FLA	Min Circ Amps	Max Fuse Size	Cooling BTUH	EER	SEER	Refrig.				Liquid	Suction	
CU-1	York	HRD048	4	208/1/60	16.8	20.6	35	44,500	11.6	13.0	R-22	Note 1	Note 1	275	F-1		
CU-2	York	HRD036	4	208/1/60	15.4	18.9	30	32,800	11.4	13.0	R-22	Note 1	Note 1	224	F-2		
Notes: 1. Provide with Honeywell T874A1010/Q674A1019 thermostat/subbase.																	
Grille, Register, and Diffuser Schedule																	
[S1] 420		Mark: S-Supply; R-Return; E-Exhaust; T-Transfer; L-Louver CFM															
Mark	Make	Series	Model	Size	Construction	Finish	Deflection	Mounting	Face Style	Frame	T-Bar Panel	SQ.-RND Adapter	OBD	FD	Remarks (See Below)		
S1	Metalaire	900	—	10" ø	Aluminum	Off White	Radial	Exposed Duct	Louver	Flat	No	No	No	No	—		
S2	Metalaire	900	—	8" ø	Aluminum	Off White	Radial	Exposed Duct	Louver	Flat	No	No	No	No	—		
S3	Metalaire	5500	65	9x9	Aluminum	Off White	4-Way	24x24 Lay-In Panel	Louver	Flat	Yes	Yes	No	No	—		
S4	Metalaire	5500	65	6x6	Aluminum	Off White	4-Way	24x24 Lay-In Panel	Louver	Flat	Yes	Yes	No	No	—		
R1	Metalaire	RH	—	36x18	Aluminum	Off White	—	Sidewall	45° Vanes	Flat	Yes	Yes	No	No	—		



B Mechanical Second Floor Plan
Scale 1/8" = 1' 0"

Revisions:	
A	XXXXXX
B	
C	
D	

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Commercial

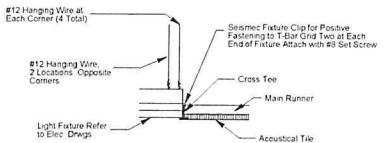
Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

Crizer Design
Company, Inc.
P.O. Box 6952 Los Osos, CA 93412
Ph. (805) 528-4812 Fax 528-2325

Date: 6/26/18
Scale: 1/8"
Drawn By: RC
Sht. ?

Ceiling Legend	
Exist	Existing, No Change
Exposed	Exposed to Existing Structure
GB	5/8" Type 'X' Gypsum Wallboard
SAT	24"x48" Suspended Acoustical Tile, Cirrus Beveled Regular by Armstrong with 15/16 White Suspension System, Prelude MX by Armstrong (ICBO # 5175) or Approved Equal

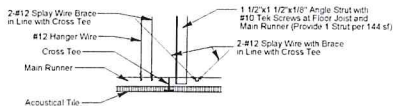
Ceiling Fixture Legend & Notes	
Strip Fluorescent Light Fixture	Exhaust Grille
2'x4' Fluorescent Light Fixture	Side Wall Diffuser
2'x2' Fluorescent Light Fixture	Supply Air Diffuser
Cove Light w/ Strip Fluorescent	Return Air Grille
Track Light Fixture	
Decorative Ceiling Mounted Fixture	Illuminated Exit Sign
Wall Mounted Light Fixture	Speaker
Recessed Directional Light Fixture	Smoke/Nitrogen Detector
Recessed Light Fixture	Security Camera
Wall Mounted Spotlight	Decorative Ceiling Mounted Fluorescent Light Fixture
Decorative Indirect Light Fixture	Television, Mount @ 8" @ A.P.P.
1) Horizontal Dimensions: All dimensions shown are from face of stud, face of concrete or face of C.I. U. unless otherwise noted.	2) Light fixtures, diffusers, grilles to be centered between wall/beams unless otherwise noted.
3) Vertical Dimensions: Dimensions shown are from face of ceiling to finished floor.	4) See interior plans for decorative wall mounted light fixture locations.



- Light Fixture Support Notes**
- All wire shall have 3 tight turns minimum around itself.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-O.

2 Typ. Light Fixture Support

Scale 1 1/2" = 1' 0"



- Ceiling Notes**
- Hanger wire shall be located 4'-0" O.C. max. and 8" max. from face of wall.
 - Splay wire bracing shall be located 12'-0" O.C. max. each way and 4'-0" max. from face of wall.
 - All wire shall have 3 tight turns min. around itself.
 - Provide 14ga. clips at all intersections and a hanger at each corner of light fixture.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-O.

