



COUNTY OF SAN LUIS OBISPO  
DEPARTMENT OF PLANNING & BUILDING  
TREVOR KEITH, *DIRECTOR*

**THIS IS A NEW PROJECT REFERRAL**

**DATE:** 9/25/2018  
**TO:** 3<sup>rd</sup> District Legislative Assistant, Building Department, Public Works,  
CalFire/County Fire, Agricultural Department, County Assessor, Sheriff,  
RWQCB, CA Fish and Wildlife, US Fish and Wildlife, City of San Luis Obispo,  
Airport (SLO), AB52  
**FROM:** Cassidy McSurdy ([cmcsurdy@co.slo.ca.us](mailto:cmcsurdy@co.slo.ca.us) or 805-788-2959)

**PROJECT NUMBER & NAME: DRC2018-00170 FLANNERY\_DARWAY**

**PROJECT DESCRIPTION:** Proposed Minor Use Permit for 3 one acre outdoor cannabis  
cultivations to be located at Christensen Way San Luis Obispo, CA

**APN(s):** 044-111-003

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**Return this letter with your comments attached no later than 14 days from receipt of this referral.**  
**CACs please respond within 60 days. Thank you.**

**PART I: IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?**

- ☐ YES (Please go on to PART II.)
- ☐ NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

**PART II: ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?**

- ☐ YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- ☐ NO (Please go on to PART III.)

**PART III: INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.**

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

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**Date**

**Name**

**Phone**



# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

## APPLICATION TYPE - CHECK ALL THAT APPLY

- ☐ Emergency Permit ☐ Tree Permit ☐ Minor Use Permit  
☐ Conditional Use Permit/Development Plan ☐ Plot Plan  
☐ Curb, Gutter & Sidewalk Waiver ☐ Other ☐ Site Plan  
☐ Surface Mining/Reclamation Plan ☐ Zoning Clearance  
☐ Amendment to approved land use permit ☐ Variance

Department Use Only  
Do Not Mark  
(Staff Apply Label Here)

## APPLICANT INFORMATION

Check box for contact person assigned to this project

☐ Landowner Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
Email Address: \_\_\_\_\_

☐ Applicant Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
Email Address: \_\_\_\_\_

☐ Agent Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
Email Address: \_\_\_\_\_

## PROPERTY INFORMATION

Total Size of Site: \_\_\_\_\_ Assessor Parcel Number(s): \_\_\_\_\_

Legal Description: \_\_\_\_\_

Address of the project (if known): \_\_\_\_\_

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: \_\_\_\_\_

Describe current uses, existing structures, and other improvements and vegetation on the property: \_\_\_\_\_

## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): \_\_\_\_\_

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature \_\_\_\_\_ Date \_\_\_\_\_

**FOR STAFF USE ONLY**



# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

**Type of project:** ☐ Commercial ☐ Industrial ☐ Residential ☐ Recreational ☐ Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): \_\_\_\_\_

Describe existing and future access to the proposed project site: \_\_\_\_\_

**Surrounding parcel ownership:** Do you own adjacent property? ☐ Yes ☐ No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

**Surrounding land use:** What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: \_\_\_\_\_ South: \_\_\_\_\_

East: \_\_\_\_\_ West: \_\_\_\_\_

**For all projects, answer the following:**

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: \_\_\_\_\_ sq. feet \_\_\_\_\_% Landscaping: \_\_\_\_\_ sq. feet \_\_\_\_\_%

Paving: \_\_\_\_\_ sq. feet \_\_\_\_\_% Other (specify) \_\_\_\_\_

Total area of all paving and structures: \_\_\_\_\_ ☐ sq. feet ☐ acres

Total area of grading or removal of ground cover: \_\_\_\_\_ ☐ sq. feet ☐ acres

Number of parking spaces proposed: \_\_\_\_\_ Height of tallest structure: \_\_\_\_\_

Number of trees to be removed: \_\_\_\_\_ Type: \_\_\_\_\_

Setbacks: Front \_\_\_\_\_ Right \_\_\_\_\_ Left \_\_\_\_\_ Back \_\_\_\_\_

**Proposed water source:** ☐ On-site well ☐ Shared well ☐ Other \_\_\_\_\_

☐ Community System - List the agency or company responsible for provision: \_\_\_\_\_

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

**Proposed sewage disposal:** ☐ Individual on-site system ☐ Other \_\_\_\_\_

☐ Community System - List the agency or company responsible for sewage disposal: \_\_\_\_\_

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

**Fire Agency:** List the agency responsible for fire protection: \_\_\_\_\_

**For commercial/industrial projects answer the following:**

Total outdoor use area: \_\_\_\_\_ ☐ sq. feet ☐ acres

Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

**For residential projects, answer the following:**

Number of residential units: \_\_\_\_\_ Number of bedrooms per unit: \_\_\_\_\_

Total floor area of all structures including upper stories, but not garages and carports: \_\_\_\_\_ sf

Total of area of the lot(s) minus building footprint and parking spaces: \_\_\_\_\_ sf



# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

**To ensure that your environmental review is completed as quickly as possible, please remember to:**

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

**Your site plan will also need to show the information requested here:**

- Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: \_\_\_\_\_ acres  
Moderate slopes - 10-20%: \_\_\_\_\_ acres  
20-30%: \_\_\_\_\_ acres  
Steep slopes over 30%: \_\_\_\_\_ acres
- Are there any springs, streams, lakes or marshes on or near the site? ☐ Yes ☐ No  
If yes, please describe: \_\_\_\_\_
- Are there any flooding problems on the site or in the surrounding area? ☐ Yes ☐ No  
If yes, please describe: \_\_\_\_\_
- Has a drainage plan been prepared? ☐ Yes ☐ No  
If yes, please include with application.
- Has there been any grading or earthwork on the project site? ☐ Yes ☐ No  
If yes, please explain: \_\_\_\_\_
- Has a grading plan been prepared? ☐ Yes ☐ No  
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? ☐ Yes ☐ No
- Is a railroad or highway within 300 feet of your project site? ☐ Yes ☐ No
- Can the proposed project be seen from surrounding public roads? ☐ Yes ☐ No  
If yes, please list: \_\_\_\_\_



### Water Supply Information

1. What type of water supply is proposed?  
☐ Individual well    ☐ Shared well    ☐ Community water system
2. What is the proposed use of the water?  
☐ Residential    ☐ Agricultural - Explain \_\_\_\_\_  
☐ Commercial/Office - Explain \_\_\_\_\_  
☐ Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? \_\_\_\_\_
4. How many service connections will be required? \_\_\_\_\_
5. Do operable water facilities exist on the site?  
☐ Yes    ☐ No    If yes, please describe: \_\_\_\_\_
6. Has there been a sustained yield test on proposed or existing wells?  
☐ Yes    ☐ No    If yes, please attach. \_\_\_\_\_
7. Does water meet the Health Agency's quality requirements?  
Bacteriological?    ☐ Yes    ☐ No  
Chemical?    ☐ Yes    ☐ No  
Physical    ☐ Yes    ☐ No  
Water analysis report submitted?    ☐ Yes    ☐ No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
☐ Well Driller's Letter    ☐ Water Quality Analysis(☐ OK or ☐ Problems)  
☐ Will Serve Letter    ☐ Pump Test \_\_\_\_\_ Hours / \_\_\_\_\_ GPM  
☐ Surrounding Well Logs    ☐ Hydrologic Study    ☐ Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

### Sewage Disposal Information

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineer permeation test been accomplished?  
☐ Yes    ☐ No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impermeous soil layers or other existing conditions?  
☐ Yes    ☐ No
4. Has a piezometer test been completed?  
☐ Yes    ☐ No    If 'Yes', please attach.
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
☐ Yes    ☐ No (*a waste discharge permit is typically needed when you exceed 2,500 gallons per day*)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?    ☐ Yes    ☐ No  
Distance to nearest sewer line \_\_\_\_\_ Location of connection: \_\_\_\_\_
2. What is the amount of proposed flow? \_\_\_\_\_ GPD
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?    ☐ Yes    ☐ No

### **Solid Waste Information**

1. What type of solid waste will be generated by the project?  
☐ Domestic   ☐ Industrial   ☐ Agricultural   ☐ Other, please explain? \_\_\_\_\_
2. Name of Solid Waste Disposal Company: \_\_\_\_\_
3. Where is the waste disposal storage in relation to buildings? \_\_\_\_\_
4. Does your project design include an area for collecting recyclable materials and/or composting materials?      ☐ Yes      ☐ No

### **Community Service Information**

1. Name of School District: \_\_\_\_\_
2. Location of nearest police station: \_\_\_\_\_
3. Location of nearest fire station: \_\_\_\_\_
4. Location of nearest public transit stop: \_\_\_\_\_
5. Are services (grocery/other shopping) within walking distance (1/2 mile or closer) of the project?      ☐ Yes      ☐ No

### **Historic and Archeological Information**

1. Please describe the historic use of the property: \_\_\_\_\_
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? ☐ Yes      ☐ No  
If yes, please describe: \_\_\_\_\_
3. Has an archaeological surface survey been done for the project site?      ☐ Yes      ☐ No  
If yes, please include two copies of the report with the application.

### **Commercial/Industrial Project Information**

***Only complete this section if you are proposing a commercial or industrial project or zoning change.***

1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
2. How many people will this project employ? \_\_\_\_\_
3. Will employees work in shifts?      ☐ Yes      ☐ No  
If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
☐ Yes      ☐ No      If yes, please explain: \_\_\_\_\_
5. Will this project increase the noise level in the immediate vicinity?      ☐ Yes      ☐ No  
If yes, please explain: \_\_\_\_\_  
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
7. Will hazardous products be used or stored on-site?      ☐ Yes      ☐ No  
If yes, please describe in detail: \_\_\_\_\_
8. Has a traffic study been prepared?      ☐ Yes      ☐ No      If yes, please attach a copy.
9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between 4:00 to 6:00 p.m. \_\_\_\_\_

10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees ☐ Yes ☐ No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
☐ Yes ☐ No If yes, please describe: \_\_\_\_\_

### **Agricultural Information**

**Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.**

1. Is the site currently in Agricultural Preserve (Williamson Act)? ☐ Yes ☐ No
2. If yes, is the site currently under land conservation contract? ☐ Yes ☐ No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

### **Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_
2. Will the development occur in phases? ☐ Yes ☐ No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? ☐ Yes ☐ No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions? ☐ Yes ☐ No  
If yes, please describe: \_\_\_\_\_

### **Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: \_\_\_\_\_

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

### **Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
\_\_\_\_\_  
\_\_\_\_\_

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? ☐ Yes ☐ No  
If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?

☐ Yes ☐ No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): \_\_\_\_\_

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned to the project





COUNTY OF SAN LUIS OBISPO  
DEPARTMENT OF PLANNING & BUILDING  
CANNABIS APPLICATION SUPPLEMENT

PLN-2018  
12/8/2017

The following information is required in addition to the Land Use Permit Application.

**Cannabis Activities Proposed**

- |   |                                     |   |
|---|-------------------------------------|---|
| <input type="checkbox"/> Cultivation      | <input type="checkbox"/> Nursery    | <input type="checkbox"/> Manufacturing Facility |
| <input type="checkbox"/> Testing Facility | <input type="checkbox"/> Dispensary | <input type="checkbox"/> Distribution Facility  |

**For Cultivation and Nurseries ONLY**

Approved Cooperative/Collective Registration number. *Note: If you do not hold an approved cooperative/collective registration, you cannot apply for cultivation until 2019.*

Approved registration number: CCM2016-\_\_\_\_\_.

What is the applicant on the approved registration? *Note: The applicant name on the registration must match the applicant name on the land use permit.*

Name of applicant: \_\_\_\_\_

Are you planning on cultivating on the same site that a registration was approved for?

- ☐ Yes      ☐ No

What type of State cultivation license are you seeking?

