



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
TREVOR KEITH, *DIRECTOR*

THIS IS A NEW PROJECT REFERRAL

DATE: 9/14/2018
TO: 5th District Legislative Assistant, Building Division, Cal Fire/County Fire, County Assessor, Environmental Health, Public Works, Sheriff, California Fish and Wildlife, US Fish and Wildlife, RWQCB, AB52
FROM: Cassidy McSurdy (cmcsurdy@co.slo.ca.us or 805-788-2959)

PROJECT NUMBER & NAME: DRC2018-00153 CLARK

PROJECT DESCRIPTION: Proposed Minor Use Permit for 1 acre outdoor cannabis cultivation and 22,000 sq/ft indoor cannabis cultivation to be completed in two phases, located at 5145 Calf Canyon Highway, Santa Margarita, CA.

APN(s): 070-174-012 and 070-174-022

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART I: IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- ☐ YES (Please go on to PART II.)
- ☐ NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II: ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- ☐ YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- ☐ NO (Please go on to PART III.)

PART III: INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

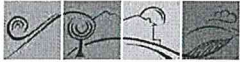
Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone



GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- ☐ Emergency Permit ☐ Tree Permit ☒ Minor Use Permit
☐ Conditional Use Permit/Development Plan ☐ Plot Plan
☐ Curb, Gutter & Sidewalk Waiver ☐ Other ☐ Site Plan
☐ Surface Mining/Reclamation Plan ☐ Zoning Clearance
☐ Amendment to approved land use permit ☐ Variance

Department Use Only
Do Not Mark
(Staff Apply Label Here)

APPLICANT INFORMATION

Check box for contact person assigned to this project

☒ Landowner Name Eric Clark Daytime Phone (310)-922-6063
Mailing Address 6309 Ivarene Avenue, Los Angeles, CA Zip Code 90068
Email Address: ericclark1032@gmail.com

☐ Applicant Name Big Foot Valley LLC Daytime Phone _____
Mailing Address _____ Zip Code _____
Email Address: _____

☐ Agent Name Kirk Consulting / Lisa Bugrova/ Jamie Jones Daytime Phone 805-461-5765
Mailing Address 8830 Morro Rd, Atascadero, CA Zip Code 93422
Email Address: Lisa@kirk-consulting.net

PROPERTY INFORMATION

Total Size of Site: 87 Acres Assessor Parcel Number(s): 070-174-012 / 070-174-022
Legal Description: _____
Address of the project (if known): 5145 Calf Canyon Highway, Santa Margarita CA
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: California State Highway 58 (Calf Canyon Highway)
Describe current uses, existing structures, and other improvements and vegetation on the property:
Commercial Barn, Since 2015 a medical cannabis collective cultivation operation

PROPOSED PROJECT

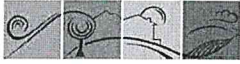
Describe the proposed project (inc. sq. ft. of all buildings): See Project Description

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature] Date 8/28/18

FOR STAFF USE ONLY



LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: ☒ Commercial ☐ Industrial ☐ Residential ☐ Recreational ☐ Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: Existing/Primary access to remain off of California State Highway 58

Surrounding parcel ownership: Do you own adjacent property? ☐ Yes ☒ No

If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Rural Lands South: Rural Lands

East: Rural Lands West: Rural Lands

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 22,000 sq. feet 0 % ☒ +2,500 sf existing Landscaping: 0 sq. feet 0 %

Paving: 0 sq. feet 0 % Other (specify) Outdoor Canopy Area 43,500 sq. ft

Total area of all paving and structures: 22,000 new ☒ sq. feet ☐ acres

Total area of grading or removal of ground cover: 0 ☒ sq. feet ☐ acres

Number of parking spaces proposed: n/a Height of tallest structure: 16'

Number of trees to be removed: 0 Type: _____

Setbacks: Front 1241' Right 1,324' Left 919' Back 237'

Proposed water source: ☒ On-site well ☐ Shared well ☐ Other _____

☐ Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

Proposed sewage disposal: ☒ Individual on-site system ☐ Other _____

☐ Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire

For commercial/industrial projects answer the following:

Total outdoor use area: 43,500 ☒ sq. feet ☐ acres

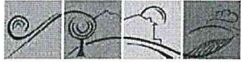
Total floor area of all structures including upper stories: 22,000 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____ sf

Total of area of the lot(s) minus building footprint and parking spaces: _____ sf



ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
 Level to gently rolling, 0-10% slopes: 5 acres
 Moderate slopes - 10-20%: 10 acres
 20-30%: 72 acres
 Steep slopes over 30%: 0 acres
- Are there any springs, streams, lakes or marshes on or near the site? ☐ Yes ☐ No
 If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? ☐ Yes ☒ No
 If yes, please describe: _____
- Has a drainage plan been prepared? ☐ Yes ☒ No
 If yes, please include with application.
- Has there been any grading or earthwork on the project site? ☒ Yes ☐ No
 If yes, please explain: Access Road + barn (existing)
- Has a grading plan been prepared? ☒ Yes ☐ No
 If yes, please include with application. Separate Application
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? ☐ Yes ☒ No
- Is a railroad or highway within 300 feet of your project site? ☐ Yes ☒ No
- Can the proposed project be seen from surrounding public roads? ☐ Yes ☒ No
 If yes, please list: _____

Water Supply Information

1. What type of water supply is proposed?
☒ Individual well ☐ Shared well ☐ Community water system
2. What is the proposed use of the water?
☐ Residential ☒ Agricultural - Explain Cannabis cultivation
☐ Commercial/Office - Explain _____
☐ Industrial - Explain _____
3. What is the expected daily water demand associated with the project? 183,000 Gallons/ yr +572,000 gallons/yr Phase2
4. How many service connections will be required? No service connections required
5. Do operable water facilities exist on the site?
☒ Yes ☐ No If yes, please describe: Groundwater Well
6. Has there been a sustained yield test on proposed or existing wells?
☐ Yes ☒ No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? ☐ Yes ☐ No
Chemical? ☐ Yes ☐ No
Physical ☐ Yes ☐ No
Water analysis report submitted? ☒ Yes ☐ No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
☒ Well Driller's Letter ☐ Water Quality Analysis(☐ OK or ☐ Problems)
☐ Will Serve Letter ☐ Pump Test _____ Hours / _____ GPM
☐ Surrounding Well Logs ☐ Hydrologic Study ☒ Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
☐ Yes ☒ No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
☐ Yes ☒ No
4. Has a piezometer test been completed?
☐ Yes ☒ No If 'Yes', please attach.
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
☐ Yes ☒ No (*a waste discharge permit is typically needed when you exceed 2,500 gallons per day*)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? ☐ Yes ☐ No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ GPD
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? ☐ Yes ☐ No

Solid Waste Information

1. What type of solid waste will be generated by the project?
☐ Domestic ☐ Industrial ☒ Agricultural ☐ Other, please explain? _____
2. Name of Solid Waste Disposal Company: Atascadero Municipal
3. Where is the waste disposal storage in relation to buildings? Please see Waste Disposal Site Plan
4. Does your project design include an area for collecting recyclable materials and/or composting materials? ☒ Yes ☐ No
On Site Organic Composting in grow Areas

Community Service Information

1. Name of School District: Atascadero Unified
2. Location of nearest police station: San Luis Obispo Police Department, 1042 Walnut St. San Luis Obispo, 93401
3. Location of nearest fire station: CAL Fire Parkhill Station 40, 6140 Parkhill rd, Santa Margarita, CA 93453
4. Location of nearest public transit stop: Regional Transit Authority Bus Stop, Santa Margarita, CA 93453
5. Are services (grocery/other shopping) within walking distance (1/2 mile or closer) of the project? ☐ Yes ☒ No

Historic and Archeological Information

1. Please describe the historic use of the property: Agricultural cultivation
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? ☐ Yes ☒ No
If yes, please describe: _____
3. Has an archaeological surface survey been done for the project site? ☒ Yes ☐ No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: 6 Days of operation a week 8 am-6pm
2. How many people will this project employ? 2-10
3. Will employees work in shifts? ☐ Yes ☒ No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
☐ Yes ☒ No If yes, please explain: _____
5. Will this project increase the noise level in the immediate vicinity? ☐ Yes ☒ No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: N/A
7. Will hazardous products be used or stored on-site? ☐ Yes ☒ No
If yes, please describe in detail: _____
8. Has a traffic study been prepared? ☐ Yes ☒ No If yes, please attach a copy.
9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 1 Between 4:00 to 6:00 p.m. 2

10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees? ☒ Yes ☐ No
If yes, please specify what you are proposing: Carpooling already established
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
☐ Yes ☒ No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? ☐ Yes ☒ No
2. If yes, is the site currently under land conservation contract? ☐ Yes ☒ No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: N/A

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): n/a
2. Will the development occur in phases? ☒ Yes ☐ No
If yes describe: Phase 2 development dependent on economic viability of cultivation operation
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? ☒ Yes ☐ No If yes, explain: Phase 2 Site Plan shows a construction of up to 22,000 sq. ft. of greenhouse, however this is dependent on economic viability of current cultivation operation
4. Are there any proposed or existing deed restrictions? ☐ Yes ☒ No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: Operation is off-grid, Solar Panel installed

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
Efficient Irrigation Techniques and Scheduling, Soil Moisture Enhancement Techniques, "Spot" hand watering, Monitored hand/drip system for outdoor cultivation
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? ☐ Yes ☒ No
If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property?