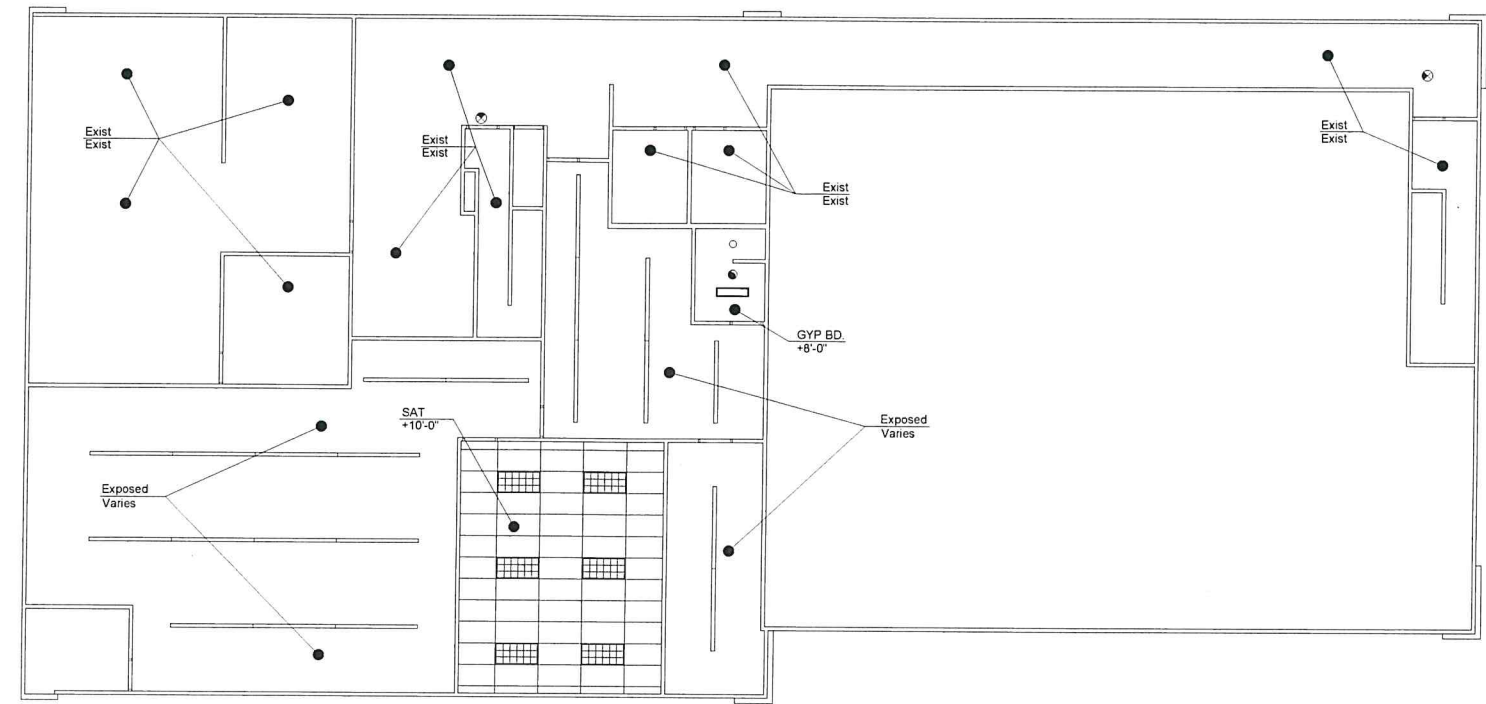
1 Typ. Seismic Brace

Scale 1 1/2" = 1' 0"

Wall Legend	
	Existing Wall to Remain

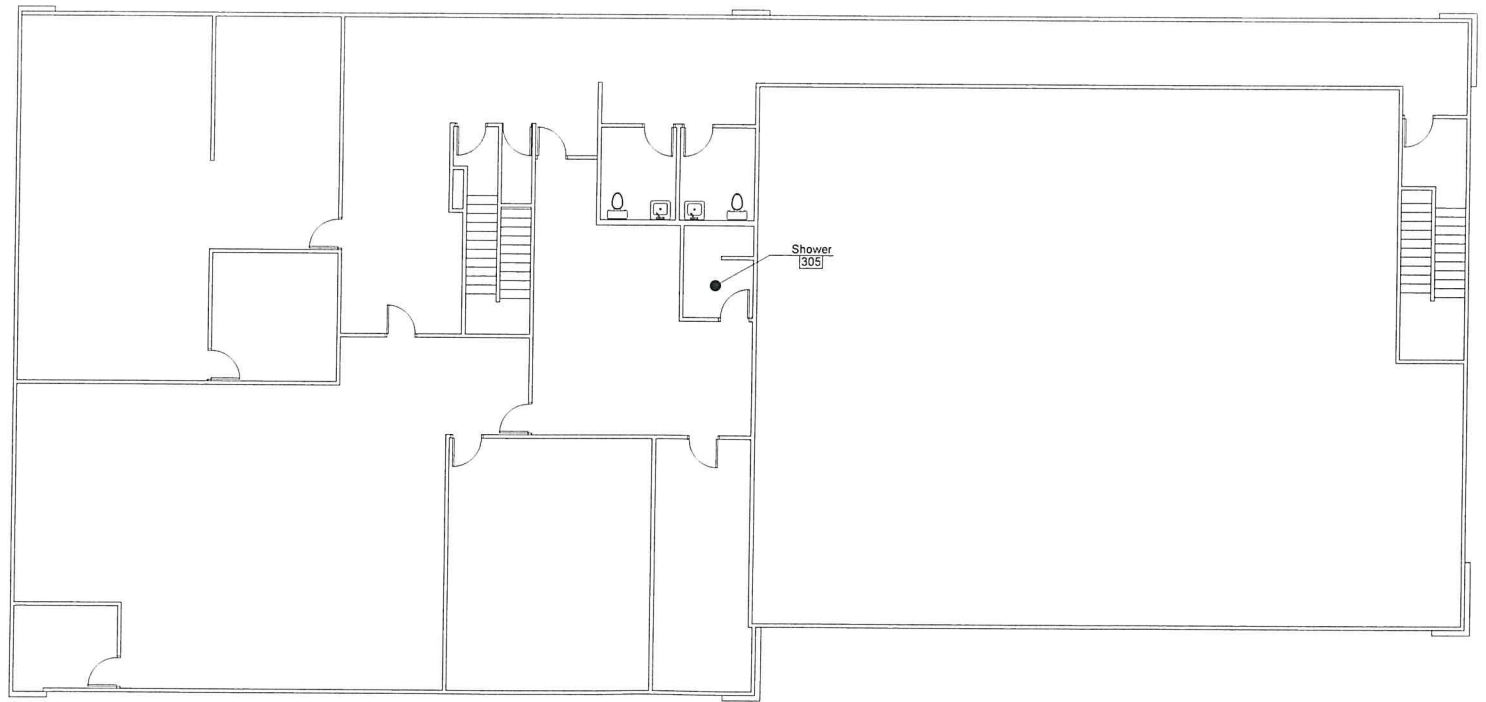
Wall Types	
A	3-5/8"x22ga. MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP BD Each Side with 3" Sound Absor. Blanket (1-Hour Rated) Full Height
B	With 5/8" Type 'X' GYP BD One Side on Existing Wall

Stair Notes	
1. All stairs shall have 1 1/2" O.D. max. handrails each side of stair mounted at 34" above stair nosings.	
2. Handrails shall extend 12" beyond the top riser and 24" beyond the bottom riser.	
3. Handrails shall be smooth with the ends returned or shall have rounded terminations or bends.	
4. Handrails shall not project more than 3" from the wall and have a space between the handrail and the wall of not less than 1 1/2".	
5. All edges of treads shall be free from sharp objects and have smooth, rounded edges.	
6. Nosings shall not project more than 1 1/2" past the face of the riser.	
7. Provide a 2" wide slip resistant color contrasting warning strip parallel to and not more than 1" from the step nosing, strip to be replaced on the upper tread and lower tread of each stair run.	