- |                                      |  |                                 |                                  |
|--------------------------------------|--|---------------------------------|----------------------------------|
| <input type="checkbox"/> Type 1      | <input type="checkbox"/> Type 2        | <input type="checkbox"/> Type 3 | <input type="checkbox"/> Type 4  |
| <input type="checkbox"/> Type 5      | <input type="checkbox"/> Microbusiness | <input type="checkbox"/> Indoor | <input type="checkbox"/> Outdoor |
| <input type="checkbox"/> Mixed-light |  |                                 |                                  |

Designate the total square footage of your cultivation canopy area(s). This is not necessarily the maximum canopy size allowed by the tier of license for which you are applying, but the amount of canopy area you intend to produce. If you intend to have multiple canopy area locations, include only the total square footage of the total canopy.

Check one or more of the following that apply and attach a detailed diagram of your designated canopy area. Include specific dimensions, in feet and inches, in the diagram. If you have only a single canopy area, clearly indicate that. If you are designating multiple canopy areas, clearly identify the square footage and dimensions of each area and how it is separated from other canopy areas. Note that if you are designating multiple canopy areas you must separate each area by a physical boundary such as an interior wall. Vertically stacked canopy areas must be identified as such in the detailed diagram submitted by applicants.

I have designated the specific area and dimensions of my newly designated canopy area(s):

## CANNABIS APPLICATION SUPPLEMENT

- ☐ On my floor plan submitted with the application  
☐ On an additional document submitted with my application

Record your estimates of electrical usage in kilowatt-hours (kWh). To determine how many kWh a piece of equipment uses, take the following steps:

- Determine the wattage of the device by checking manufacturer specifications
- Multiply this number by the number of hours each month the device will be in use to determine watt-hours.
- Divide each month's watt-hours by 1,000 to determine kWh. Round to three decimal places.
- Repeat this for each piece of equipment and the total amounts for each month.
- Estimates should assume the business is in full production for each month.

Describe all sources of electrical power and the total annual kWh expected to be drawn from each. For example, if the operation uses on-site power generation from a source such as solar panels, document the amount of power you expect to use from that source in addition to any other sources.

Source or utility name	Expected kWh drawn annually
<b>Total Annual kWh:</b>	

Clearly identify the measurement unit you are using to estimate or report your water usage. If you are using multiple units, you may use additional columns to record that information. If you are using reclaimed water, identify that as a source. If you are utilizing more sources of water than may be included on this form, you may include that information on a separate page submitted with this application.

Estimate the total water used in the production of marijuana by month. If recording estimates for multiple sources, estimate these amounts separately.

Source			
Month and Year			
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
<b>Totals</b>			

To be provided with Wallace Water Demand Report forthcoming

## CANNABIS APPLICATION SUPPLEMENT

Do you plan on using pesticides?

☐ Yes      ☐ No

List of pesticides anticipated to be used: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### **For Manufacturing ONLY**

What type of State manufacturing license are you seeking? *Note: Volatile manufacturing is prohibited.*

☐ Type 6      ☐ Type 7      ☐ Type N      ☐ Type P  
☐ Microbusiness

What type of products do you plan on manufacturing?

☐ Oils      ☐ Edibles      ☐ Topicals      ☐ Other \_\_\_\_\_

Will the facility be utilizing a closed-loop extraction system?

☐ Yes      ☐ No

(If extracting) What types of extraction will you be performing?

☐ Butane      ☐ Propane      ☐ Hexane      ☐ Carbon Dioxide  
☐ Ethanol      ☐ Mechanical      ☐ None  
☐ Other \_\_\_\_\_

### **For Distribution ONLY**

What type of State distribution license are you seeking?

☐ Type 11      ☐ Type 11 – Transport Only

Will you be operating a storage-only business?

☐ Yes      ☐ No

How many vehicles do you anticipate transporting/distributing product?

☐ 1-5      ☐ 6-10      ☐ 11+      ☐ N/A Storage Only/Other

## CANNABIS APPLICATION SUPPLEMENT

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### **For Dispensaries ONLY**

What type of State dispensary license are you seeking? *Note: Dispensaries are not allowed to have storefronts open to the public.*

☐ Type 9 – non-storefront dispensary      ☐ Type 10      ☐ Microbusiness

Will you be delivering to other jurisdictions?

☐ Yes      ☐ No

How many vehicles do you anticipate delivering product?

☐ 1-5      ☐ 6-10      ☐ 11+      ☐ N/A Storage Only/Other

How many deliveries per day do you anticipate delivering product?

☐ <10      ☐ 11-50      ☐ 51-100      ☐ >100      ☐ N/A Storage Only/Other





**KHALLAGHI**  
**MINOR USE PERMIT- CANNABIS CULTIVATION**  
**PROJECT DESCRIPTION**

## **PROPOSAL**

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- ❖ Minor Use Permit:
  - Outdoor Cultivation (3ac) row crops
- ❖ Landowner: Charles Darway
- ❖ Applicant: David Flannery c/o John Khallaghi
- ❖ Agent: ANGLE Land Use Entitlement
- ❖ CCM 2016-00199

The following application is for a Minor Use Permit to for a 3 acre outdoor cannabis cultivation area with extended access from an existing farm/residential road.

## **SITE**

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- ❖ Address: None assigned (off Christensen Way) San Luis Obispo, CA 93401
- ❖ APN: 044-111-003
- ❖ Acreage: 38.11 acres
- ❖ Land Use Designation: Agriculture
- ❖ Airport Review Area

## **EXISTING USES**

The site is vacant and previously farmed. The site is accessed off of Orcutt Rd., off of Christensen Rd. which is a 30' wide access road, created to serve the agricultural subdivision CO 011-0098 with subsequent approved and installed grading and improvements (plans included in submittal).

Natural features that are onsite and will be preserved are the blue line creek that runs along the northern property line and the remainder of the parcel, which has prime soils for continued agricultural use.



## BACKGROUND

The existing CCM holder is David Flannery who has been operating with CCM2016-00199 in Santa Margarita. Current permit information listed below. The applicant's request is to continue to grow under the CCM and add additional cultivation areas under this land use permit request.

Name	County Reg No.	Current Grow Site Address	Plant Count	Area (sf)
David Flannery	CCM2016-00199	Santa Margarita (site) ; Mailing address: 1221 La Loma Drive Nipomo, CA 93444	900	3,500sf

## PROJECT DETAILS

According to County of SLO LUO Section 22.40, both outdoor/indoor cannabis cultivation activities are allowed on AG land subject to a Minor Use Permit and additional requirements set forth in that section. A minimum of 25 acres within the Agriculture land use category is required to host a maximum 3-acre outdoor cannabis cultivation site. Grading is not necessary since the site is completely flat. Only base will need to be laid down for roads and cannabis planted in ground.

All nursery, processing (curing and trimming) and manufacturing operations will occur off-site under separate cannabis activity permits. There is a small area that will be used to site immature plants identified on the site plan.

### Outdoor Cultivation

The applicant has a combined 3-acre total canopy for their outdoor cultivation operation. This will be a relocation from their existing CCM operation as stated above. Operations and expansion areas are proposed in order to comply with recent medical and adult cannabis use state and county regulations.

The site for cultivation is vacant, previously farmed and has access off of Christensen Way, which is a private road off of Orcutt Rd in San Luis Obispo. The site was recently subdivided with CO 011-0098. This parcel map also established a 30' private access road, Christensen Way which had a grading plan approved for improvements and has been finalized by County Public Works Department. This access also meets County sight distance standards so no further review is necessary.

Outdoor cultivation will occur as row crops. The area will have fencing compliant with state standards for security purposes. A security plan will follow this application.



## Site Context

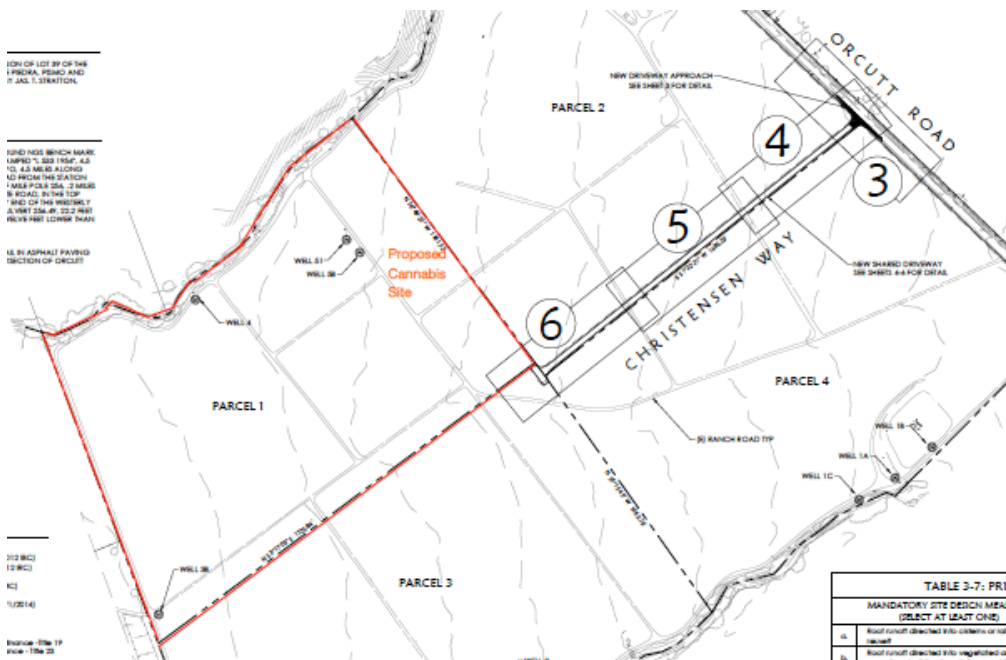
### Neighborhood Compatibility

This 38 acre parcel (+/-) is surrounded by rural residences, farmland and undeveloped properties. The nearest residence outside of ownership is over 1,000' from the cultivation operation. There aren't any schools; alcohol or drug facilities within 1,000' of this subject property or anywhere remotely close within vicinity. The nearest source is around 7,500 (+/-) feet away and is Los Ranchos Elementary School.



### Access

Access is taken off of Christensen Way off of Orcutt Rd in San Luis Obispo. The private road was installed and finalized by the County of SLO from an existing, gated driveway (see plan exhibits below). A 16' dg road will be provided onsite to access the outdoor cultivation and will be compliant with Cal Fire standards.





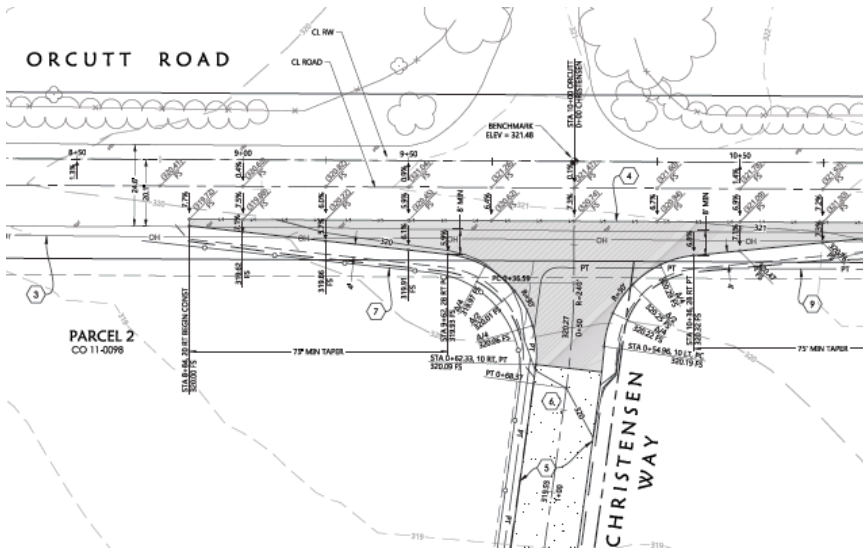


Photo: Christensen Way

## Parking

Parking will be provided onsite next to the cultivation area. According to County Planning, the required parking for outdoor cannabis activities is consistent with Nursery Specialties: 1 space per 1,000sf. This amount of parking is quite excessive since the operation only requires a few additional employees outside of harvest and up to 8 total during harvest. Realistically parking required is more indicative to a typical agricultural operation. A parking modification in accordance to LUO Chapter 22.18 is being requested based on the three required findings:

- a. *The characteristics of a use, the site, or its immediate vicinity do not necessitate the number of parking spaces, types of design, or improvements required by this Chapter;*
  - Since there are only up to 8 employees during a seasonal period and 3 additional to the employee onsite during the majority of the year, it is justified that the operation does not necessitate 131 parking spaces for 3 acres of cultivation. Providing a total of 131 parking spaces would require a significant amount of grading and could be a potential significant impact to the environment.
- b. *Reduced parking or an alternative to the parking design standards of this Chapter will be adequate to accommodate on the site all parking needs generated by the use, or that additional parking is necessary because of specific features of the use, site or site vicinity;*
  - There are two existing adequate locations that will accommodate the proposed cultivation growth. The proposal can accommodate eight employees next to the cultivation area and/or along Christensen Way near the turn around.
- c. *No traffic safety problems will result from the proposed modification of parking standards*
  - A parking reduction, per this request, would not create a traffic nor safety problem as all parking locations are currently onsite.