☐ Yes ☒ No

If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): CDFA, BCC

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned to the project)



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
CANNABIS APPLICATION SUPPLEMENT

PLN-2018
12/8/2017

The following information is required in addition to the Land Use Permit Application.

Cannabis Activities Proposed

- | | | |
|---|-------------------------------------|---|
| <input checked="" type="checkbox"/> Cultivation | <input type="checkbox"/> Nursery | <input type="checkbox"/> Manufacturing Facility |
| <input type="checkbox"/> Testing Facility | <input type="checkbox"/> Dispensary | <input type="checkbox"/> Distribution Facility |

For Cultivation and Nurseries ONLY

Approved Cooperative/Collective Registration number. *Note: If you do not hold an approved cooperative/collective registration, you cannot apply for cultivation until 2019.*

Approved registration number: CCM2016- 00182

What is the applicant on the approved registration? *Note: The applicant name on the registration must match the applicant name on the land use permit.*

Name of applicant: Eric Clark

Are you planning on cultivating on the same site that a registration was approved for?

- ☒ Yes ☐ No

What type of State cultivation license are you seeking?

- | | | | |
|---|--|---------------------------------|---|
| <input type="checkbox"/> Type 1 | <input type="checkbox"/> Type 2 | <input type="checkbox"/> Type 3 | <input type="checkbox"/> Type 4 |
| <input type="checkbox"/> Type 5 | <input type="checkbox"/> Microbusiness | <input type="checkbox"/> Indoor | <input checked="" type="checkbox"/> Outdoor |
| <input checked="" type="checkbox"/> Mixed-light | | | |

Designate the total square footage of your cultivation canopy area(s). This is not necessarily the maximum canopy size allowed by the tier of license for which you are applying, but the amount of canopy area you intend to produce. If you intend to have multiple canopy area locations, include only the total square footage of the total canopy.

1 acre + 22k sf

Check one or more of the following that apply and attach a detailed diagram of your designated canopy area. Include specific dimensions, in feet and inches, in the diagram. If you have only a single canopy area, clearly indicate that. If you are designating multiple canopy areas, clearly identify the square footage and dimensions of each area and how it is separated from other canopy areas. Note that if you are designating multiple canopy areas you must separate each area by a physical boundary such as an interior wall. Vertically stacked canopy areas must be identified as such in the detailed diagram submitted by applicants.

I have designated the specific area and dimensions of my newly designated canopy area(s):

CANNABIS APPLICATION SUPPLEMENT

- ☐ On my floor plan submitted with the application
☐ On an additional document submitted with my application

Record your estimates of electrical usage in kilowatt-hours (kWh). To determine how many kWh a piece of equipment uses, take the following steps:

- Determine the wattage of the device by checking manufacturer specifications
- Multiply this number by the number of hours each month the device will be in use to determine watt-hours.
- Divide each month's watt-hours by 1,000 to determine kWh. Round to three decimal places.
- Repeat this for each piece of equipment and the total amounts for each month.
- Estimates should assume the business is in full production for each month.

Describe all sources of electrical power and the total annual kWh expected to be drawn from each. For example, if the operation uses on-site power generation from a source such as solar panels, document the amount of power you expect to use from that source in addition to any other sources.

Source or utility name	Expected kWh drawn annually
Solar	n/a
PGE	Future
Total Annual kWh:	n/a

Clearly identify the measurement unit you are using to estimate or report your water usage. If you are using multiple units, you may use additional columns to record that information. If you are using reclaimed water, identify that as a source. If you are utilizing more sources of water than may be included on this form, you may include that information on a separate page submitted with this application.

Estimate the total water used in the production of marijuana by month. If recording estimates for multiple sources, estimate these amounts separately.

Source	Outdoor 1 acre	Greenhouse 22k sf	
Month and Year			
1	5000	47,500	
2	5000	47,500	
3	5000	47,500	
4	5000	47,500	
5	20000	47,500	
6	18000	47,500	
7	35000	49,500	
8	32000	47,500	
9	30000	47,500	
10	18000	47,500	
11	5000	47,500	
12	5000	47,500	
Totals	183,000 gal/year	572,000 gal/year	

CANNABIS APPLICATION SUPPLEMENT

Do you plan on using pesticides?

☒ Yes ☐ No

List of pesticides anticipated to be used: See attached project description

For Manufacturing ONLY

What type of State manufacturing license are you seeking? *Note: Volatile manufacturing is prohibited.*

☐ Type 6 ☐ Type 7 ☐ Type N ☐ Type P
☐ Microbusiness

What type of products do you plan on manufacturing?

☐ Oils ☐ Edibles ☐ Topicals ☐ Other _____

Will the facility be utilizing a closed-loop extraction system?

☐ Yes ☒ No ☐ N/A

(If extracting) What types of extraction will you be performing?

☐ Butane ☐ Propane ☐ Hexane ☐ Carbon Dioxide
☐ Ethanol ☐ Mechanical ☐ None
☐ Other _____

For Distribution ONLY

What type of State distribution license are you seeking?

☐ Type 11 ☐ Type 11 – Transport Only

Will you be operating a storage-only business?

☐ Yes ☒ No ☐ N/A

How many vehicles do you anticipate transporting/distributing product?

☐ 1-5 ☐ 6-10 ☐ 11+ ☐ N/A Storage Only/Other

CANNABIS APPLICATION SUPPLEMENT

For Dispensaries ONLY

What type of State dispensary license are you seeking? *Note: Dispensaries are not allowed to have storefronts open to the public.*

☐ Type 9 – non-storefront dispensary ☐ Type 10 ☐ Microbusiness

Will you be delivering to other jurisdictions?

☐ Yes ☒ No ☐ N/A

How many vehicles do you anticipate delivering product?

☐ 1-5 ☐ 6-10 ☐ 11+ ☐ N/A Storage Only/Other

How many deliveries per day do you anticipate delivering product?

☐ <10 ☐ 11-50 ☐ 51-100 ☐ >100 ☐ N/A Storage Only/Other



BIGFOOT VALLEY, LLC
SUPPLEMENTAL DEVELOPMENT STATEMENT
CANNABIS MINOR USE PERMIT
5145 CALF CANYON HIGHWAY, SANTA MARGARITA, CA 93453
APN (070-174-012, 070-174-022)
PROJECT DESCRIPTION- Two Phase Project

Parcel Size:	87 Acres
APN:	APN (070-174-012, 070-174-022)
Address:	5145 Calf Canyon Hwy, Santa Margarita CA 93453
Land Use Designation:	RL
Williamson Act:	No
Water:	On-Site Well
Existing Uses:	Commercial Barn
Access:	California State Highway 58 (Calf Canyon Highway)

The subject property consists of 2 parcels totaling to 87 acres, located at 5145 Calf Canyon Highway in Santa Margarita (APN 070-174-012, 070-174-022), accessed directly off California State Highway 58, in the North County Salinas River Sub Planning Area and zoned Rural Lands. Existing uses on the site include a commercial barn and a medical cannabis collective cultivation operating since 2015.

Proposed Project

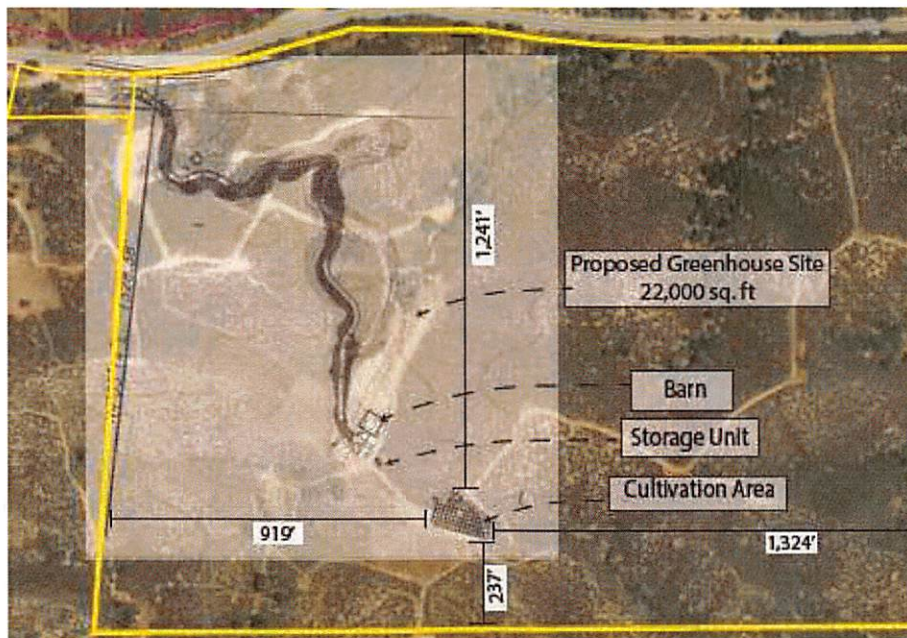
A request by Bigfoot Valley LLC for a Minor Use Permit to authorize the continued outdoor cultivation of cannabis, totaling 43,500 sq. ft. of canopy, utilization of an existing building for processing and secure storage (Phase 1), and the future (Phase 2) construction of up to 22,000 sq. ft. of greenhouse for mixed-light cannabis cultivation. The property is registered via CCM2016-00182 for one acre of outdoor cultivation, which is currently planted. The proposed project has been designed in full compliance with LUO Section 4, Chapter 18322.30- Cannabis Activities as approved by the Board of Supervisors on November 27, 2017. Supporting cultivation operations will include drying, curing, and preparation of product for off-site testing and

entry into the commercial marketplace. No additional site disturbance other than that required for greenhouse construction (Phase 2) is proposed as a part of this project. The proposed project is located at 5145 Calf Canyon Highway, Santa Margarita CA 93453, approximately 35 miles East of downtown Santa Margarita.