B Reflected Ceiling Plan

Scale 1/8" = 1' 0"



A Floor Plan

Scale 1/8" = 1' 0"

Revisions:	
A	XXXXXXXX
B	
C	
D	

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Commercial

Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

**Crizer Design
Company, Inc.**
P.O. Box 6952 Los Osos, CA 93412
Ph: (805) 528-4812 Fax 528-2325

Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?

Ceiling Legend	
Exist	Existing, No Change
Exposed	Exposed to Existing Structure
GB	5/8" Type 'x' Gypsum Wallboard
SAT	24" x48" Suspended Acoustical Tile, Cirrus Beveled Regular by Armstrong with 1.5/1.6 White Suspension System, Prelude MX by Armstrong (ICBO # 5175) or Approved Equal

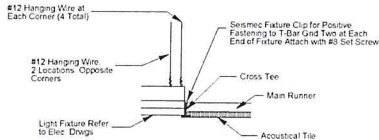
Ceiling Fixture Legend & Notes	
	Drop Fluorescent Light Fixture
	24" Fluorescent Light Fixture
	2x2" Fluorescent Light Fixture
	Cove Light w/ Drop Fluorescent
	Track Light Fixture
	Decorative Ceiling Mounted Fixture
	Wall Mounted Light Fixture
	Recessed Directional Light Fixture
	Recessed Light Fixture
	Wall Mounted Light
	Decorative Indirect Light Fixture
	Television Mount @ 8" x 8" x 8"
	Exhaust Grille
	Side Wall Diffuser
	Supply Air Diffuser
	Return Air Grille
	Illuminated Exit Sign
	Speaker
	Smoke/Vacuation Detector
	Security Camera
	Security Camera

1) Horizontal Dimensions: All dimensions shown are from face of studs, tops of concrete or face of C.M.U. unless otherwise noted.

2) Vertical Dimensions: Dimensions shown are from face of ceiling to finished floor.

3) Light fixtures, diffusers, grilles to be centered between wall studs unless otherwise noted.

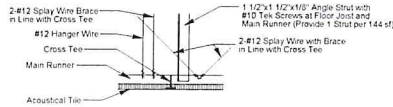
4) See interior plans for decorative wall mounted light fixture locations.



- Light Fixture Support Notes**
- All wire shall have 3 tight turns minimum around itself.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-0.

2 Typ. Light Fixture Support

Scale: 1 1/2" = 1' 0"



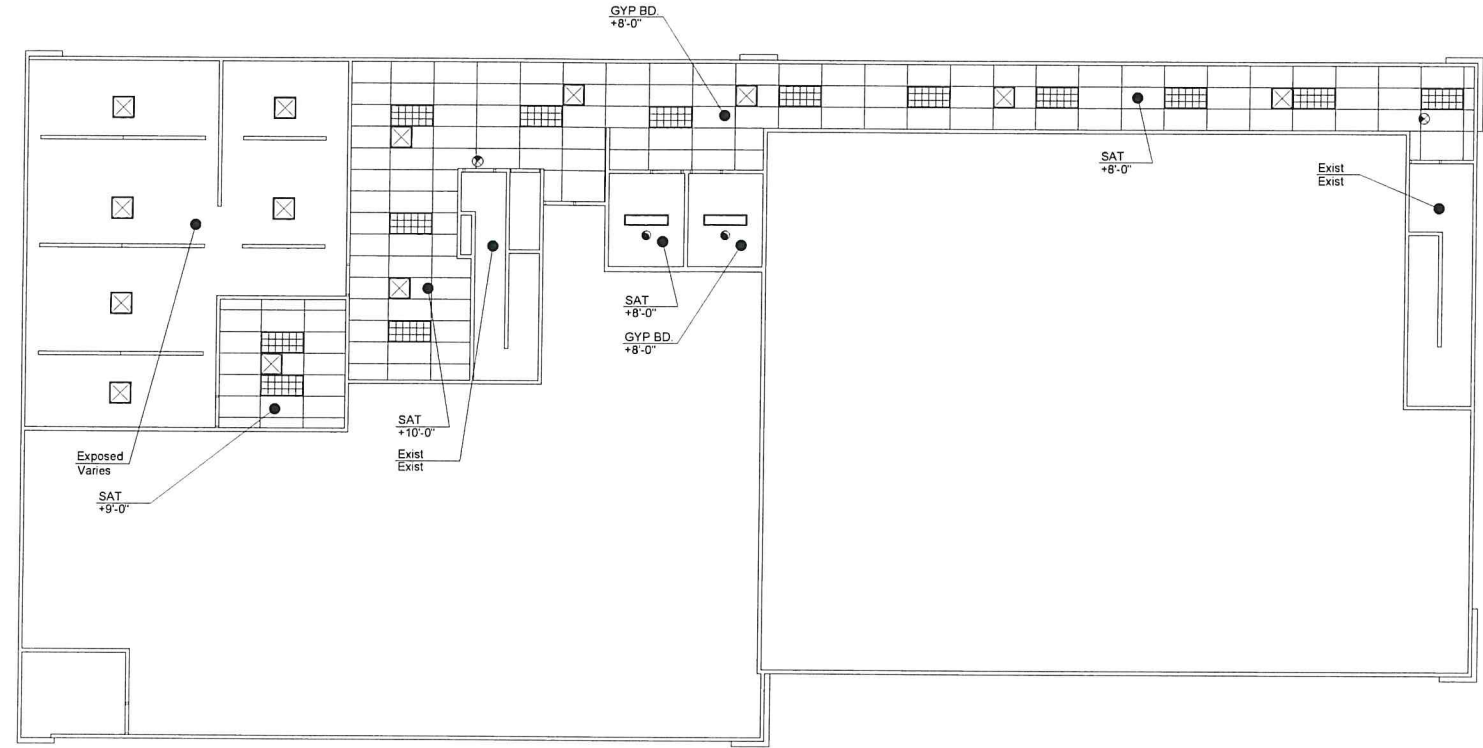
- Ceiling Notes**
- Hanger wire shall be located 4'-0" O.C. max. and 8" max. from face of wall.
 - Spray wire bracing shall be located 12'-0" O.C. max. each way and 4'-0" max. from face of wall.
 - All wire shall have 3 tight turns min. around itself.
 - Provide 14-ga. clips at all intersections and a hanger at each corner of light fixture.
 - Suspended ceiling shall comply with CBC tables 25-A and 16-0.