## Signage

No signage is proposed at this time.



## Fencing

Fencing will be compliant with state security standards.

## Setbacks

The outdoor cultivation is sited along the easterly property line. It is situated as such to preserve natural areas (blue line creek) and provide continued agricultural viability. There is a blue line creek along the northern property line. The cultivation area is beyond 50' from the creek's riparian area. The westerly setback and front setbacks are well beyond the required 300' setback (1,346' and 483'); however the rear and easterly setbacks are asking for setback modifications.

## Setback Modification Request

Per Section 22.40.050D.3.e setbacks can be modified through Minor Use Permit approval so long as the required finding can be made:

“(For setback modifications only.) Specific conditions of the site and/or vicinity make the required setback unnecessary or ineffective. Modification of the setback will not allow nuisance odor emissions from being detected offsite.”

The cultivation locations are pushed towards the easterly property line to allow the remainder of the site ability to continue agricultural production as down historically. It is also pushed closest to existing access to prevent further impacts to the site. The cultivation area is indicative of other nearby agriculture as these will be row crops planted in ground. The 16' access perimeter area is used as an access and buffer from the adjacent property. The riparian area to the rear of the site provides its own natural and preserved buffer.

Odor nuisance will not be an issue as a result of the setback modification because of closest property is undeveloped and has development constraints near the cultivation site. In conclusion, the setback modifications can support the required findings that they are necessary due to specific site conditions (preservation of biological and agricultural resources) and that the operation will not allow an odor nuisance.

### SETBACK MODIFICATION SUMMARY

Setback	Distance	Site Constraint
Side (East)	16'	Viable agriculture-prime soils
Back	50'	Blue line creek

## OPERATIONS

The following information discusses additional site's operational compliance with the requirements set forth in Section 22.40.040.

### Employee Safety and Training Plan

The applicant has drafted an employee and safety training plan OSHA. Part of their role is to properly ensure the safety of the site and their employees. The Employee Safety and Training Plan is enclosed.

## Security

Site security will be provided by a state approved system. High definition cameras will be installed at high points overseeing the cultivation areas and access. Public access is restricted. A site security plan will be provided during the process review to ensure state compliance.

## Fire Safety

The site will comply with Cal Fire's recommendations set forth in the referral process. Several water tanks are proposed amongst the cultivation area. The tank will have a 4" fire hookup that is accessible by the access road. The tank will also be used as a source of irrigation water for the grow site. Accordingly, the tank will have a booster pump and a nutrient injection system. Access to the grow site will be compliant with Cal Fire standards for width, distance to cultivation area and proper turn around.

## Odor Management

The applicant is working on an odor management system and will provide details during the review process.

## Pesticide and Fertilizer Application

A list of pesticides and fertilizer products are included as an attachment to this project description. All products are compliance with the Department of Pesticide Regulation (DPR) and the County of San Luis Obispo Agricultural Commissioner (CAC). The Department of Pesticide Regulation (DPR) has introduced regulation on the phasing out of certain pesticides. Products used on this site will be compliant with all phases and regulations set forth by the DPR.

## Waste Management Plan

Waste will be minimal, and materials composted. Unused plant materials and soils will be reused within the site area.

## Environmental

---

### Traffic

The proposed operation is indicative of other agricultural operations in the county. Working hours have been designed for the safety of the employees, and the avoidance of peak traffic hours. There are currently two employees operating the existing CCM cultivation, one of which lives onsite. During harvest there are 4 employees onsite (baseline is 4 employees). Another four will be needed at harvest. At maximum there will be a total of 8 total workers during harvest. The amount of traffic is very low and is indicative of any other agriculture operation (vineyards, vegetables). There isn't a public traffic component and sight distance is met and reviewed with other issued County residential permits and CCM.

<b>Trip Description</b>	<b>Employees</b>	<b>Total-Maximum onsite during Harvest</b>
Full time with expansion	2	4
Harvest with expansion	2	
Total Full time at build out		4
Total During Harvest		8

## Air Quality

### *Dust Control*

The existing main access up to the cultivation is maintained with appropriate dust control measures as conditioned by its permit. The new access, which will branch off of Christensen Way will include proper mitigation measures to suppress any dust. The site will continue to implement dust control measures in compliance with the Air Pollution Control District's CEQA Handbook Section 3.6.3.

## Water

### *Water Management Plan*

Proposed water supply, use and conservation measures are provided in the project's water management plan prepared by Wallace Group. Wallace Group based their cultivation water use rates based on the Central Coast Regional Water Quality Control Board's cannabis development teams estimates of 0.03 gal/sf canopy/day for outdoor cannabis plants and an application rate of 0.1 gal/sf of canopy for indoor purposes. The project is estimated to yield 1.80AFY. A full water demand summary will be provided from Wallace Group and is forthcoming.

Table 1: Annual Water Demand Estimate			
Use	Rate	Gross Demand (gallons/ year)	Gross Demand (AFY)
Outdoor Cultivation: 130,680 sf	130,680 square feet canopy area x 0.03 gal/sf/day x 150 days	588,060	1.80

## Biological

A biological assessment is forthcoming. The riparian area is preserved and very minimal grading if any at all will be required to lay base on the flat topography for access and utilities.

## Airport Review Area Compliance

The Inland Use Ordinance (Title 22) was amended to recognize cannabis uses as allowed uses within certain zoning. Cannabis uses are allowed in AG and is noted and recognized as an allowed use with Title 22 and is found as a consistent for applicability. The Title 22 recognizes cannabis as new allowed uses; however this project will be required, as all discretionary permits, to be reviewed by the Airport Land Use Committee.

Density proposed is about 10 persons per 3 acres, which is well under the allowed density standard in Airport Safety Area S-1b. No structures are proposed. Cannabis cultivation is similar to agriculture uses in regards to noise sensitivity, density and safety. The ALUP will review each project to check for consistency in regards to project specific compatibility. Based on the use, low density and lack of structures, this proposal is found compliant with those standards outlined in the Airport Land Use Plan.



## Parcel Information

**APN:** 044-111-003

**Assessee:**

**Care Of:**

**Address:**

**Description:**

**Site Address:**

**Tax Rate Area Code:**

**Estimated Acres:** 38.16

**Community Code:** SCSLO

**Supervisor District:** Supdist 3

**Avg Percent Slope:** 2



Selected Parcel

## Land Use Information

### Land Uses

### Combining Designations

AG	Flood Hazard Area
	Airport Review Area



Parcel location within San Luis Obispo County

## Permit Information

Permit	Description	Application Date
DRC2018-00170	Land Use	9/14/2018 1:48:18 PM

## Clerk Recorder Documents

Clerk Document	Date	Document Type
2018-I-000905	04/03/2018	





# Interactive Data Viewer



## Legend

- SLO County Parcels
- Roads**
  - CalTrans
  - Maintained by SLO CO
  - Private Maintenance
  - Federal or State Maintenance

-1,504.66      0      752.33      1,504.66 Feet      1: 9,028



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 © County of San Luis Obispo Planning and Building Department

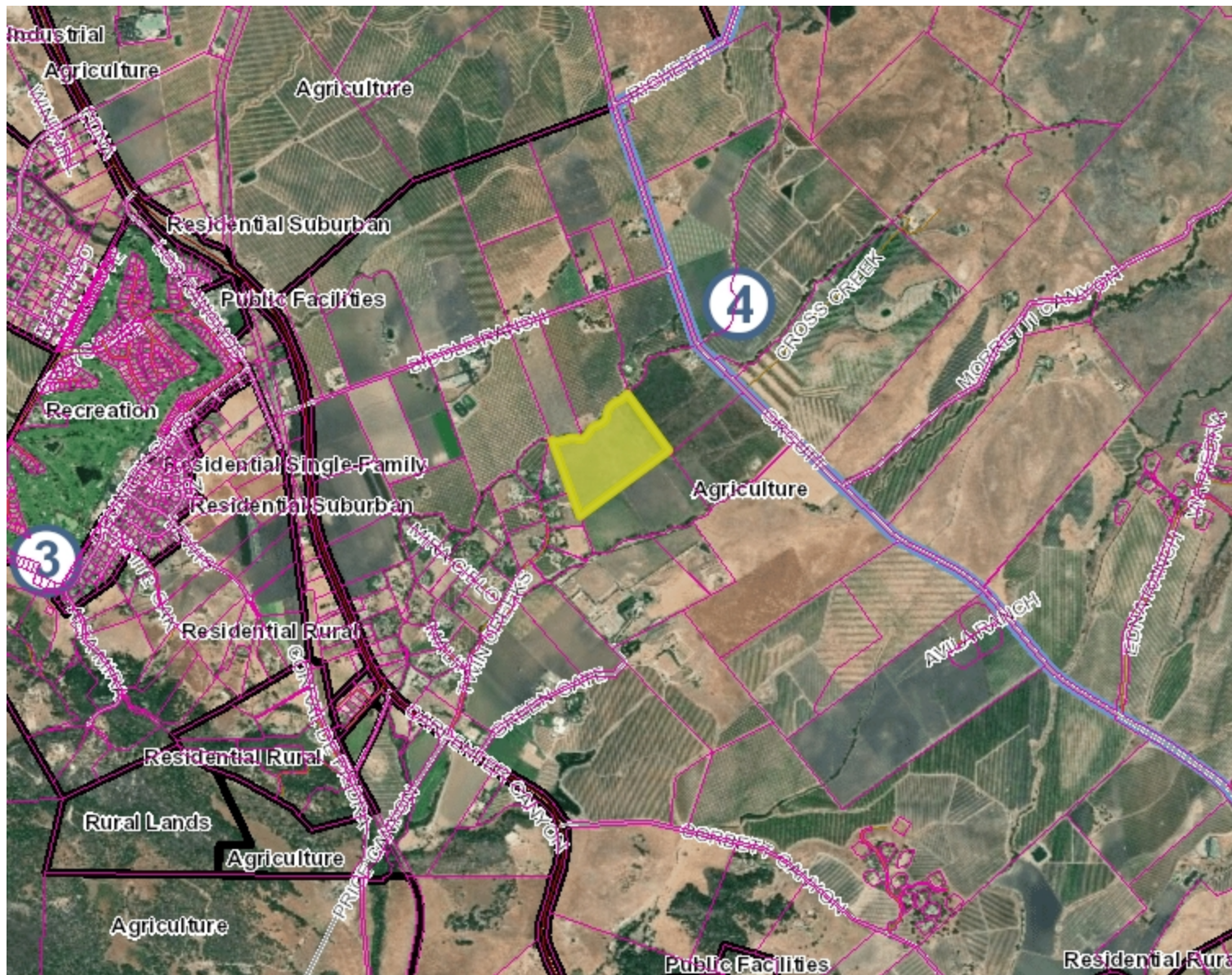
The County of San Luis Obispo does not assume liability for any damages  
 caused by errors or omissions in the data and makes no warranty of any kind,  
 express or implied, that these data are accurate and reliable.