Figure 1: Vicinity Map



Figure 2: Cultivation Area Site Plan



The Project site is approximately 87.7 acres in size and consists of two legal parcels. The site is located on California State Highway 58 which extends East and West of the project site. The area is sparsely developed with very low

densities and larger parcel sizes (40+) acres. The area's topography is relatively hilly with 72 acres of the site being between 20-30% slope, 10 acres of the site between 10-20% slope, and 5 acres of the site being between 0-10% slope. The average slope within the site is 28%. Vegetation coverage consists primarily of rangeland with sparse coastal chaparral. The proposed project area consists of existing developed or otherwise denuded/graded areas. No vegetation removal or significant grading is necessary or proposed for any phase of the project.

Outdoor Cultivation

One acre (43,500 sq. ft.) of outdoor cultivation area will be cultivated in an existing fenced area located at the southern portion of the property. The cultivation area is securely fenced the perimeter, with compost area encompassed within the existing fencing (see Detailed Site Plan).

Indoor Cultivation (Mixed-Light)

Phase 2 will include up to 22,000 sq. ft of greenhouse space to be located north of the existing barn in an existing level area devoid of vegetation.

Processing and Export of Product

Growing, drying, and curing will be located within the existing building onsite once permitted as a commercial ag-accessory structure. or preparation for distribution of product grown onsite to wholesale distributors. Once harvested, product will be taken off-site for final distribution. There will be no manufacturing onsite.

Access

The parcel is accessed from Calf Canyon Highway (CA 58), a public road which extends to parcels East and West of the site. Calf Canyon Highway is paved all the way to the site's driveway. Grading plans for the as-built driveway to the existing barn and cultivation area are provided herein for reference and will be permitted through the Building Department.

Site Operations Plan

Security

The project has prepared a detailed Security Plan for confidential routing to the Sheriff's department for review. The proposed security plan includes solar powered security lighting with motion detection, fencing, secure entry and access gates to all cultivation areas, and full lighting of the secured cannabis storage area. Security cameras will be placed at all cultivation area access points, along with a field of view of each cannabis area. Cultivation areas will have complete visual coverage through the network of motion detection surveillance cameras. Further, access gates to cultivation area, along with the main entry gate will have remote messaging systems that send an alarm to emergency contact notification list when triggered. Packaged product ready for transport by licensed distributors will be stored in locked waterproof containers within a secure building. The site will operate in full compliance with State Licensing requirements for track and trace which will further ensure adherence to security protocols.

Odor Management

Land Use Ordinance 22.40.50.D.8 outlines requirements for Nuisance Odors from cannabis cultivation. The ordinance details that all cannabis cultivation shall be sited and/or operated in a manner that prevents cannabis nuisance odors from being detected offsite, as well as structures utilized for indoor cannabis cultivation to be equipped and/or maintained with sufficient ventilation controls to eliminate nuisance odor emissions from being detected offsite.

Cannabis has been cultivated outdoors at this site for several years with no odor complaints of any kind. No expansion of the outdoor use is proposed, and therefore no odor management is necessary or proposed. Odor from the cultivation areas is naturally mitigated by the distance to the nearest residence being over 1,000 feet away, existing vegetation and topographical relief. Building plans for Phase 2 greenhouses will include sufficient mechanical ventilation controls such as misting and evaporative coolers within the structures to ensure no nuisance odors are detected offsite. The proposed operations are not anticipated to cause any odor issues. Please see attached Odor Control Plan including a contact number for nuisance

complaints for the outdoor cultivation operation. Phase 2 greenhouse operations will include amendment of this Odor Control Plan to specify odor management activities associated with the greenhouse operations.

Signage

No exterior signage distinctive to the cannabis operation is proposed.

Parking/Access

The property site provides ample parking areas for the cultivation operations and are not in conflict with any adjacent properties or uses. The existing barn and cultivation area provide parking for current staff as well as additional staff for Phase 2. See request for parking modification and required findings below.

Staffing/Employee Safety

The proposed operations are agricultural in nature and conducted according to controls in place for the industry. No manufacturing, dispensary, or distribution activities are proposed. No public access to the site will occur at any time. The site's current 1-acre outdoor cultivation operation has been active since 2016 and requires a total of 1 full time and 1 part time employee, who travel to the site each day and arrive at approximately 8 am and leave at approximately 6 pm, 6 days a week. At full operational capacity, the staffing levels will increase to 4, including existing owner participation. Operating time would stay the same, with hours approximately 8 am to 6 pm, 6 days a week. Once a year, during parts of the month of September and early October for harvest, 6 or 7 additional employees are onsite for a total of 8 to 10 people. The greenhouse operations will add 2 more harvests per year, during the months of May and September with hours of 8 am to 6 pm. May harvest will require an additional 4 employees onsite for a total of 5 to 7. These harvest times are approximately six days long where the cannabis is cut and hung indoors. Once dried and trimmed the product is transported immediately offsite.

Product transport is anticipated after each harvest and will consist of 1 passenger van or utility vehicle accessing the site over the course of 1 week. This will occur at the end of May and early October to deliver the product to company partners.

Traffic

Regular commercial operations result in 2 round trips per day in a commuter truck. There will be an additional 4 commercial deliveries per year for soil and farm supplies as well as seasonal part-time harvest staff. This is within standards for the access road and standard agricultural operations for the property. Please see the following traffic analysis summary provided by the applicant for the project:

Table 1: Traffic Analysis – Trip Generation

Time of year	Headcount	Daily Trips*	Peak Hour Trips					
			Weekday AM			Weekday PM		
Typical Operations			In	Out	Total	In	Out	Total
Regular	2	4	1	1	2	1	1	2
Harvest**	10	12	3	3	6	3	3	6
TOTAL:	12	16	4	4	8	4	4	8

**Round trips from Santa Margarita, CA*

***Harvest operations occur for 30 days in the Fall, dependent on crop*

Neighborhood Compatibility

Cannabis cultivation is consistent with previous and current agricultural use of the property and surrounding area. The existing structure was previously used for agricultural purposes and is configured appropriately to meet the intended use. There is no projected increase in noise level from this project.

Wastewater and Green Waste

Cannabis cultivation will not produce any wastewater as all water is used within the planting environment. All green waste consisting of dead and/or stripped of flower plants and soil are composted onsite within in a defined soil compost area.

Sewage

Plans for a septic system have been developed for the existing agricultural barn and will be submitted along with required studies and reports associated with the building permits for that project. As necessary, portable toilets will be utilized with regular service and located adjacent to the existing barn and cultivation area.

Pesticide and Fertilizer Usage

Pesticide and fertilizer usage will be conducted following organic farming practices and in accordance to the County of San Luis Obispo Department of Agriculture standards. The following products will be used for soil and pest control: Capsaicin, cinnamon, garlic and garlic oil, citric acid, geraniol, horticultural oils (petroleum oils), insecticidal soaps (potassium salts of fatty acids), iron phosphate, bean oil, potassium bicarbonate, potassium sorbate, sesame and sesame oil, sodium bicarbonate, soybean oil, sulfur, thyme oil, cloves and clove oil, cottonseed oil, peppermint and peppermint oil, potassium silicate, rosemary and rosemary oil, castor oil.

Soil amendments will include the following products: vermiculite, perculite, rice hulls, oyster shells, bat guano, sphagnum moss, earthworm castings, kelp meal, granite dust. (See attached Product Specification List).