1 Typ. Seismic Brace

Scale: 1 1/2" = 1' 0"

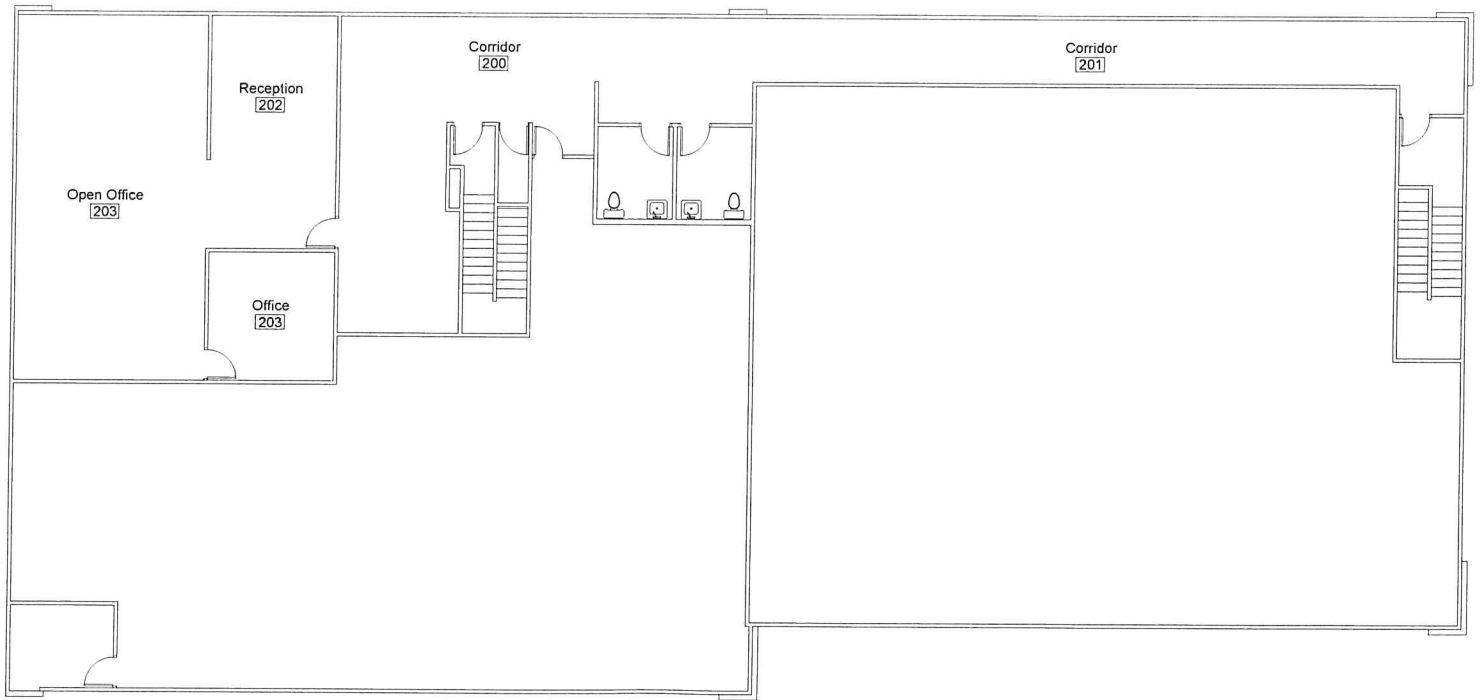
Wall Legend	
	Existing Wall to Remain

Wall Types	
	3-5/8"x22ga MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP BD Each Side with 3" Sound Atten. Blanket (1 Hour Rated) Full Height
	With 5/8" Type 'X' GYP BD One Side on Existing Wall
	6"x22ga MTL Studs @ 16" O.C. with 5/8" Type 'X' GYP BD Each Side with 3" Sound Atten. Blanket Full Height



B Reflected Ceiling Plan

Scale: 1/8" = 1' 0"



A Floor Plan

Scale: 1/8" = 1' 0"

Revisions:	
A	AVAVAX
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C	
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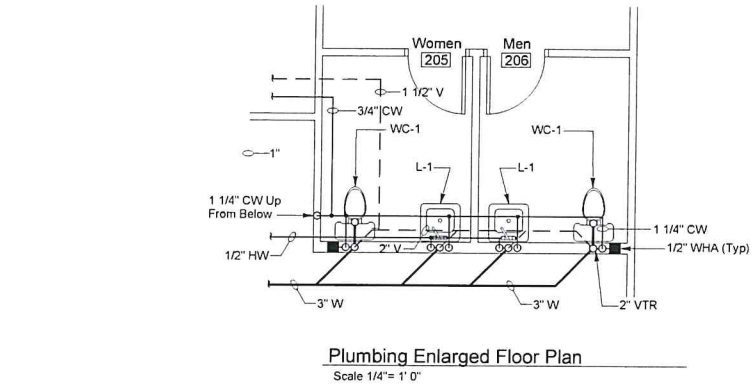
Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Commercial

Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

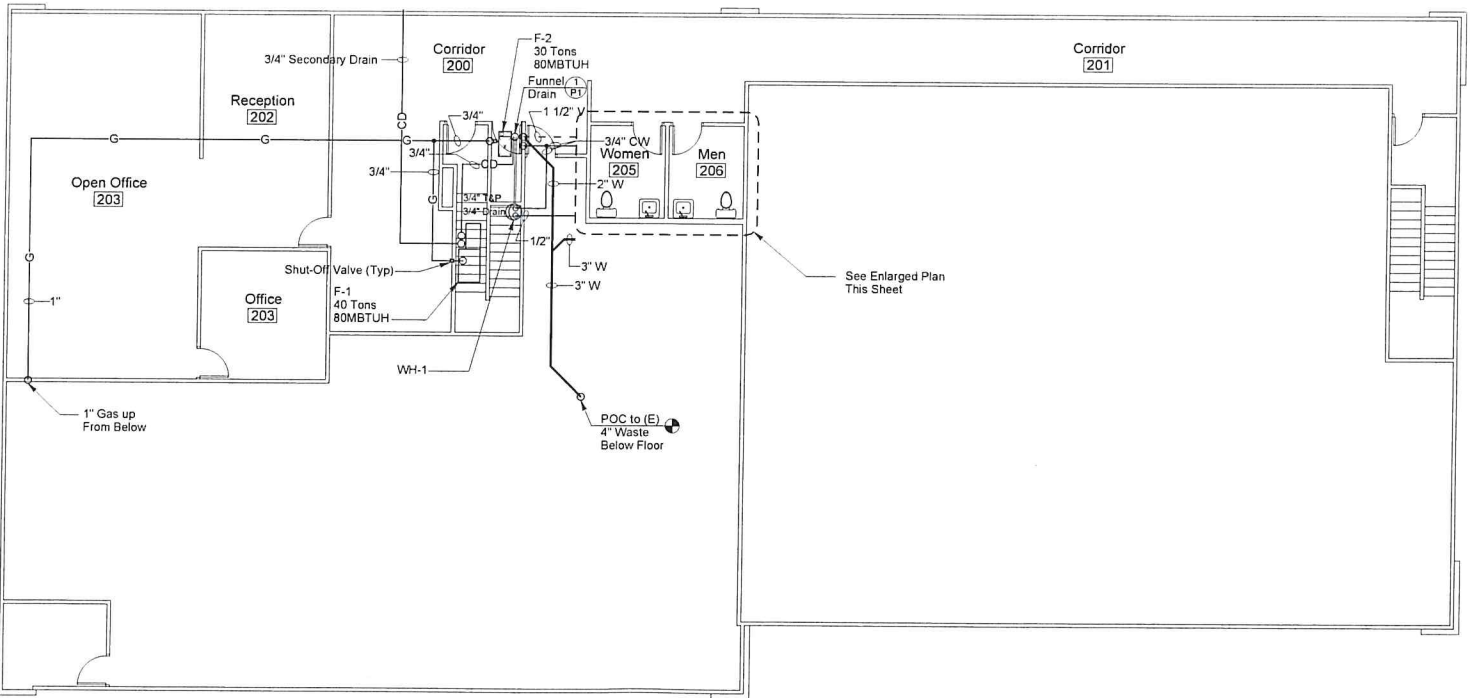
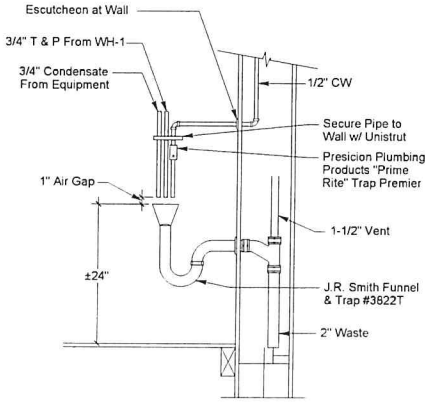
**Crizer Design
Company, Inc.**
P.O. Box 6952 Los Osos, CA 93412
Ph: (805) 528-4812 Fax 528-2525

Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?



Plumbing Fixture Schedule												
Mark	Description	Min. Branch Size ("")				Make and Model	Fittings				Remarks	
		W	V	CW	HW							
L-1	ADA Lavatory Wall Mount	2	1-1/2	1/2	1/2	Kohler "Kingston" #K2005, 21"x16" Vitreous China	Symmons Faucet #S-20-2-G-FR-IPS w/ Grid Strainer, Stops, Supplies, and C.P. Brass "P" Trap J.R. Smith Wall Support #0722				See Architectural Drawing for ADA Requirements	
WC-1	ADA Water Closet Floor Mounted Elongated, 1.6 GPF	3	2	1-1/4	—	Kohler "Highrest" #K-4302, 27-5/8" x 14 1/2" x 16 1/2" RIM, Vitreous China	Sloan Royal Flush Valve #1111, and Osonite Seal #10CC				See Architectural Drawing for ADA Requirements, Flush Valve Actuator to Wide Side of Space	

Water Heater Schedule													
Mark	Make	Model	Storage Capacity (Gallons)	Dimensions	Full Weight (Pounds)	Inlet/Outlet (Inches)	Power		KW	MBTUH	Branch Size (Inches)	Flue Size (Inches)	Remarks
							Volts	PH CY					
WH-1	A.O. Smith	DEL-10	10	18-1/4"x18"ø	135	3/4"	120	1 60	1.5	—	—	—	Provide with Empty Drain Pan, Attach to Wall w/ Approved Seismic Restraint Spacemaker #TSE-25



Plumbing Second Floor Plan
Scale 1/8" = 1' 0"