Map for Reference Purposes Only





# Interactive Data Viewer



## Legend

- SLO County Parcels
- Roads**
  - CalTrans
  - Maintained by SLO CO
  - Private Maintenance
  - Federal or State Maintenance
- Community Advisory Groups**
  - Community Advisory Group Boundary
  - Cayucos Citizens Advisory Council Subarea
  - Creston Advisory Body Sub Areas
- Supervisor Districts
- Land Use Outlines

-6,018.65      0      3,009.33      6,018.65 Feet      1: 36,112

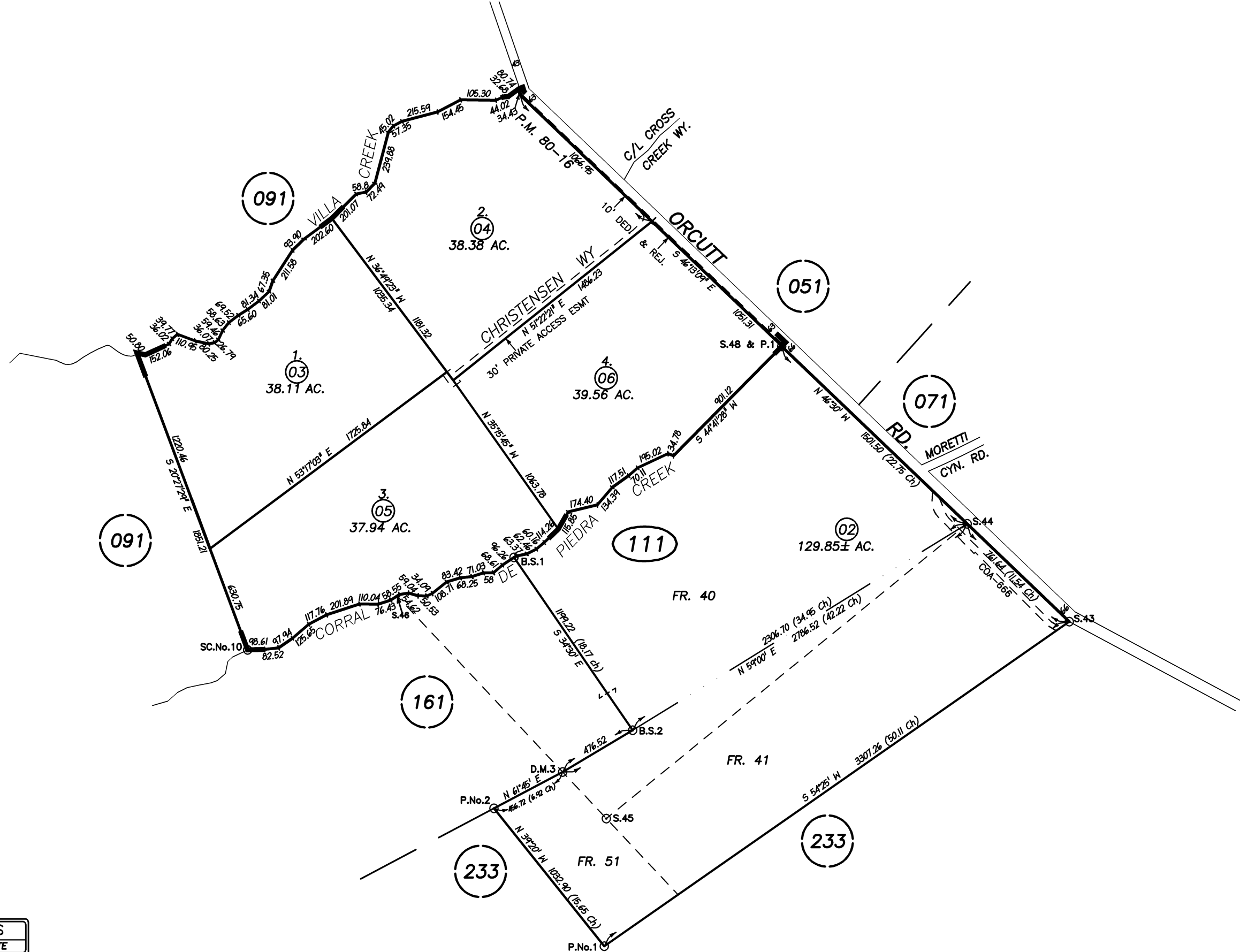
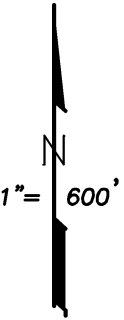
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Map for Reference Purposes Only





REVISIONS	
I.S.	DATE
18-147	03-14-18

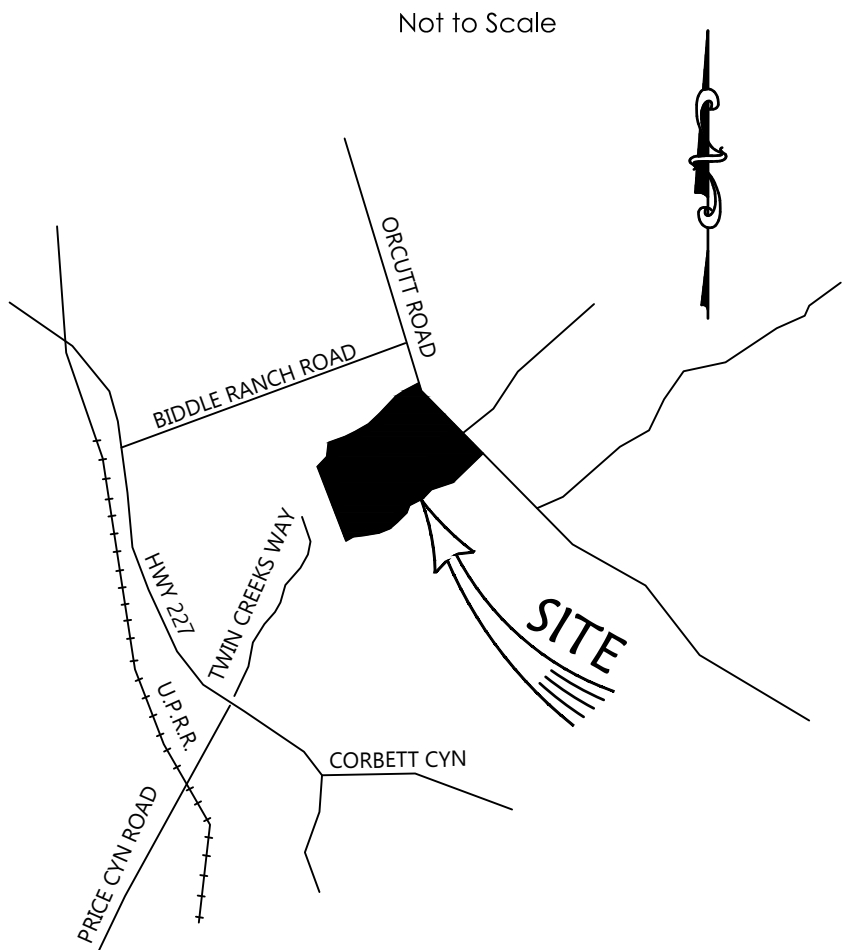


JC  
03-14-17  
THIS MAP IS PREPARED FOR  
ASSESSMENT PURPOSES ONLY.

COASTAL AQUEDUCT, REACH V A, DRAWING NO. S-9A-92  
RHO CORRAL DE PIEDRA, PISMO & BOLSA DE CHEMISAL, R.M. Bk. A , Pg. 65



VICINITY MAP



LEGAL DESCRIPTION

PARCEL MAP CO 11-0098 BEING A SUBDIVISION OF LOT 39 OF THE SUBDIVISIONS OF THE RANCHOS CORRAL DE PIEDRA, PISMO AND BOLSA DE CHAMISAL AS SHOWN ON MAP BY JAS. T. STRATTON, 1873, IN BOOK A OF MAPS AT PAGE 65

BENCHMARK

THE BENCH MARK FOR THIS PROJECT IS A FOUND NGS BENCH MARK FV0692, BEING A STANDARD BRASS DISK STAMPED "L 533 1956", 4.5 MILES SOUTHEASTERLY FROM SAN LUIS OBISPO, 4.5 MILES ALONG THE SOUTHERN PACIFIC COMPANY RAILROAD FROM THE STATION AT SAN LUIS OBISPO, 5 MILES SOUTHERLY OF MILE POLE 256, 2 MILES NORTHERLY OF THE CROSSING OVER PRIVATE ROAD, IN THE TOP AND 1 FOOT SOUTHERLY OF THE NORTHERLY END OF THE WESTERLY CONCRETE HEAD WALL OF LARGE ARCH CULVERT 256.49, 22.2 FEET WESTERLY OF THE WEST RAIL, AND ABOUT TWELVE FEET LOWER THAN TRACK.  
ELEVATION = 231.41' NAVD 88

LOCAL BENCH MARK IS A SET MAGNETIC NAIL IN ASPHALT PAVING OF ORCUTT ROAD, AT THE CENTERLINE INTERSECTION OF ORCUTT ROAD AND CHRISTENSEN WAY, AS SHOWN.  
ELEVATION = 321.48' NAVD 88

OWNER

CHRISTENSEN FAMILY TRUST

SITE ADDRESS:  
6255 ORCUTT ROAD

SURVEYOR

Michael B. Stanton, PLS 5702  
3563 Sueldo St. Unit Q  
San Luis Obispo, CA 93401  
(805) 594-1960

APPLICABLE CODES

- 2013 Building Standards Codes
  - California Building Code, Vols 1 & 2 (2012 IBC)
  - California Residential Code (New) (2012 IRC)
  - California Plumbing Code (2012 UPC)
  - California Mechanical Code (2012 IMC)
  - California Electrical Code (2011 NEC)
  - California Energy Code (v.2008 until 7/1/2014)
  - California Green Building Code
  - California Fire Code (2012 IFC)
  - California Reference Standards Code
- County Building and Construction Ordinance - Title 19
- County Coastal Zone Land Use Ordinance - Title 23
- County Fire Code Ordinance - Title 16
- County Land Use Ordinance - Title 22