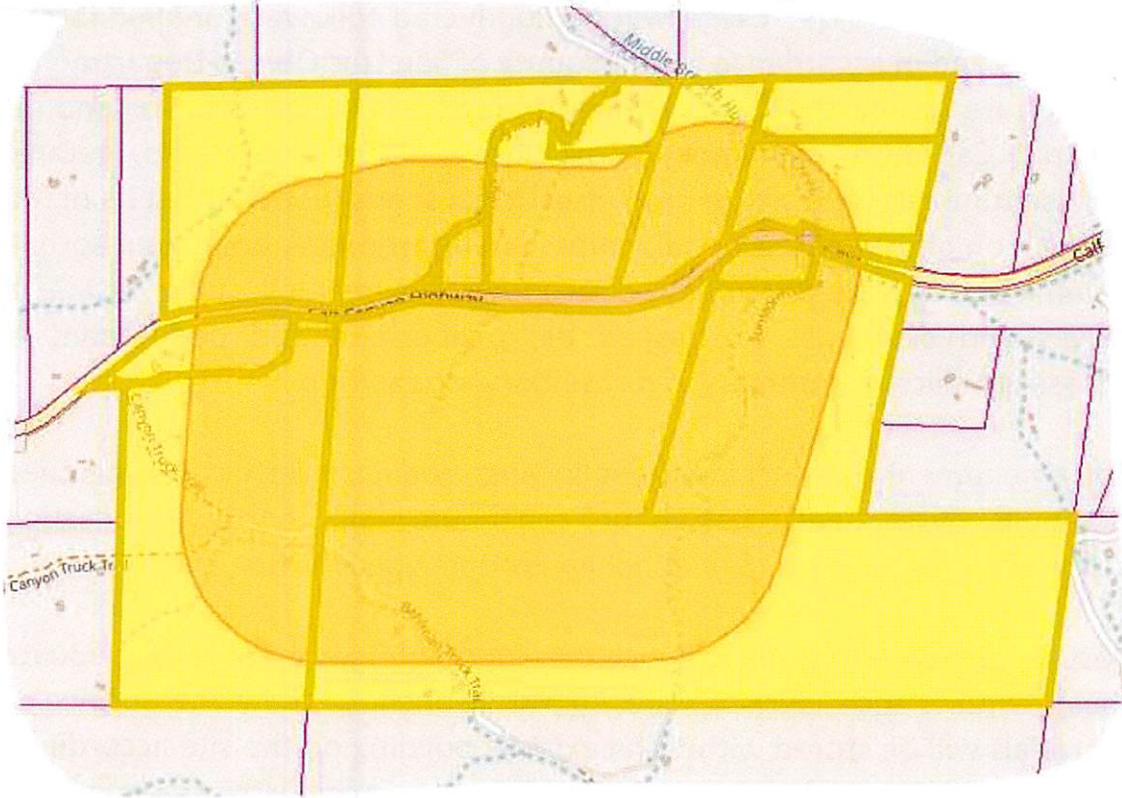
Pest mitigation measures will include a perimeter wire fence of graduated mesh, with ¼ inch chicken wire buried 18 inches below the surface. All materials will be stored within the existing building on the site according to standard good agricultural practices and in compliance with the Department of Agriculture operational regulations.

Setbacks

Land Use Ordinance section 22.40.050 (D)(3)(b) requires outdoor cannabis cultivation sites to be setback 300 feet from all property lines and public rights of way unless a modification request is made. The cultivation area will be at a 237' foot setback from the Southern property line, 919' foot setback from the Western property line, 1,241' foot setback from the Northern property line, and a 1,324' foot setback from the Eastern property line. See setback modification request to reduce the Southern set back to 237' below.

The nearest sensitive receptors (schools, parks, libraries, licensed recover facilities, et. al) are located well outside the 1000-foot setback required by 22.30.D.1. The Rural Lands zoned parcel size of 68.7 acres meets the size

requirement of 50 acres for an acre of outdoor cultivation and up to 22,000 sf of indoor. See Land Use View with 1000' buffer map shown below.



Air Quality

The project is located on an existing agricultural site, accessed via a private driveway with no new grading required. Solely organic practices are utilized. There are no predicted air quality impacts.

Access, Screening and Fencing

The parcel is accessed from Calf Canyon Highway (Highway 58). Calf Canyon Highway is a public road that extends to parcels beyond the site. The cultivation area and proposed Phase 2 greenhouse area are not visible from any offsite location. The existing cultivation area is fenced, with additional security controls as required by CDFA or BCC to be incorporated into existing operations, including security cameras, and fencing at key locations. Phase 2 greenhouses will be fenced according to ordinance requirements.

Water Management Plan

The property is in the Salinas Estrella Water Planning Area, Middle Branch Huero Creek Watershed.

The project site is served by one existing groundwater well that has historically served the property for agricultural use. No import of water is necessary or will occur in association with the proposed cannabis cultivation operations. Limited surrounding agriculture combined with high recharge potentials support the land use of commercial cannabis cultivation.

The projected water usage is as follows:

Monthly Water Usage (Gallons)													
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
1 Acre Cannabis	5,000	5,000	5,000	5,000	20,000	18,000	35,000	32,000	30,000	18,000	5,000	5,000	183,000
22,000 sq Greenhouse	47,500	47,500	47,500	47,500	47,500	47,500	49,500	47,500	47,500	47,500	47,500	47,500	572,000

Energy Use

The operation is off-grid, Solar Panel generated. The total annual estimated energy use for the cannabis operation is 267,052 kWh.

Issues Requiring Special Consideration

Cultural Resources

The cultivation operation, access road, and support agriculture building are existing and no disturbance is necessary to authorize the continued operation of these facilities. Phase 2 of the project includes construction of up to 22,000 sq. ft. of greenhouses, to be accessed by the existing road network. A Phase 1 Surface Survey has been completed, with negative results.

Biological Resources

The project site is not within range of any sensitive animal species in the region, such as San Joaquin Kit Fox, and does not propose any site disturbance in proximity to riparian areas or wetland habitats. County Vegetation data defines the majority of the property as Shrub, with no oaks present. Minor portions of the property that are outside of the proposed use areas include Coast Live Oak habitat. No tree removal or impact would

occur. No sensitive biological resources are anticipated to be potentially impacted.

Parking Modification and Required Findings

The project site is designed to accommodate staff for the outdoor cultivation and Phase 2 greenhouse cultivation within the existing parking area adjacent to and south of the barn. Due to the limited nature of the staff required for the operation, parking standards as outlined in Chapter 22.18, Nursery Specialties are not appropriate for the project.

The following findings are provided for use in a request for modification of parking standards of Chapter 22.18, Nursery Specialties.

In accordance with Chapter 22.18.18.020.H, the following three findings support the request to modify the parking standards:

- a. The characteristics of the project, which consists of an owner-operated cannabis operation with seasonal temporary staff, do not necessitate the number of parking spaces, types of design, or improvements required by this chapter as the activities will be conducted by the property owner and part-time staff who have an existing parking area provided on site adjacent to the existing barn and existing cultivation area.
- b. The existing parking area is adequate to accommodate on the site all parking needs generated by the use as the operation will be staffed solely by two full time staff and seasonal part-time harvest staff. No additional parking than what is currently proposed.
- c. No traffic safety problems will result from the proposed modification of the parking standards as there is ample existing parking on the site for the cultivation project.

Setback Modification and Required Findings

Land Use Ordinance Section 22.40.050(D)(3)(b) requires outdoor cannabis cultivation sites to be setback 300 foot from all property lines and public rights of way. The existing outdoor cultivation area on the applicant's site is approximately 237' feet from the southern property line at the nearest point. The adjacent property (APN 070-174-023) is an approximately 160-acre Rural Lands zoned property, which according to GIS mapping data, has potential to support residential development approximately 500' + from the property

line at the closest point. This would result in a distance of approximately 750' from the nearest offsite residence if this property were to be developed.

According to Land Use Ordinance Section 22.40.050(E)(7), in order to approve the setback modification, the Review Authority must make a special setback modification finding. The Review Authority must find:

“Specific conditions of the site and/or vicinity make the required setback unnecessary or ineffective. Modification of the setback will not allow nuisance odor emissions from being detected off site”.

In this case, specific conditions of the site and vicinity make the required 300-foot setback from southerly property line unnecessary. Setbacks of this type are implemented to address issues such as noise, lighting, odor and concentration of development. This is a low density, large parcel rural area with limited access and low development potential. All cultivation is screened with existing fencing. The outdoor cultivation has been in operation for several years with no noise, lighting, odor or other complaints.

The abutting parcels is approximately 160 acres in size and similar in topography and vegetation as the other parcels in the vicinity including oak woodland, chaparral, and open grassland.

The low density, rural nature of the area, no past evidence of the operation from off site and lack of visibility from off-site make the 300-foot setback unnecessary for the existing outdoor cultivation operation. The existing 237-foot setback from the southerly property line as proposed is sufficient to address the off-site effects (if any) of the cannabis cultivation site nearest this property line.

CEQA Categorical Exemption

Section 15301 of the State CEQA Guidelines allows for existing projects and projects that have no potential for causing a significant effect on the environment to be exempt from the provisions of CEQA. The project application proposes to utilize an existing fenced area consisting of disturbed areas and non-sensitive annual grasses. There is no possibility that this project may have a significant effect on the environment.