Revisions:	
A	XXXXXX
B	
C	
D	

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

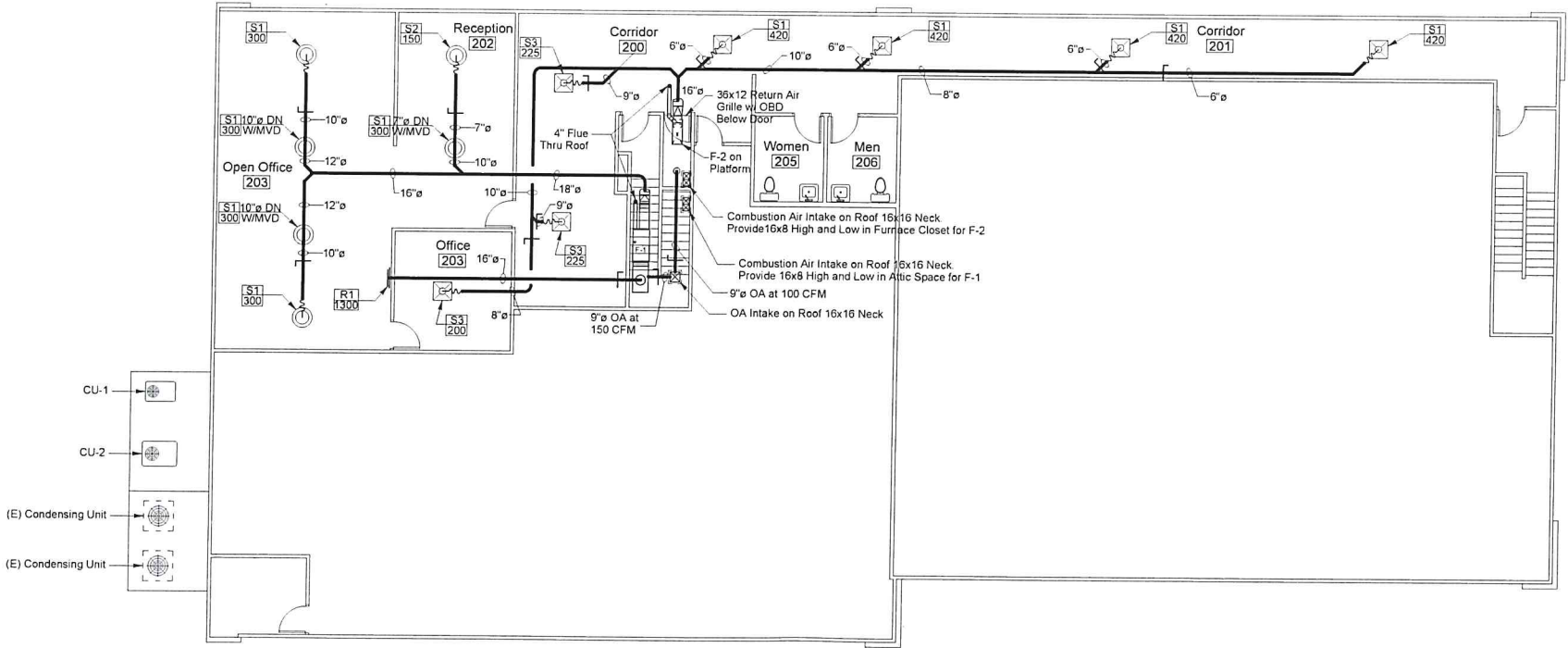
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 Ph: (805) 528-4812 Fax 528-2325

Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?

Gas Furnace with Cooling Coil Schedule																	
Mark	Make	Model	Type	BTUH Capacity		CSE (SSE)	CFM	ESP	Fan Speed RPM	HP	Power	FLA	Cooling Coil			Weight (LBS)	Remarks (See Below)
				Input	Output								Model	NOM Tons	Matching Cond. Unit		
F-1	York	GY8S080B	Horizontal	80,000	64,000	80	1,500	.8	High	3/4	120/1/60	12.0	GFD046	4	CU-1	191	See Note 1
F-2	York	GY8S080B	Horizontal	80,000	64,000	80	1,500	.8	High	3/4	120/1/60	12.0	GFD046	4	CU-1	191	See Note 1
Notes: 1. Provide with Honeywell T874A1010/Q674A1019 thermostat/subbase.																	
Air-Cooled Condensing Unit Schedule																	
Mark	Make	Model	NOM Tons	Electrical Data				ARI Performance				Connections		OPT. WT.	Matching System	Remarks (See Below)	
				Power	Total Unit FLA	Min Circ Amps	Max Fuse Size	Cooling BTUH	EER	SEER	Refrig.	Liquid	Suction				
CU-1	York	HRD048	4	208/1/60	16.8	20.6	35	44,500	11.6	13.0	R-22	Note 1	Note 1	275	F-1		
CU-2	York	HRD036	4	208/1/60	15.4	18.9	30	32,800	11.4	13.0	R-22	Note 1	Note 1	224	F-2		
Notes: 1. Provide with Honeywell T874A1010/Q674A1019 thermostat/subbase.																	
Grille, Register, and Diffuser Schedule																	
<div>S1420</div>	Mark: CFM		S-Supply; R-Return; E-Exhaust; T-Transfer; L-Louver														
Mark	Make	Series	Model	Size	Construction	Finish	Deflection	Mounting	Face Style	Frame	T-Bar Panel	SQ.-RND Adapter	OBD	FD	Remarks (See Below)		
S1	Metalaire	900	—	10" ø	Aluminum	Off White	Radial	Exposed Duct	Louver	Flat	No	No	No	No	—		
S2	Metalaire	900	—	8" ø	Aluminum	Off White	Radial	Exposed Duct	Louver	Flat	No	No	No	No	—		
S3	Metalaire	5500	65	9x9	Aluminum	Off White	4-Way	24x24 Lay-In Panel	Louver	Flat	Yes	Yes	No	No	—		
S4	Metalaire	5500	65	6x6	Aluminum	Off White	4-Way	24x24 Lay-In Panel	Louver	Flat	Yes	Yes	No	No	—		
R1	Metalaire	RH	—	36x18	Aluminum	Off White	—	Sidewall	45° Vanes	Flat	Yes	Yes	No	No	—		



B Mechanical Second Floor Plan
Scale 1/8" = 1' 0"

Revisions:	
A	xxxxxx
B	
C	
D	

Commercial

Owner/Site Address:
3990 Ruth Way Suite D
Paso Robles, CA 93446

Legal Description:
APN : 040-151-063
County Of San Luis Obispo

Crizer Design
Company, Inc.