PROJECT STATISTICS

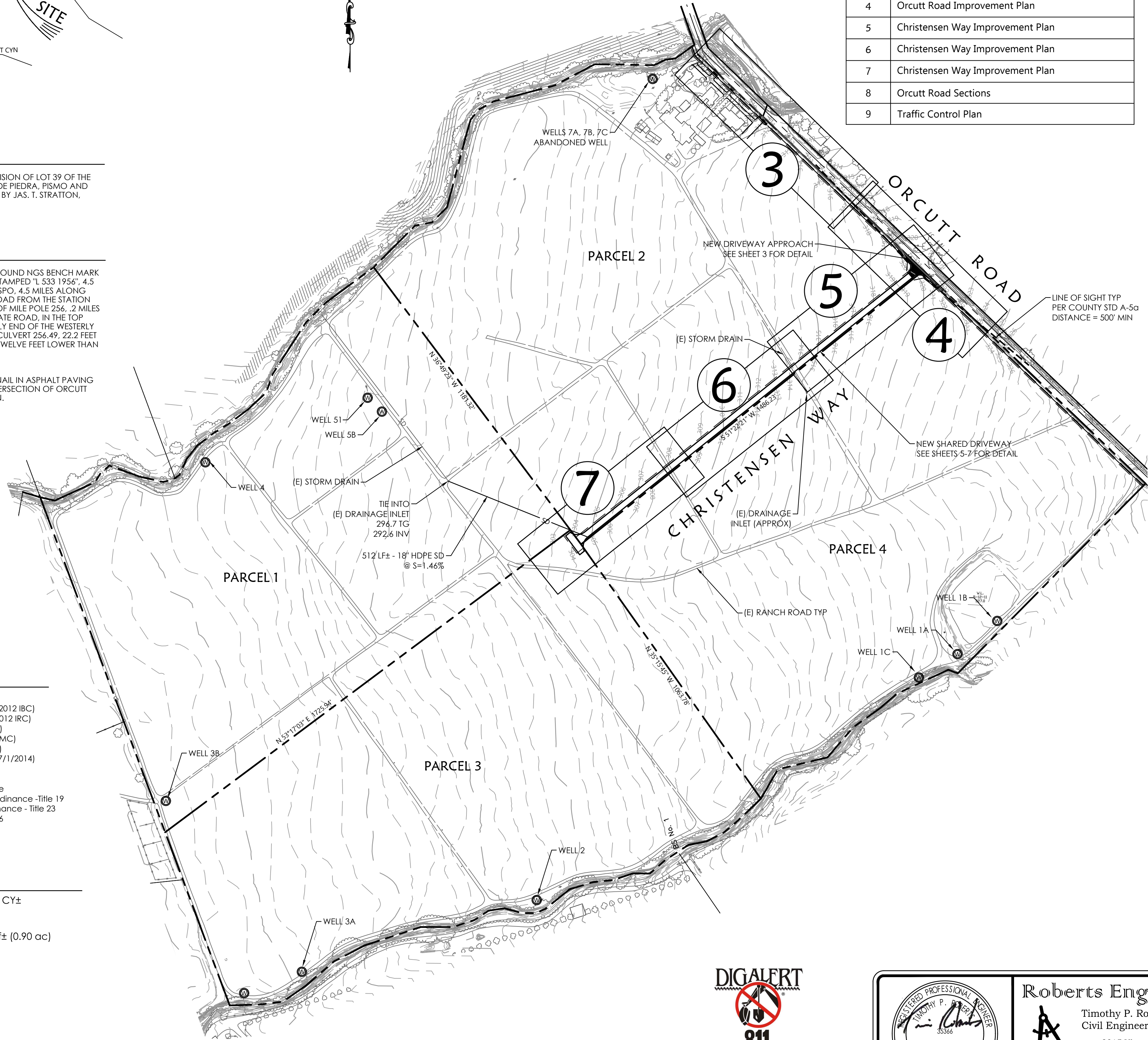
Cut 445 CY±, Fill 320 CY±, Total 765 CY±  
Max. cut = 2 ft, Max. fill = 1 ft  
Average slope < 10 %  
Area of site disturbance = 39,000 sf± (0.90 ac)  
Impervious area = 2770 sf±

Christensen - Orcutt Road - Parcel Map CO 11-0098 - Grading, Drainage & Erosion Control Plan

PROJECT DESCRIPTION: Construct driveway approach, and common driveway to serve 4 parcels.

SITE MAP

SCALE: 1" = 200'



Sheet Index	
Sheet	Description
1	Title Sheet
2	Notes & Details
3	Orcutt Road Improvement Plan
4	Orcutt Road Improvement Plan
5	Christensen Way Improvement Plan
6	Christensen Way Improvement Plan
7	Christensen Way Improvement Plan
8	Orcutt Road Sections
9	Traffic Control Plan

GENERAL NOTES

- No construction shall be started without plans approved by the County Department of Public Works. The County Department of Public Works shall be notified at least 24 hours prior to starting construction and of the time location of the preconstruction conference. Any construction done without approved plans or prior notification to the County Department of Public Works will be rejected and will be at the contractor's and/or owner's risk.
- For any construction performed that is not in compliance with plans or permits approved for the project the County Department of Public Works may revoke all active permits and recommend that County Code Enforcement provide a written notice or stop work order in accordance with Section 22.52.140 [23.10] of the Land Use Ordinance.
- All construction work and installations shall conform to the most current County of San Luis Obispo Public Improvement Standards and all work shall be subject to the approval of the County Department of Public Works.
- The project owner and contractor shall be responsible for providing and/or maintaining all weather access at all times to existing properties located in the vicinity of work. Additionally, they shall be responsible for maintaining all existing services, including utility, garbage collection, mail distribution, etc. to all existing properties located in the vicinity of work.
- On-site hazards to public safety shall be shielded by construction fencing. Fencing shall be maintained by the project owner and contractor until such time that the project is completed and occupied, potential hazards have been mitigated, or alternative protective measures have been installed.
- Soils tests shall be done in accordance with the County Public Improvement Standards, Section 3.2.3. All tests must be made within 15 days prior to the placing of material. The test results shall clearly indicate the location and source of the material.
- Roadway compaction tests shall be made on subgrade material, aggregate base material, and material as specified by the Engineer. Said tests shall be made prior to the placement of the next material lift.
- Subgrade material shall be compacted to a relative compaction of 95% in the zone between finished subgrade elevation and a minimum of one foot below. All material in fill sections below the zone mentioned above shall be compacted to 90% relative compaction.
- A registered civil engineer shall certify that the improvements when completed are in accordance with the plans prior to the request for a final inspection. Record drawings shall be prepared after construction is completed. The civil engineer certifying the improvements and preparing as-built plans may be present when the final inspection is made by the County.
- An Engineer of Work Agreement and an Engineer Checking and Inspection Agreement are required prior to the start of construction. The County Department of Public Works shall be notified in writing of any changes to the Engineer of Work Agreement. Construction shall not proceed without an Engineer of Work.
- All utility companies shall be notified prior to the start of construction.
- A County Encroachment Permit is required for all work done within the County right-of-way. The Encroachment Permit may establish additional utility and traffic control requirements.
- The County Inspector acting on behalf of the County Department of Public Works may require revisions in the plans to solve unforeseen problems that may arise in the field. All revisions shall be subject to the approval of the developer's Engineer of Work.
- The structural section shall be based on soils tests taken at the time of construction and using a Traffic Index of 7.0 for Orcutt Road. The structural section shall be approved by the County Building Department prior to road construction.
- Hydroseeding or other permanent erosion control shall be placed and established with 90% coverage on all disturbed surfaces (other than paved or gravel surfaces) prior to the final inspection.
- For any public improvements to be maintained by the County, if environmental permits from the U.S. Army Corps of Engineers, the California Regional Water Quality Control Board/State Water Resources Control Board, or the California Department of Fish & Game are required, the developer shall:
  - submit a copy of all such completed permits to the County Department of Public Works OR,
  - document that the regulatory agencies determined that said permit is not required; prior to acceptance of the completed improvements for County maintenance and release of improvement security. Any mitigation monitoring required by said permits will remain the responsibility of the developer.

GRADING NOTES

- All grading construction shall conform to the applicable codes as noted under "Applicable Codes" heading.
- The developer shall be responsible for scheduling a pre-construction meeting with the County and other affected agencies. The contractor shall notify the County Building Department at least 24 hours prior to any work being performed, and arrange for inspection.
- Grading shall comply with the recommendations of the preliminary soils report by PENDING, date PENDING filed with the County of San Luis Obispo.
- Estimated earth quantities:  
Cut: 445 CY±      Fill: 320 CY±  
  
Note: exact shrinkage, consolidation, and subsidence factors and losses due to clearing operations are not included. Estimated earthwork quantities are based upon the difference between existing ground surface and proposed finish grades, or sub grades as shown on the plan, and should vary according to these factors. The contractor shall be responsible for site inspection and quantity take off, and shall bid accordingly.
- Soils engineer to determine the soil is suitable to support the intended structure. Such report including progress and/or compaction reports shall be submitted to the field inspector prior to final inspection when a soil report is obtained. The County policy regarding pad certification shall be followed. When applicable the engineer shall observe the grading operation(s) and provide the field inspector with required compaction reports and a report stating that the grading performed has been observed and is in conformance with the UBC and County ordinances.
- No cut or fill slopes will be constructed steeper than two horizontal to one vertical (2:1).
- Dust control is to be maintained at all times during construction.
- Areas of fill shall be scarified, benched and recompacted prior to replacing fill and observed by a soil or civil engineer.
- Fill material will be recompacted to 90% of maximum density.
- Remove any deleterious material encountered before placing fill.
- All disturbed areas shall be hydro seeded or planted with approved erosion control vegetation as soon as practical after construction is complete.
- Minimum setback to creeks and bluffs shall be maintained. Minimum setback of two feet from all property lines will be maintained for all grading.
- Minimum slope away from buildings shall be 5% for the first ten feet around perimeter.
- The contractor shall be responsible for the protection of all existing survey markers during construction. All such monuments or markers disturbed shall be reset at the contractor's expense.
- All contractors and subcontractors working within the right of way shall have an appropriate contractor's license, a local business license, and shall obtain an encroachment permit.
- Engineering reports for cut or fill slope steeper than 2:1 shall be submitted to the field inspector.

UTILITY NOTES / SIGNATURES

- An effort has been made to define the location of underground facilities within the job site. However, all existing utility and other underground structures may not be shown on this plan and their location where shown is approximate. The construction contractor agrees that he shall assume sole and complete responsibility for locating or having located all underground utilities and other facilities and for protecting them during construction.
- All utility companies must be notified prior to the start of construction. The construction contractor shall contact underground service alert (USA) at 811 two to ten days prior to the start of excavation and shall verify the location of any known utilities and whether or not a representative of each company will be present during excavation.

PG&E	DATE
CAL FIRE	DATE
SOUTHERN CALIFORNIA GAS COMPANY	DATE
CHARTER COMMUNICATIONS	DATE
AT&T	DATE

Roberts Engineering, Inc.

Christensen - Orcutt Road - Parcel Map CO 11-0098

Title Sheet

Design/Drawn TR / JTM	County Plan Checker .	Approved for County Requirements Development Services Engineer Date
Job # 15-028	County W.O. No. .	1/11/2016 Date
California Coordinates (CCS83, Zone 5) N 2274690 E 5787090	County Road # 2039	1 of 9



Roberts Engineering

Timothy P. Roberts  
Civil Engineer - RCE 35366

2015 Vista de la Vina  
Templeton, CA 93465  
Phone (805) 239-0664  
Fax (805) 238-6148  
Email robertseng@charter.net

Record Drawings

Timothy P. Roberts, RCE 35366 exp 09/30/15	Date
Revisions This Sheet:	
1	
2	
3	
4	
5	
6	



## EROSION CONTROL NOTES

- Erosion control measures for wind, water, material stockpiles, and tracking shall be implemented on all projects at all times and shall include source control, including protection of stockpiles, protection of slopes, protection of all disturbed areas, protection of accesses, and perimeter containment measures. Erosion control shall be placed prior to the commencement of grading and site disturbance activities unless the Building Department determines temporary measures to be unnecessary based upon location, site characteristics or time of year. The intent of erosion control measures shall be to keep all generated sediments from entering a swale, drainage way, watercourse, atmosphere, or migrate onto adjacent properties or onto the public right-of-way.
- Site inspections and appropriate maintenance of all erosion control measures/devices shall be conducted and documented at all times during construction and especially prior to, during, and after rain events.
- The Developer shall be responsible for the placement and maintenance of all erosion control measures/devices as specified by the approved plan until such time that the project is accepted as complete by the Building Department or until released from the Conditions of Approval of their General Permit. Erosion control measures/devices may be relocated, deleted or additional measures/devices may be required depending on the actual conditions encountered during construction. Additional erosion control measures/devices shall be placed at the discretion of the Engineer of Work, County Inspector, SWPPP Monitor, or RWQCB Inspector. Guidelines for determining appropriate erosion control devices shall be included in the plans with additional measures/devices noted from the appendix of the Public Improvement Standards.
- Wet weather erosion control measures/devices shall be available, installed, and/or applied between October 15 and April 15 or anytime when the rain probability exceeds 30%.
- The Contractor, Developer, and Engineer of Work shall be responsible to review the project site prior to October 15 (rainy season) and to coordinate an implementation plan for wet weather erosion control devices. A locally based standby crew for emergency work shall be available at all times during the rainy season (October 15 through April 15). Necessary materials shall be available and stock piled at convenient locations to facilitate rapid construction or maintenance of temporary devices when rain is imminent.
- In the event of a failure, the Developer and/or his representative shall be responsible for cleanup and all associated costs or damage. In the event that damage occurs within the right-of-way and the County is required to perform cleanup, the owner shall be responsible for County reimbursement of all associated costs or damage.
- Permanent erosion control shall be placed and established with 90% coverage on all disturbed surfaces other than paved or gravel surfaces, prior to final inspection. Permanent erosion control shall be fully established prior to final acceptance. Temporary erosion control measures shall remain in place until permanent measures are established.
- The County Air Pollution Control District (APCD) may have additional project specific erosion control requirements. The Contractor, Developer, and Engineer of Work shall be responsible for maintaining self-regulation of these requirements.
- All projects involving site disturbance of one acre or greater shall comply with the requirements of the National Pollutant Discharge Elimination System (NPDES). The Developer shall submit a Notice of Intent (NOI) to comply with the General Permit for Construction Activity with the Regional Water Quality Control Board (RWQCB). The Developer shall provide the County with the Waste Discharge Identification Number (WDID #) or with verification that an exemption has been granted by RWQCB.