The greenhouse location is within area that has been subject to previous disturbance. No enlargement of the access driveway, parking area, or developed use area is proposed. Baseline conditions shall remain constant for operational elements such as persons on the site and traffic.

No other measures beyond those required by County ordinances are necessary to address the environmental impacts associated with the proposed project. The proposed project does not include any environmental impacts or significant changes to the project site.



Parcel Information

APN: 070-174-022
Assessee: CLARK ERIC
Care Of:
Address: PO BOX 3666 LA
CA 90078
Description: T29S R14E PTN SEC 6
Site Address:
05145 CALF CANYON HY
Tax Rate Area Code: 054060
Estimated Acres: 0.83
Community Code: NCLPIL
Supervisor District: Supdist 5
Avg Percent Slope: 12

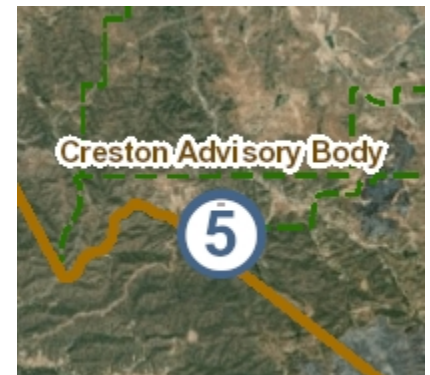


Selected Parcel

Land Use Information

Land Uses Combining Designations

RL	
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Parcel location within San Luis Obispo County

Permit Information

Permit	Description	Application Date
DRC2018-00153	Land Use	8/29/2018 2:16:23 PM

Clerk Recorder Documents

Clerk Document	Date	Document Type
1997-R-037885	07/21/1997	O



Parcel Summary Report

APN: 070-174-022

1997-R-008022	02/20/1997	O
1983-R-C12168	03/22/1983	C



Parcel Information

APN: 070-174-012

Assessee: CLARK ERIC

Care Of:

Address: PO BOX 3666 LA
CA 90078

Description: T29S R14E PTN SEC 6 LESS 66% MIN RTS

Site Address:
05145 CALF CANYON HY

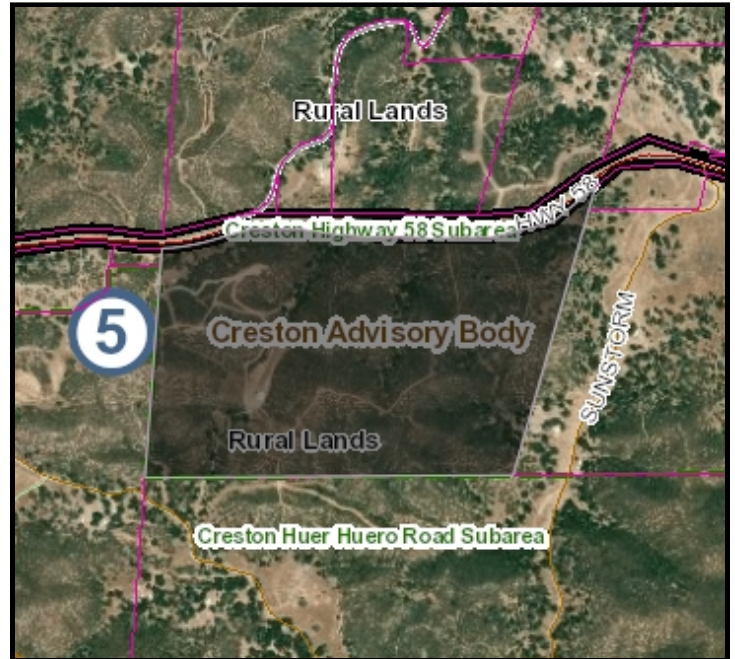
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Estimated Acres: 86.11

Community Code: NCLPIL

Supervisor District: Supdist 5

Avg Percent Slope: 28

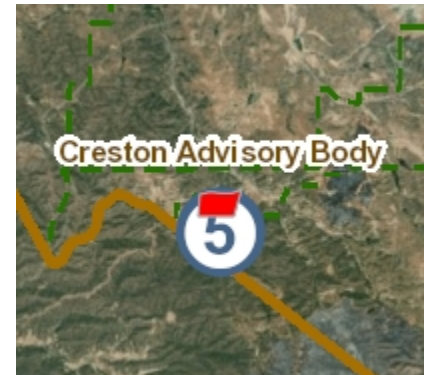


Selected Parcel

Land Use Information

Land Uses Combining Designations

RL	
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Parcel location within San Luis Obispo County

Permit Information

Permit	Description	Application Date
DRC2018-00153	Land Use	8/29/2018 2:16:23 PM
PRE2017-00023	Pre-Application	12/13/2017 1:44:39 PM
PMTG2017-01444	PMTG - Grading Permit	11/6/2017 2:48:53 PM
PMT2017-00626	Determination	8/25/2017 11:06:34 AM
COD2016-00800	Code Enforcement	5/25/2017 9:09:33 AM



Parcel Summary Report

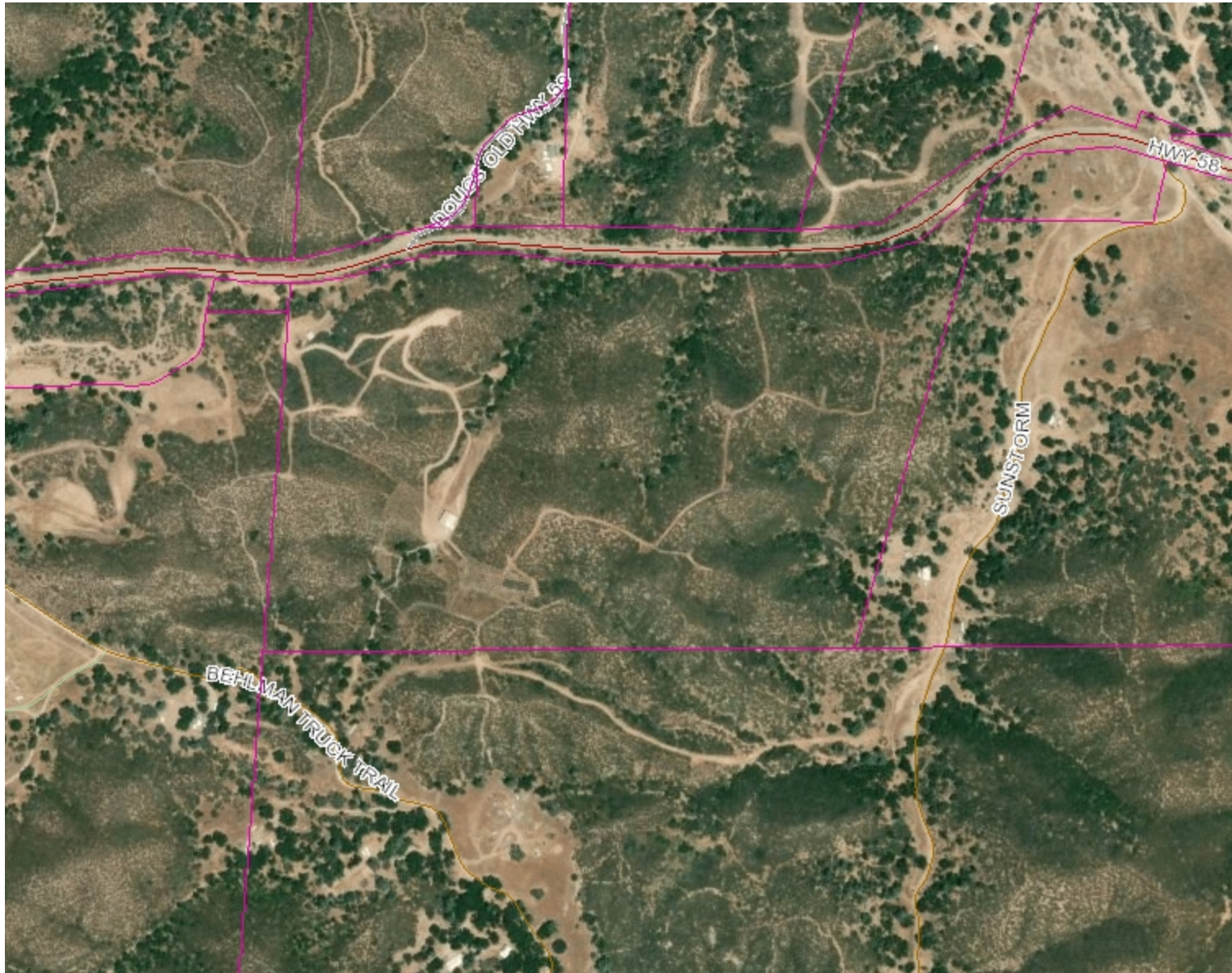
APN: 070-174-012

CCM2016-00182	CCM - Condition Compliance Monitoring	11/15/2016 2:18:27 PM
PMT2015-01533	Determination	11/30/2015 2:22:27 PM
COD2015-00048	Code Enforcement	7/31/2015 8:41:41 AM