P.O. Box 6952 Los Osos, CA 93412
Ph. (805)528-4812 Fax 528-2525

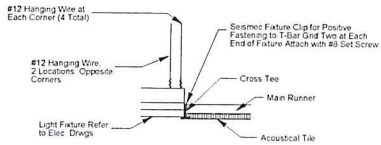
Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Shd.	?

Ceiling Legend	
Exist	Existing, No Change
Exposed	Exposed to Existing Structure
GB	5/8" Type "x" Gypsum Wallboard
SAT	24"x48" Suspended Acoustical Tile, Cirrus Beveled Regular by Armstrong with 15/16 White Suspension System, Prelude MK by Armstrong (ICBO # 5175) or Approved Equal

Ceiling Fixture Legend & Notes

	Strip Fluorescent Light Fixture		Exhaust Grille
	2'x4' Fluorescent Light Fixture		Side Wall Diffuser
	2'x2' Fluorescent Light Fixture		Supply Air Diffuser
	Cove Light w/ Strip Fluorescent		Return Air Grille
	Track Light Fixture		Decorative Ceiling Mounted Fixture
	Decorative Ceiling Mounted Fixture		Illuminated Exit Sign
	Wall Mounted Light Fixture		Speaker
	Recessed Directional Light Fixture		Smoke/Narbonism Detector
	Recessed Light Fixture		Security Camera
	Wall Mounted Uplight		Television Mount @ 8" C.A.P.P.
	Decorative Indirect Light Fixture		
	Television Mount @ 8" C.A.P.P.		

- 1) Horizontal Dimensions: All dimensions shown are from face of stud, face of cornice or face of C.M.U. unless otherwise noted.
- 2) Vertical Dimensions: Dimensions shown are from face of ceiling to finished floor.
- 3) Light fixtures, outlets, grilles to be centered between walls/bays unless otherwise noted.
- 4) See interior plans for decorative wall mounted light fixture locations.

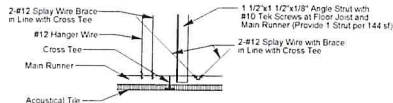


Light Fixture Support Notes

1. All wire shall have 3 tight turns minimum around itself.
2. Suspended ceiling shall comply with CBC tables 25-A and 16-0.

2) Typ. Light Fixture Support

Scale: 1 1/2" = 1' 0"



Ceiling Notes

1. Hanger wire shall be located 4'-0" O.C. max. and 8" max. from face of wall.
2. Splay wire bracing shall be located 12'-0" O.C. max. each way and 4'-0" max. from face of wall.
3. All wire shall have 3 tight turns min. around itself.
4. Provide 14ga. clips at all intersections and a hanger at each corner of light fixture.
5. Suspended ceiling shall comply with CBC tables 25-A and 16-0.

1) Typ. Seismic Brace

Scale: 1 1/2" = 1' 0"