WDID No.: n/a less than one acre site disturbance

Person to contact 24 hours a day in the event there is an erosion control/sedimentation problem (Storm Water Compliance Officer):  
Name:  
Local Phone: (805)

## SPECIAL INSPECTIONS

- All construction & inspections shall conform to 2013 California Building Code (CBC) Chapter 17.
- Special inspection requirement are required for this project, the owner or registered design professional in responsible charge acting as the owner's agent shall employ one or more special inspectors to provide inspections during construction on all tasks identified below.
- Special inspectors shall be a qualified person who shall demonstrate competence, to the satisfaction of the County Building Department. Names and qualifications of special inspector(s) shall be submitted to the County Building Department for approval.
- Each contractor responsible for the construction of components listed in the special inspections shall submit a written statement of responsibility to the County Building Department and the owner prior to the commencement of work. The statement shall contain the items listed in CBC 1706.1.
- A final report prepared by a soil or civil engineer shall be submitted to the field inspector stating the work performed is in substantial conformance with the approved plans, applicable codes, and is found to be suitable to support the intended structure. Such report shall include any field progress reports, compaction data etc.

### Section 1705, Statement of Special Inspections:

- 1705.1 General. Where special inspection or testing is required by Section 1704, 1707 or 1708, the registered design professional in responsible charge shall prepare a statement of special inspections in accordance with Section 1705 for submittal by the permit application (see Section 1704.1.1).
- 1705.2 Content of statement of special inspections. The statement of special inspections shall identify the following:
  - The materials, systems, components and work required to have special inspection or testing by the building official or by the registered design professional responsible for each portion of the work.
  - The type and extent of each special inspection.
  - The type and extent of each test.
  - Additional requirements for special inspection or testing for seismic or wind resistance as specified in Section 1705.3, 1705.4, 1707 or 1708.
  - For each type of special inspection, identification as to whether it will be continuous special inspection or periodic special inspection.

### Section (table) 1704.7, Required Verification and Inspection of Soils.

- Verify materials below footings are adequate to achieve the design bearing capacity shall be performed periodically during task.
- Verify excavations are extended to proper depth and have reached proper material, shall be performed periodically during task.
- Perform classification and testing of controlled fill materials, shall be performed periodically during task.
- Verify use of proper materials, densities and lift thicknesses during placement and compaction of controlled fill, shall be performed continuously during task.
- Prior to placement of controlled fill, observe subgrade and verify that site had been prepared properly, shall be performed periodically during task.

### Observation & Testing Program.

The project soils engineer shall perform the inspection & testing for the following tasks:

- Final plans
- Stripping and clearing of vegetation
- Recompaction of scarification soils
- Fill placement and compaction
- Over excavating
- Verification of soils type & depth
- Final report

The soil engineer of work shall be PENDING phone

Soils report # PENDING

The project engineer of work shall perform the inspection for the following tasks:

- Rough grading & site preparation
- Final grading inspection prior to final County inspection

The project engineer of work shall be Tim Roberts of Roberts Engineering, Inc., RCE 35366, 2015 Vista de la Vina, Templeton, CA 93465, phone (805) 239-0664

The Engineer of work shall state in writing the work is in substantial conformance with the approved plans.

The person responsible for BMP inspection is , phone (805) .

## TREE PROTECTION NOTES

- No oak tree shall be removed without prior County approval.
- Trees within 20 feet of grading or trenching shall be protected by placement of protective fencing as indicated.
- Protective fencing shall be four feet high chain link or safety fence, and shall be placed at the dripline unless otherwise indicated.
- Trenching and excavation within tree driplines shall be hand dug or bored to minimize root disturbance. Any root encountered 1" diameter or greater, shall be hand cut and appropriately treated.
- Pruning of lower limbs in the construction area shall occur prior to construction activities to minimize damage.

## EROSION CONTROL & INSPECTIONS

Erosion and Sediment Control Best Management Practices must be in place and functional PRIOR to the first inspection. No inspections can be performed if they are not in place or have failed to provide erosion control. Failure to maintain erosion control will cause inspections to be delayed until erosion control measures are functional.

## DUST CONTROL MEASURES

- Reduce the amount of the disturbed area where possible.
- Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible.

- All dirt stock-pile areas should be sprayed daily as needed.

- Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible following completion of any soil disturbing activities.

- Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast-germinating native grass seed and watered until vegetation is established.

- All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD.

- All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used.

- Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site.

- All trucks hauling dirt, sand, or other loose materials are to be covered or should maintain at least two feet of free board (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114.

- Install wheel washers where vehicles enter and exist unpaved roads onto streets, or wash off trucks and equipment leaving the site.

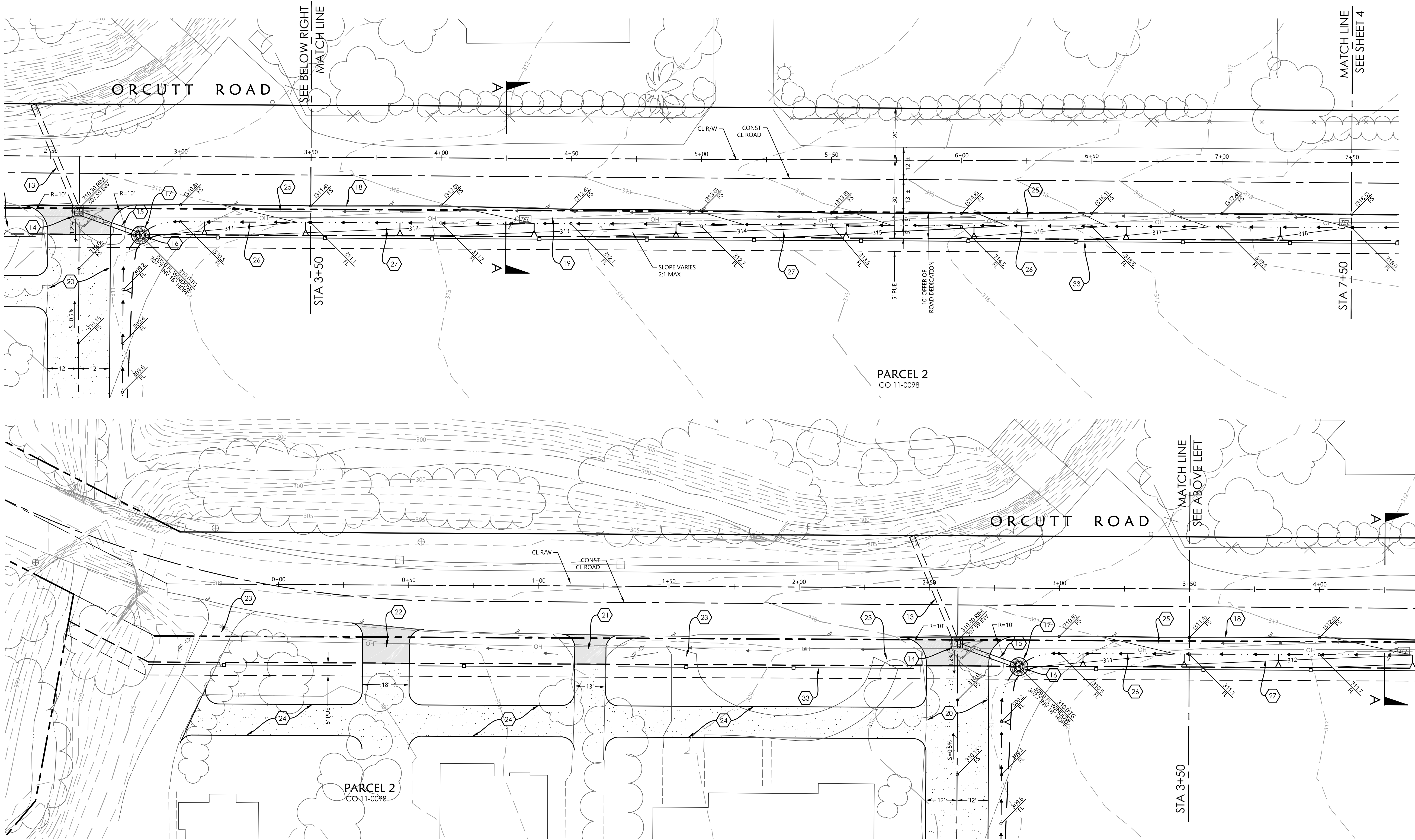
- Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible.

- In addition, the contractor or builder should designate a person or persons to monitor the dust control program and to order increase watering, as necessary, to prevent transport of dust off site. Their duties shall include holidays and weekend periods when work may not be in progress. The name & telephone number of such persons shall be provided to the APCD prior to land use clearance for map recordation and finished grading of the area.

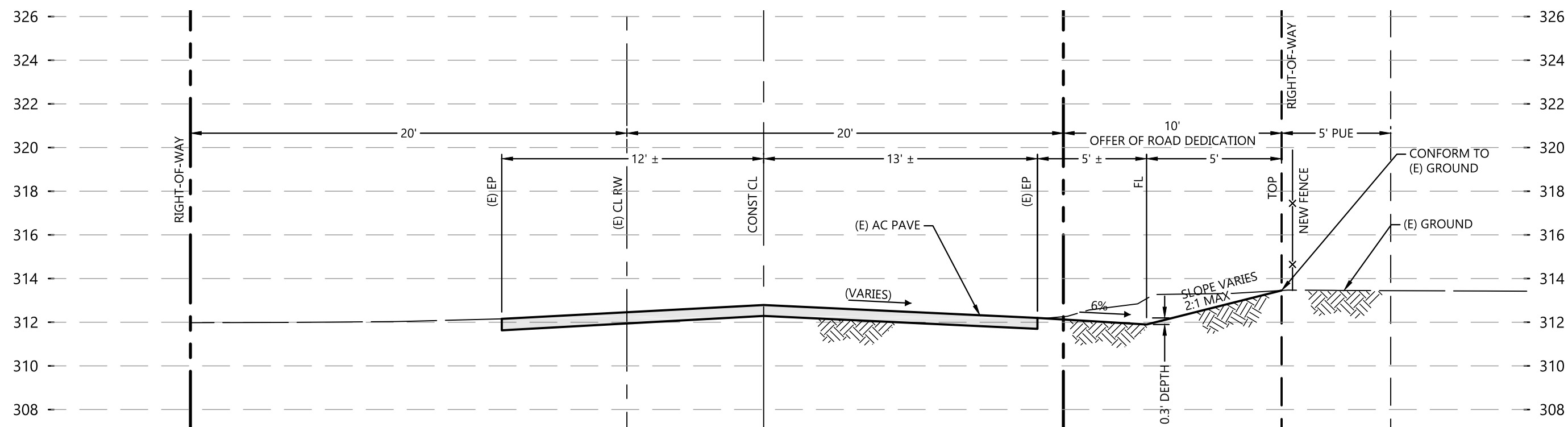
- Prior to any grading activities at the site, the project proponent shall ensure that a geologic evaluation is conducted to determine if NOA (Naturally Occurring Asbestos) is present within the area that will be disturbed.