Clerk Recorder Documents

Clerk Document	Date	Document Type
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1997-R-008022	02/20/1997	O
1980-R-C20118	05/15/1980	C

Interactive Data Viewer



Legend

- SLO County Parcels
- Roads**
 - CalTrans
 - Maintained by SLO CO
 - Private Maintenance
 - Federal or State Maintenance

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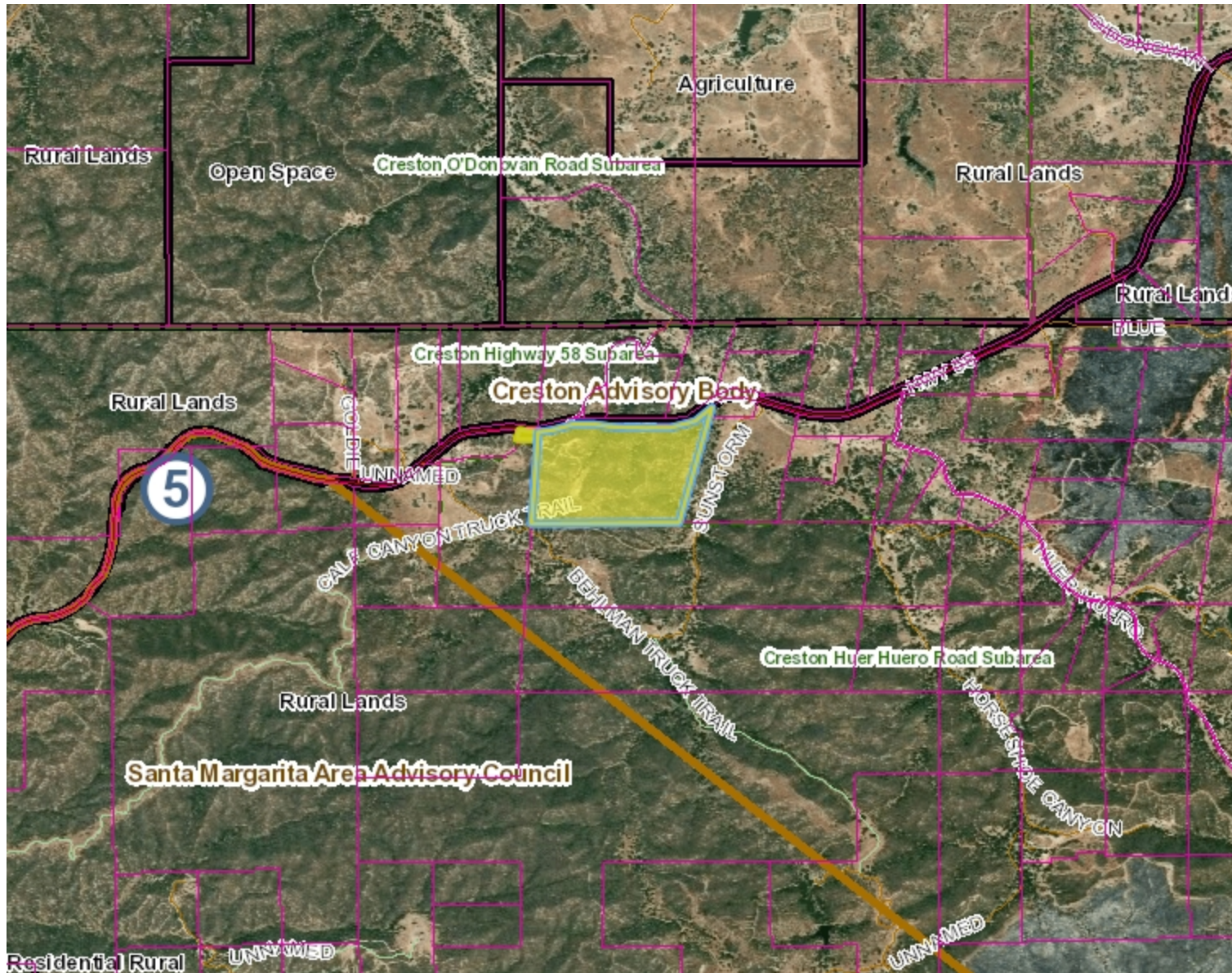
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Map for Reference Purposes Only



Interactive Data Viewer



Legend

-  SLO County Parcels
- Roads**
 -  CalTrans
 -  Maintained by SLO CO
 -  Private Maintenance
 -  Federal or State Maintenance
- Community Advisory Groups**
 -  Community Advisory Group Boundary
 -  Cayucos Citizens Advisory Council Subarea
 -  Creston Advisory Body Sub Areas
-  Supervisor Districts
-  Land Use Outlines

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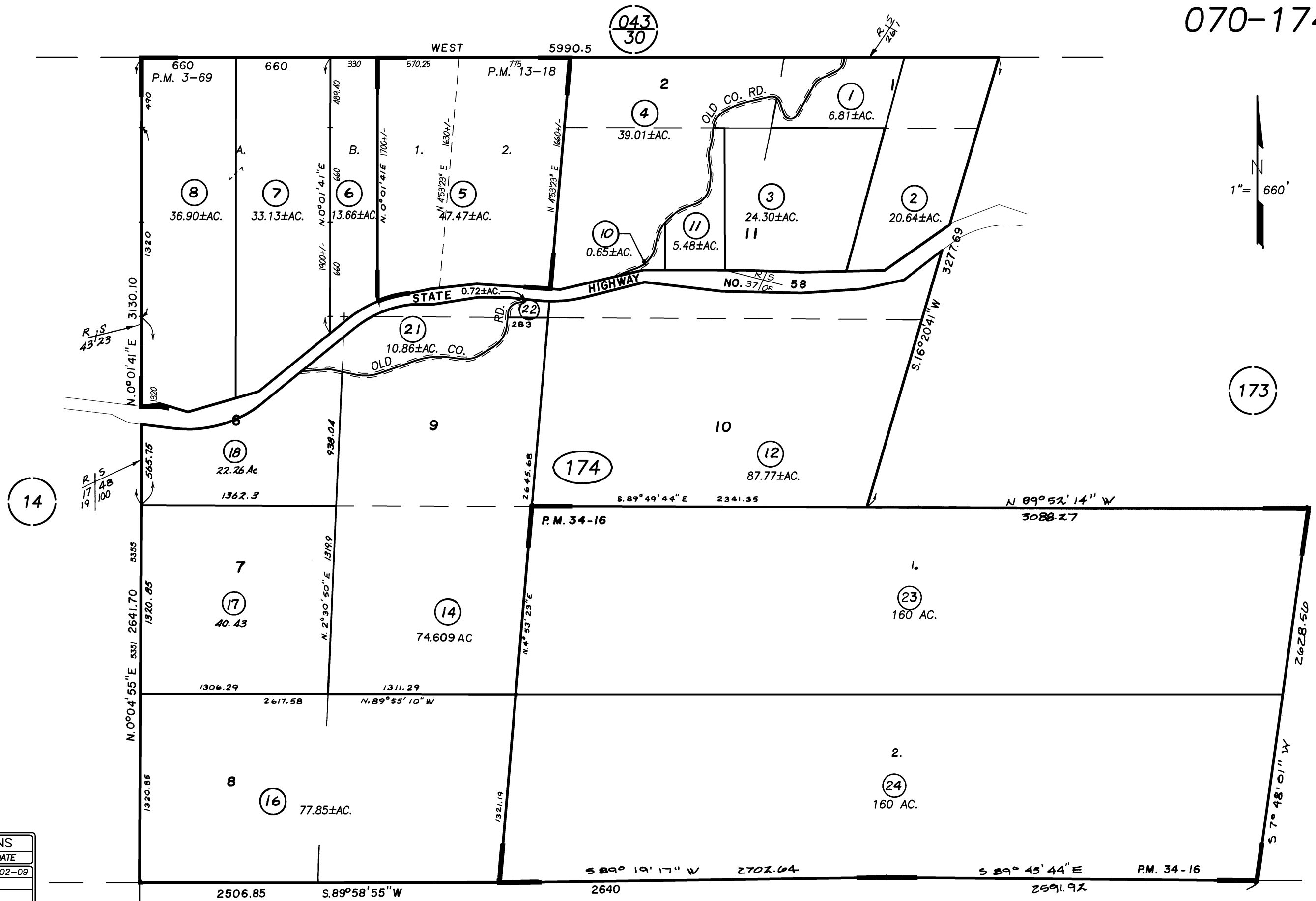
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Map for Reference Purposes Only