Wall Legend

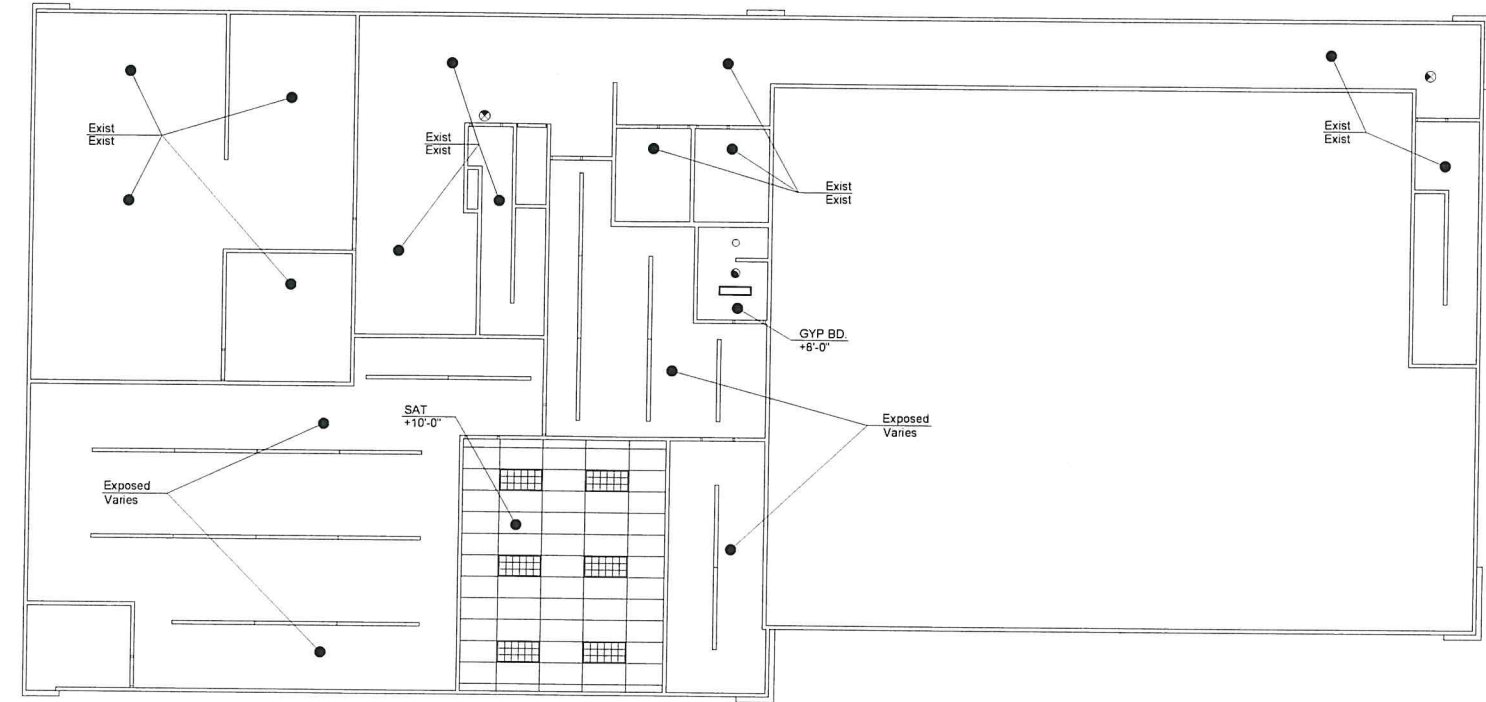
Existing Wall to Remain

Wall Types

- A 3-5/8"x22ga MTL Studs @ 16" O.C. with 5/8" Type "x" GYP BD Each Side with 3" Sound Attn. Blanket (14 Hour Rated) Full Height
- B With 5/8" Type "x" GYP BD One Side on Existing Wall

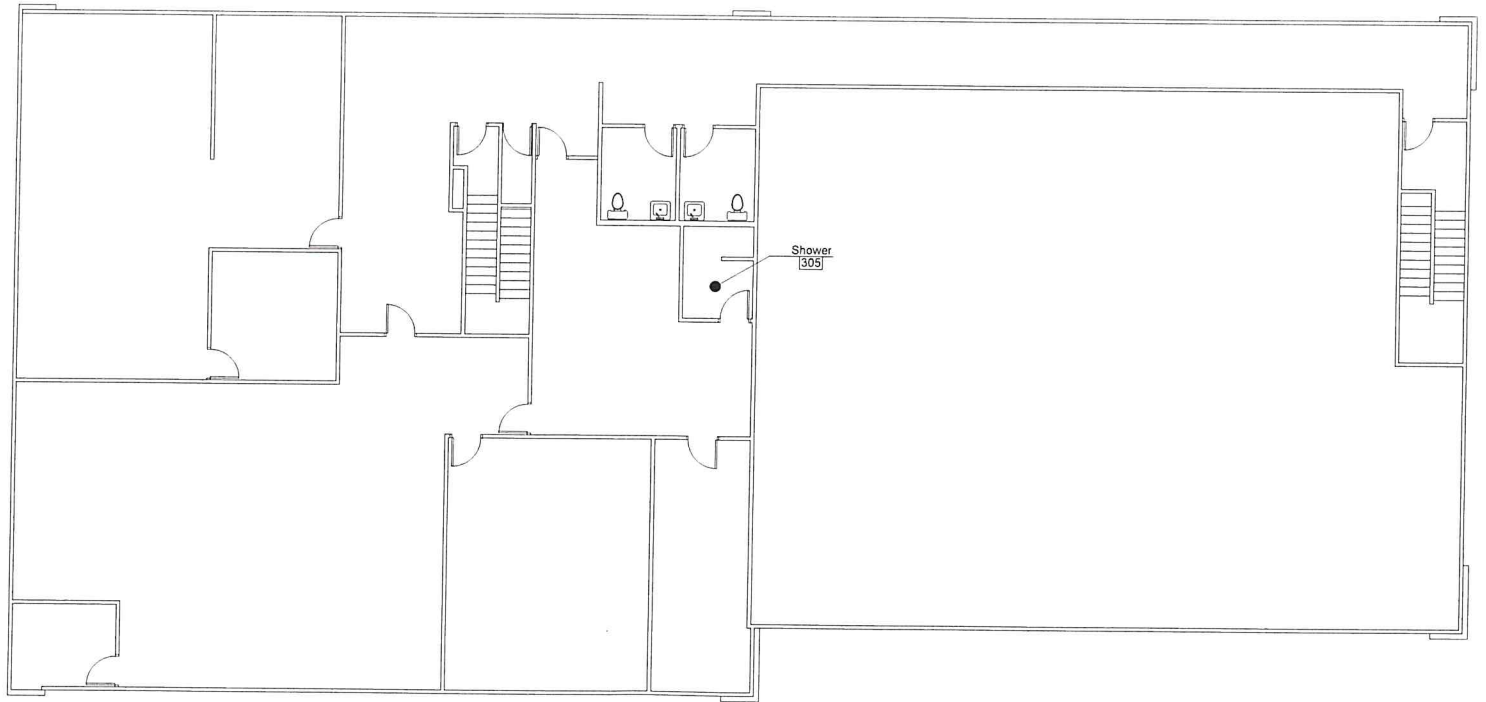
Stair Notes

1. All stairs shall have 1 1/2" O.D. max. handrails each side of stair mounted at 34" above stair nosings.
2. Handrails shall extend 12" beyond the top riser and 24" beyond the bottom riser.
3. Handrails shall be smooth with the ends returned or shall have rounded terminations or bends.
4. Handrails shall not project more than 3" from the wall and have a space between the handrail and the wall of not less than 1 1/2".
5. All edges of treads shall be free from sharp objects and have smooth, rounded edges.
6. Nosings shall not project more than 1 1/2" past the face of the riser.
7. Provide a 2" wide slip resistant color contrasting warning strip parallel to and not more than 1" from the step nosing. Strip to be replaced on the upper tread and lower tread of each stair run.



B) Reflected Ceiling Plan

Scale 1/8" = 1' 0"



A) Floor Plan

Scale 1/8" = 1' 0"

Revisions:	
A	XXXXXXXX
B	
C	
D	

<p>Owner/Site Address: 3990 Ruth Way Suite D Paso Robles, CA 93446</p>	<p>Legal Description: APN : 040-151-063 County Of San Luis Obispo</p>
	<p>Commercial</p>

<p>Crizer Design Company, Inc. P.O. Box 6952 Los Osos, CA 93412 Ph. (805) 528-4812 Fax 528-2325</p>

Date:	6/26/18
Scale:	1/8"
Drawn By:	RC
Sht.	?