Description		Revisions		Description		Revisions	
Approved	Date	Approved	Date	Approved	Date	Approved	Date
Description				Description			
SIGHT DISTANCE LINES				SIGHT DISTANCE LINES			
SIGHT DISTANCE CHANGED TO CALTRANS STD				SIGHT DISTANCE CHANGED TO CALTRANS STD			
DESIGN SPEED (MPH)				DESIGN SPEED (MPH)			
125				40			
150				45			
200				50			
250				55			
300				60			
350				65			
400				70			
450				75			
500				80			
550				85			
600				90			
650				95			
700				100			
750				105			
800				110			
850				115			
900				120			
950				125			
1000				130			
1050				135			
1100				140			
1150				145			
1200				150			
1250				155			
1300				160			
1350				165			
1400				170			
1450				175			
1500				180			
1550				185			
1600				190			
1650				195			
1700				200			
1750				205			
1800				210			
1850				215			
1900				220			
1950				225			
2000				230			
2050				235			
2100				240			
2150				245			
2200				250			
2250				255			
2300				260			
2350				265			
2400				270			
2450				275			
2500				280			
2550				285			
2600				290			
2650				295			
2700				300			
2750				305			
2800				310			
2850				315			
2900				320			
2950				325			
3000				330			
3050				335			
3100				340			
3150				345			
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7750				805			
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15000				1530			
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ORCUTT ROAD PLAN



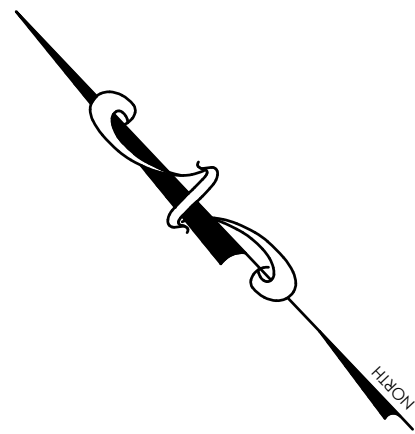
TYPICAL SECTION A-A

SHOULDER RE-GRADING STA 2+75 - 8+75 ±  
NOT TO SCALE

CONSTRUCTION NOTES

- Existing paved road.
- Existing joint pole, protect in place.
- Existing overhead power lines to remain.
- Saw cut, demo and remove asphalt pavement. Construct Public Road Intersection per California Highway Design Manual, Chapter 400, Figure 405.7. See detail Sheet 4.
- Construct 6' all-weather Class II aggregate base driveway per typical section.
- Construct temporary construction entrance per CASQA detail sheet 2.
- Install biodegradable fiber rolls at toe of slope and as indicated. See CASQA detail sheet 2.
- Construct 6' all-weather Class II aggregate base driveway apron.
- Install electric and telephone lines in joint trench per PG&E Joint Trench Configurations and Occupancy Guide, see detail sheet 2.
- Stub out electric and telephone services for future connection.
- Existing water well.
- Construct 6' all-weather Class II aggregate base fire department turn-around per CalFire requirements.
- Existing 24" CMP culvert to be retained. Cleanout and restore flow.
- Install 36" drainage inlet with traffic rated grate, Mid State Concrete predicts or equal.
- Install 22 LF - 18" HDPE pipe at S = 1% min.
- Install 36" County Standard D-2a rural catch basin.
- Install rock rip rap slope protection surrounding inlet.
- Existing edge of pavement.
- Regrade shoulder in conformance with Section A-A this sheet.
- Construct 24' wide Rural Residential driveway per County Std B-1a.
- Existing 13' AC driveway to remain.
- Construct 18' wide Rural Residential driveway per County Std B-1a.
- Demo and remove existing drive approach.
- Construct onsite driveway tie-ins per owner directions.
- Existing earth drainage swale.
- Proposed swale flow line.
- Track straw into or hydro seed all newly graded slopes with County approved native erosion control seed mix.
- Construct 4' wide x 12' deep earth swale.
- Install 24" concrete drainage inlet box, Mid State Concrete Products or equal.
- Install 512 LF± - 18" HDPE storm drain @ S=1.46%. Tie into existing drainage inlet.
- Existing storm drain.
- Existing drainage inlet.
- Construct fence.
- Install (4) - US Mail boxes. Placement and type shall conform to Roadside Design Guide.

20 10 0 20 40  
SCALE: 1" = 20'



Roberts Engineering, Inc.

Christensen - Orcutt Road - Parcel Map CO 11-0098

Orcutt Road Improvement Plan

Design/Drawn TR / JTM	County Plan Checker .	Approved for County Requirements Development Services Engineer Date 1/11/2016
Job # 15-028	County W.O. No. .	Timothy P. Roberts, RCE 35366 exp 09/30/15 Date
California Coordinates (CCS83, Zone 5) N 2274690 E 5787090	County Road # 2039	3 of 9



Roberts Engineering

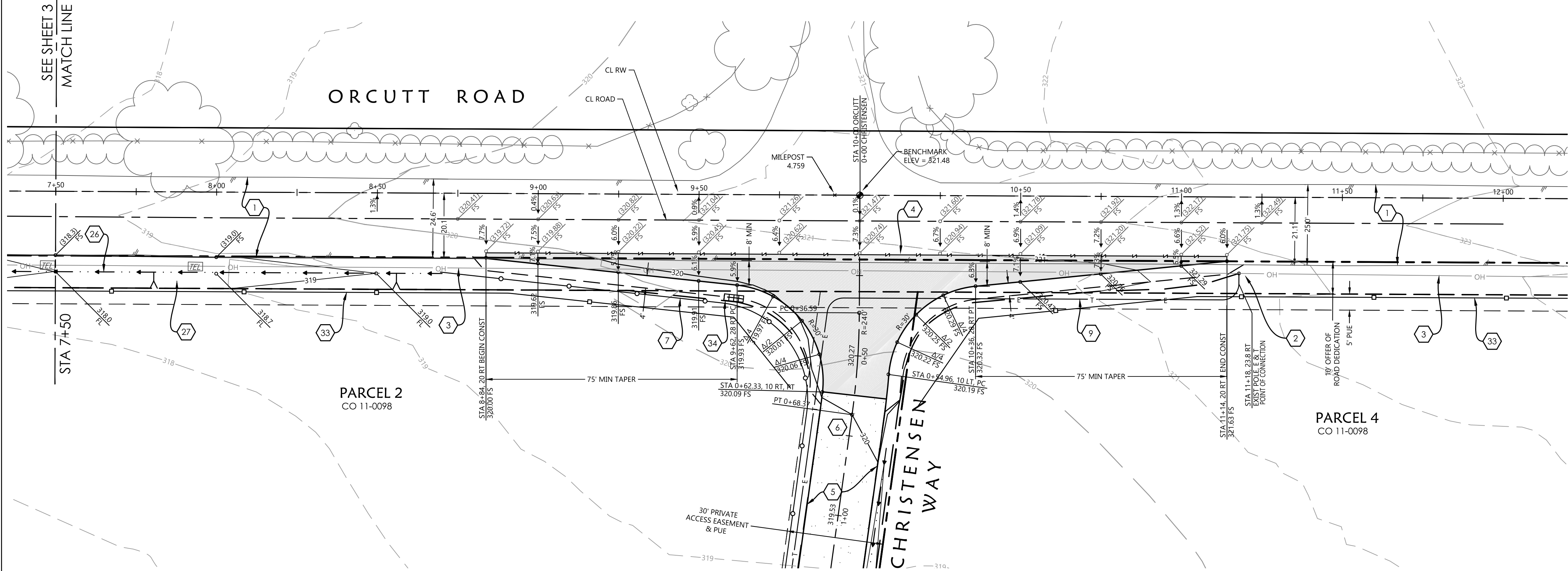
Timothy P. Roberts  
Civil Engineer - RCE 35366

2015 Vista de la Vina  
Templeton, CA 93465  
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Record Drawings

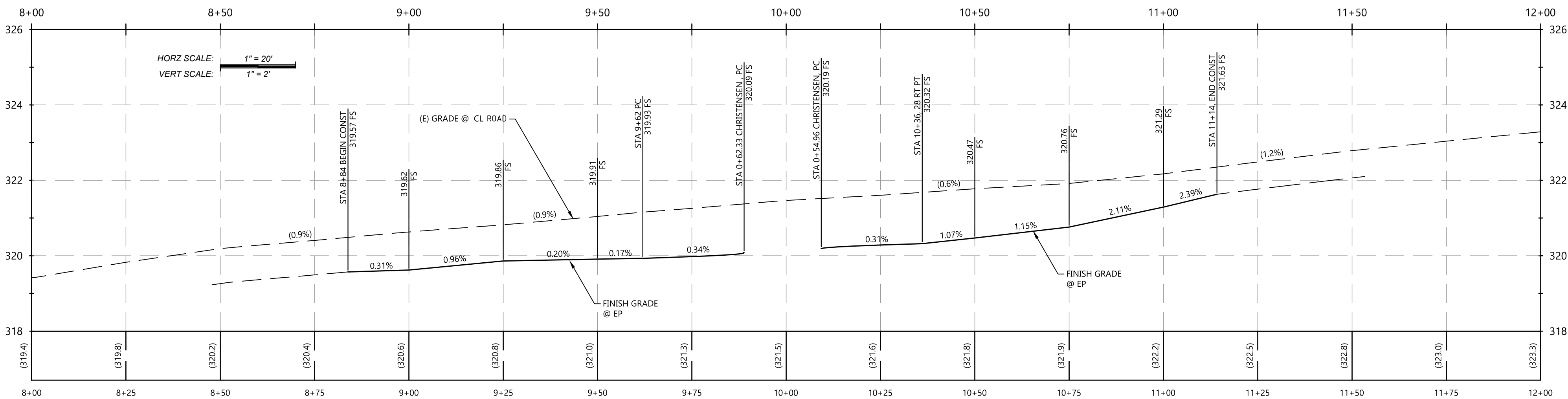
Timothy P. Roberts, RCE 35366 exp 09/30/15	Date
Revisions This Sheet:	
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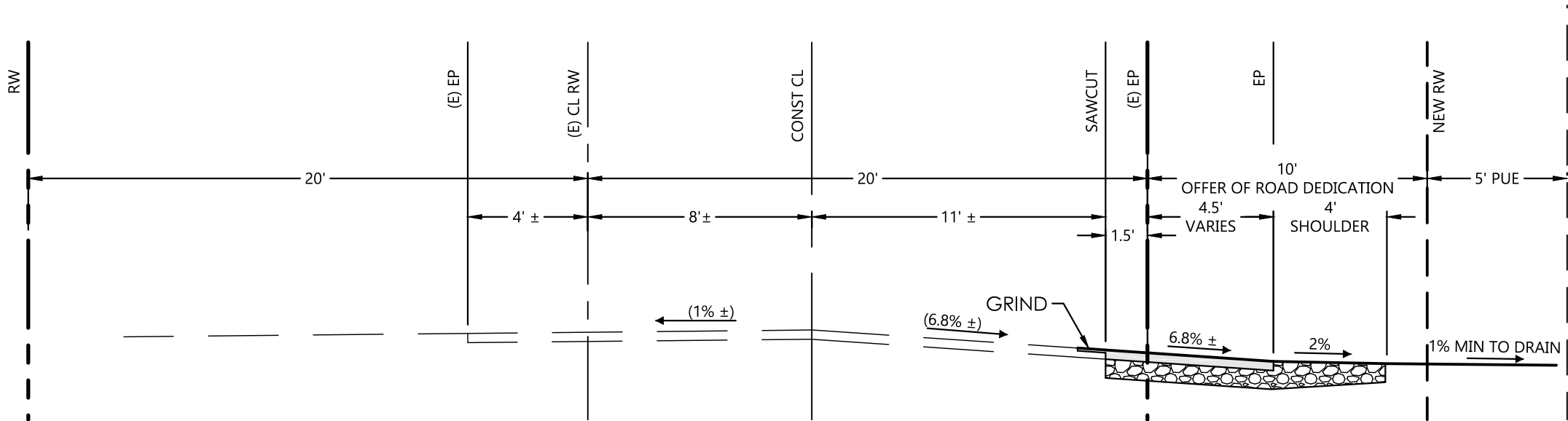