REVISIONS	
I.S.	DATE
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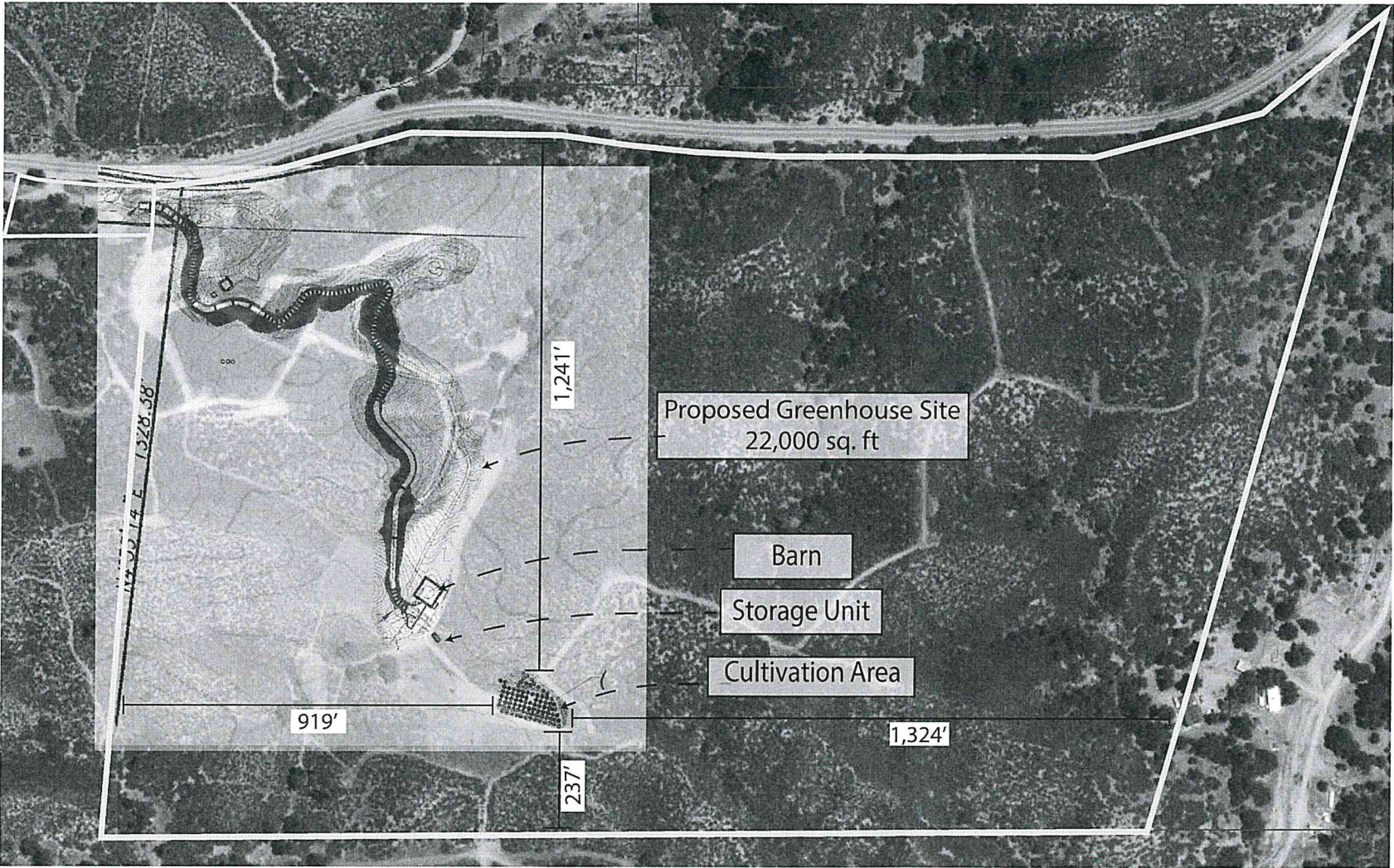
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JAW 10-02-09 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

171

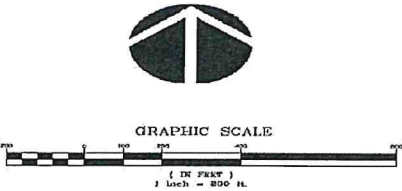
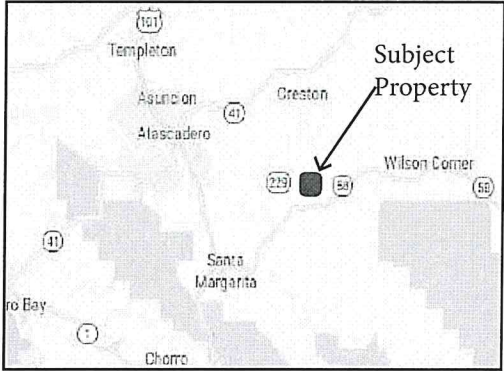
T. 29S.; R. 14E.; SECTION 6 . M.D.B.M.

OVERALL SITE PLAN



Site: 87 Acres

* Site is located over 1000 feet from any sensitive use, as defined by 22.40.050D.1, and 22.40.060D.1, Location



Scope of Work

- 1) 43,500 s.f. Outdoor Cultivation
- 2) 22,000 s.f. Greenhouse (Phase II)

Sheet Index

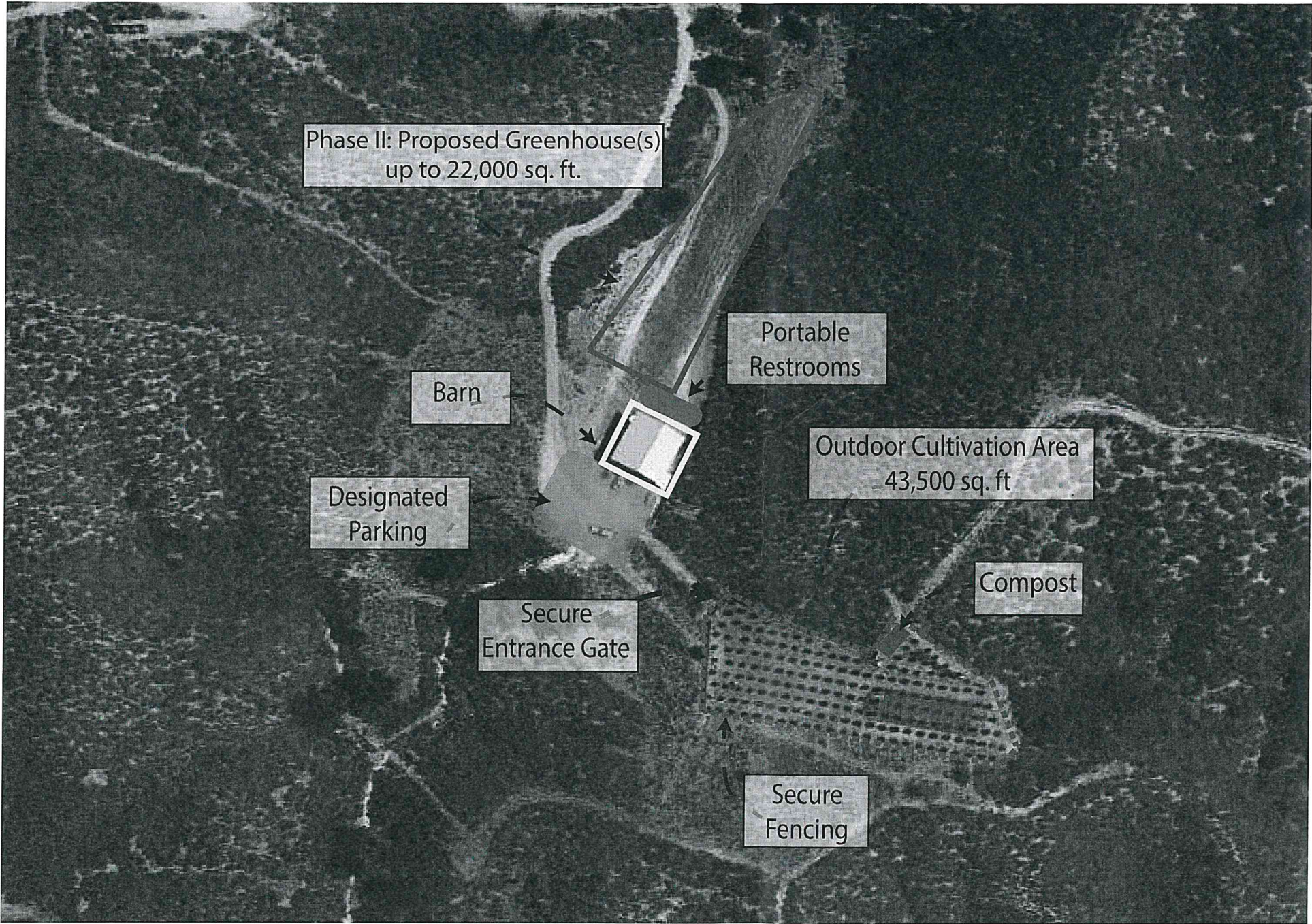
- 1) Overall Site Plan
- 2) Detailed Site Plan
- 3) Greenhouse Plans

Kink Consulting

Sheet 1: Overall Site Plan
Bigfoot Valley LLC
5145 Calf Canyon Highway
Santa Margarita, CA
APN: 070-174-012/070-174-022

SCALE: 1" = 200'	
DATE: 7.18.18	
Bigfoot Valley LLC	
Sheet	
1 of 3	

DETAILED SITE PLAN



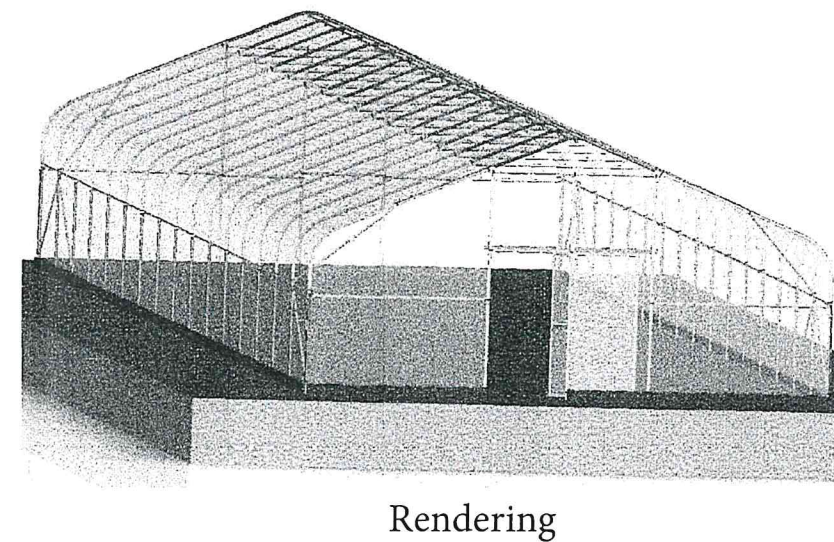
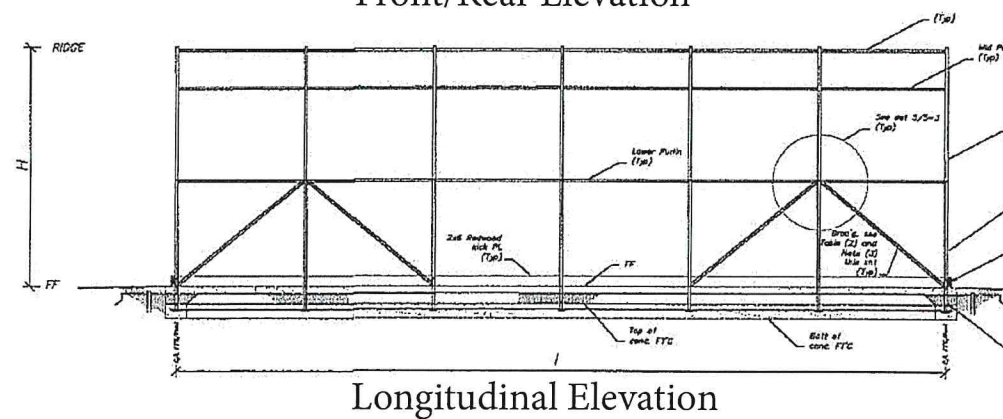
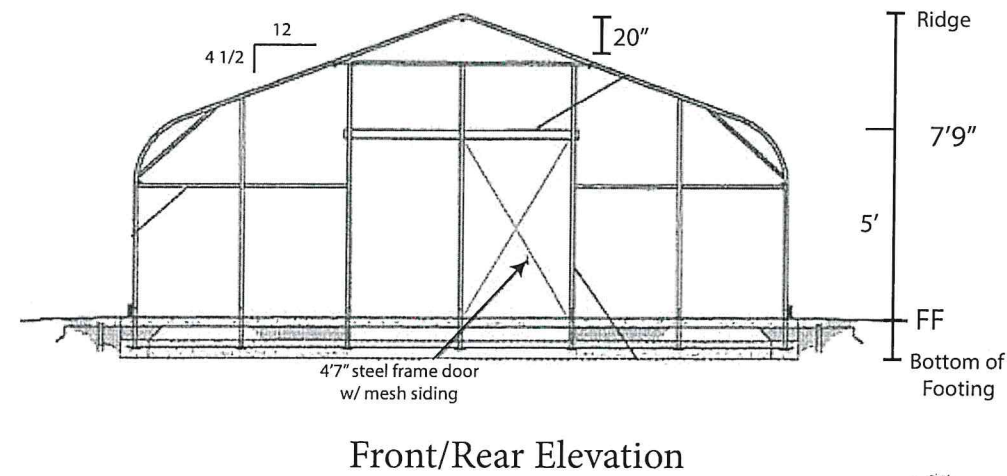
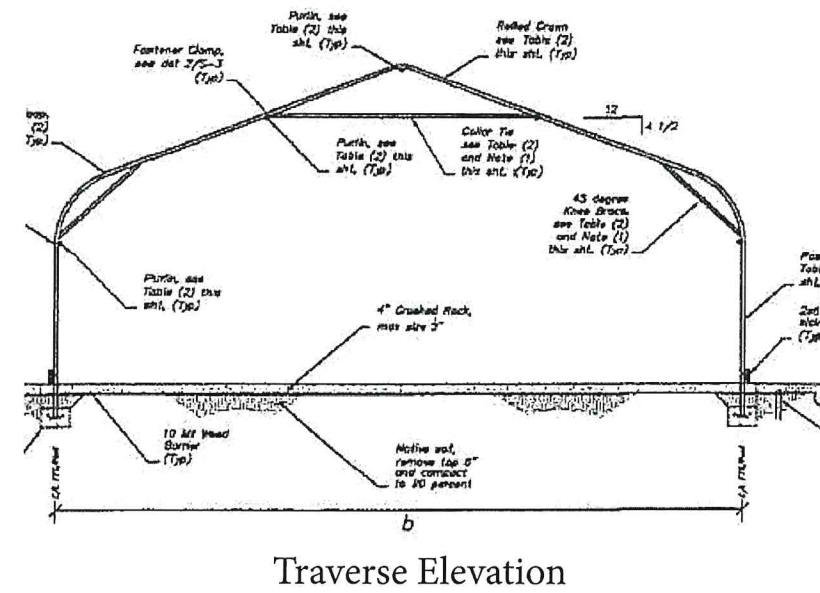
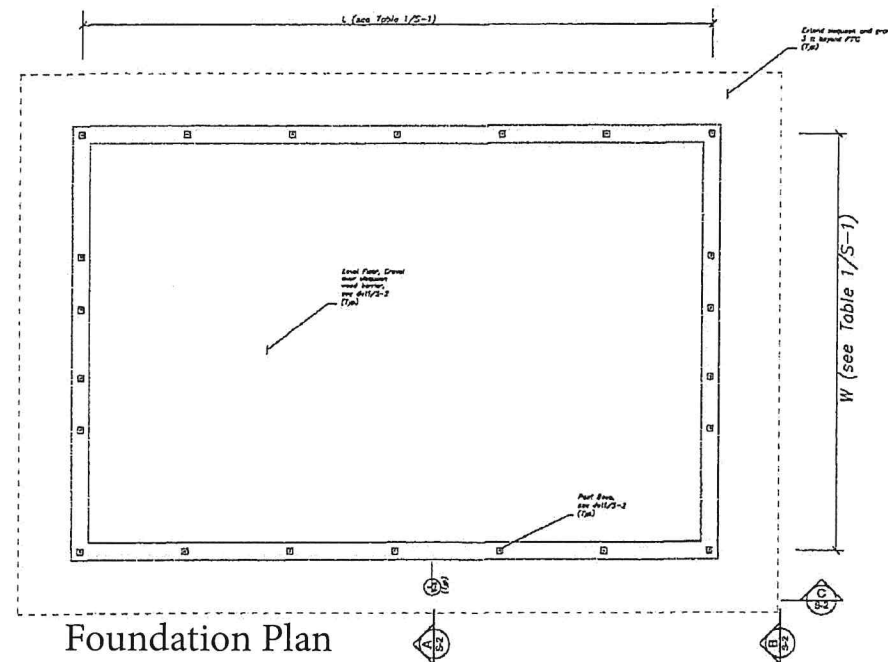
Kirk Consulting

Sheet 2: Detailed Site Plan
Bigfoot Valley LLC
5145 Calf Canyon Highway
Santa Margarita, CA
APN: 070-174-012/070-174-022

SCALE: 1" = 200'	
DATE: 7.18.18	
Bigfoot Valley LLC	
Sheet	
2 of 3	

GREENHOUSE PLANS

Phase II: Representative Concept



Sheet 3: Greenhouse Plans
Bigfoot Valley LLC
5145 Calf Canyon Highway
Santa Margarita, CA
APN: 070-174-012/070-174-022

SCALE: 1" = 200'

DATE: 7.18.18

Bigfoot Valley LLC

Sheet

3 of 3

Kirk Consulting