ORCUTT ROAD PLAN

SEE SHEETS 5-7 FOR CHRISTENSEN WAY PLAN

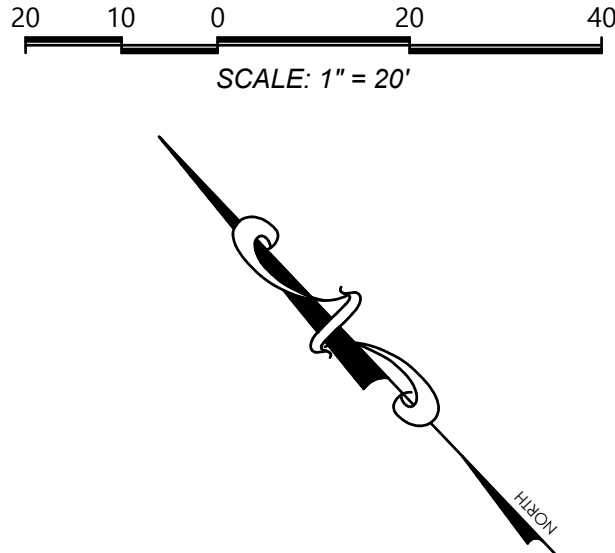


ORCUTT ROAD PROFILE



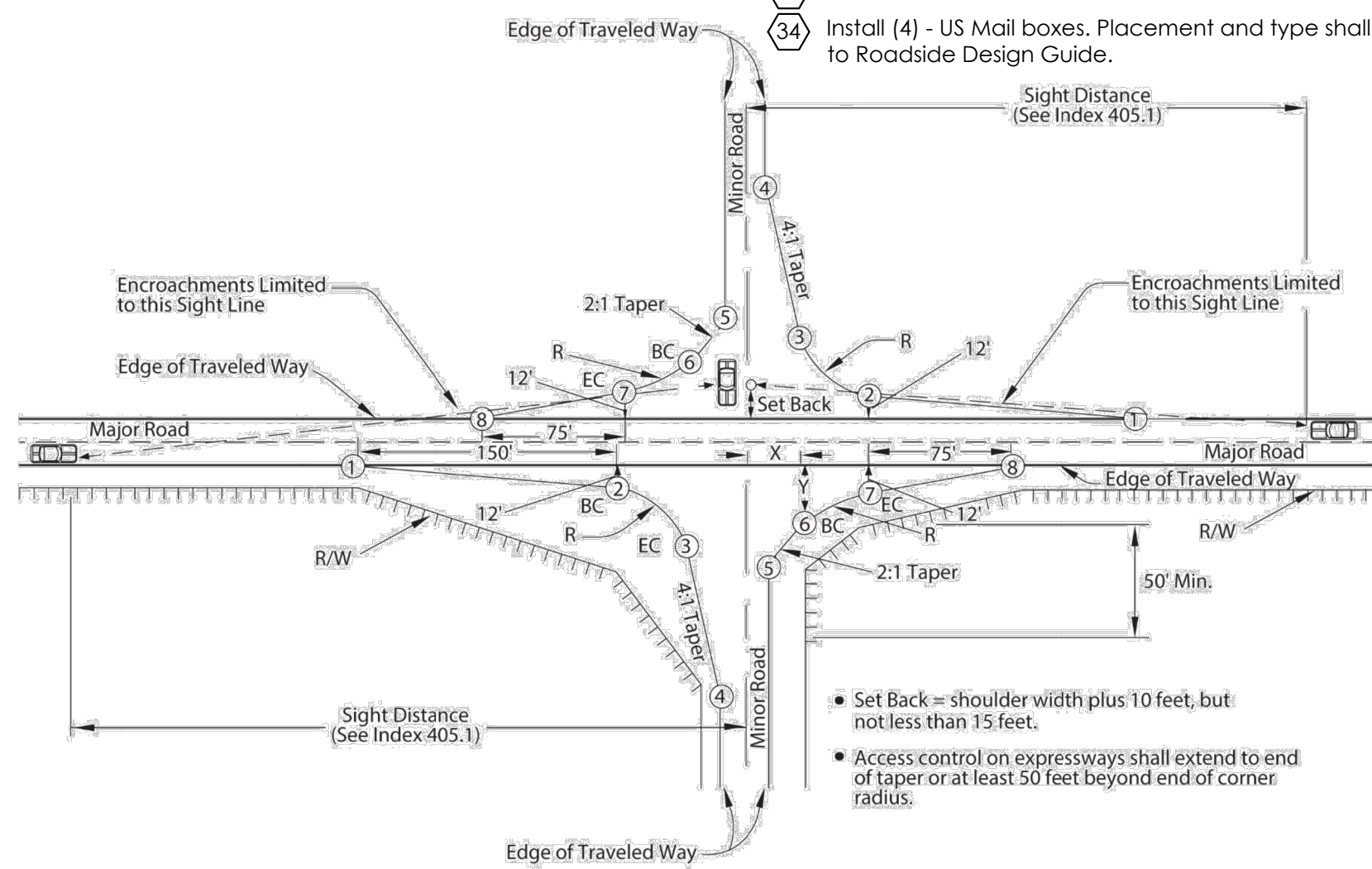
TYPICAL ROAD SECTION

NOTE: THE STRUCTURAL SECTION SHALL BE DETERMINED AT THE TIME OF CONSTRUCTION AND BASED ON THE SUBGRADE R-VALUE AND A TRAFFIC INDEX OF 7.0. PRIOR TO CONSTRUCTION THE STRUCTURAL SECTION CALCULATIONS SHALL BE SUBMITTED TO THE DEPARTMENT FOR REVIEW AND APPROVAL. IN NO CASE SHALL THE ZONE OF COMPACTION BE LESS THAN 24 INCHES.  
ADT = 2,438 (2010)  
V = 55 MPH



CONSTRUCTION NOTES

- Existing paved road.
- Existing joint pole, protect in place.
- Existing overhead power lines to remain.
- Saw cut, demo and remove asphalt pavement. Construct Public Road Intersection per California Highway Design Manual, Chapter 400, Figure 405.7. See detail Sheet 4.
- Construct 6' all-weather Class II aggregate base driveway per typical section.
- Construct temporary construction entrance per CASQA detail sheet 2.
- Install biodegradable fiber rolls at toe of slope and as indicated. See CASQA detail sheet 2.
- Construct 6' all-weather Class II aggregate base driveway apron.
- Install electric and telephone lines in joint trench per PG&E Joint Trench Configurations and Occupancy Guide, see detail sheet 2.
- Stub out electric and telephone services for future connection.
- Existing water well.
- Construct 6' all-weather Class II aggregate base fire department turn-around per CalFire requirements.
- Existing 24" CMP culvert to be retained. Cleanout and restore flow.
- Install 36" drainage inlet with traffic rated grate, Mid State Concrete predicts or equal.
- Install 22 LF - 18" HDPE pipe at S = 1% min.
- Install 36" County Standard D-2a rural catch basin.
- Install rock rip rap slope protection surrounding inlet.
- Existing edge of pavement.
- Regrade shoulder in conformance with Section A-A this sheet.
- Construct 24' wide Rural Residential driveway per County Std B-1a.
- Existing 13' AC driveway to remain.
- Construct 18' wide Rural Residential driveway per County Std B-1a.
- Demo and remove existing drive approach.
- Construct onsite driveway tie-ins per owner directions.
- Existing earth drainage swale.
- Proposed swale flow line.
- Track straw into or hydro seed all newly graded slopes with County approved native erosion control seed mix.
- Construct 4' wide x 12" deep earth swale.
- Install 24" concrete drainage inlet box, Mid State Concrete Products or equal.
- Install 512 LFs - 18" HDPE storm drain @ S=1.46%. Tie into existing drainage inlet.
- Existing storm drain.
- Existing drainage inlet.
- Construct fence.
- Install (4) - US Mail boxes. Placement and type shall conform to Roadside Design Guide.

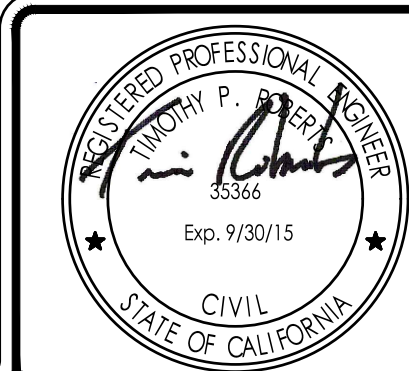


X = Distance measured from centerline of minor road along major road - feet.  
Y = Offset distance measured from edge of traveled way of major road to any given point - feet.

Radius of Curve	Design Vehicle	Pt (1)		Pt (2)		Pt (3)		Pt (4)		Pt (5)		Pt (6)		Pt (7)		Pt (8)	
		X	Y	X	Y	X	Y	X	Y	X	Y	X	Y	X	Y	X	Y
30'	Bus	204.20	0.0	54.20	12.0	27.49	34.63	12.0	96.58	12.0	40.66	18.23	28.21	40.32	12.0	115.32	0.0
40'	California	215.08	0.0	65.08	12.0	29.46	42.17	12.0	112.03	12.0	53.35	21.87	33.61	51.33	12.0	126.33	0.0
50'	STAA	226.09	0.0	76.09	12.0	31.57	49.71	12.0	127.98	12.0	75.63	30.31	39.01	67.13	12.0	142.13	0.0

ROAD INTERSECTION DETAIL

California Highway Design Manual  
Chapter 400, Figure 405.7

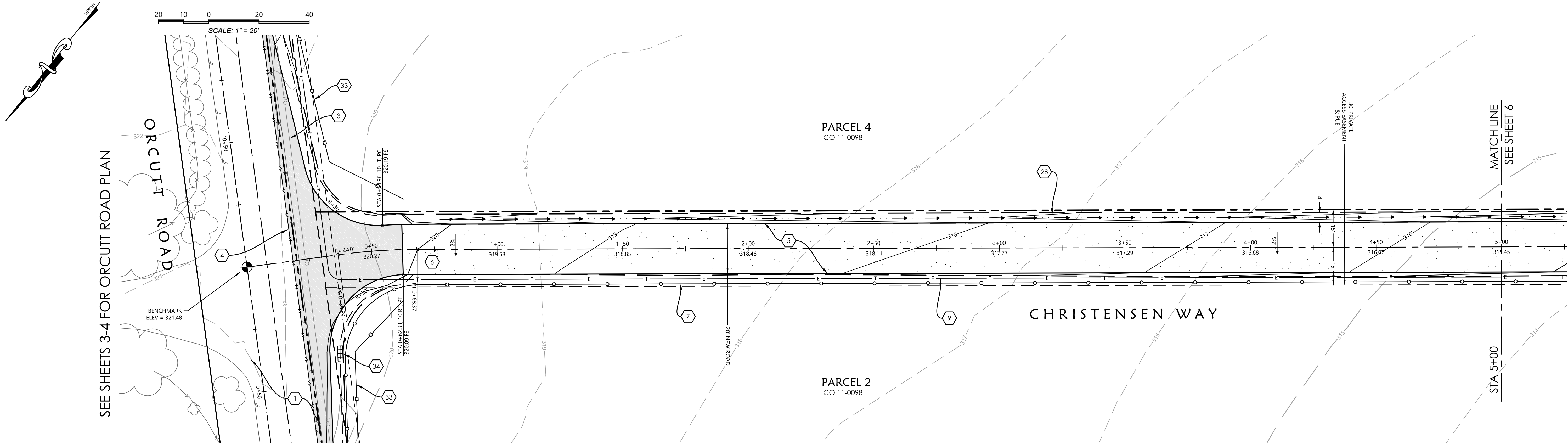


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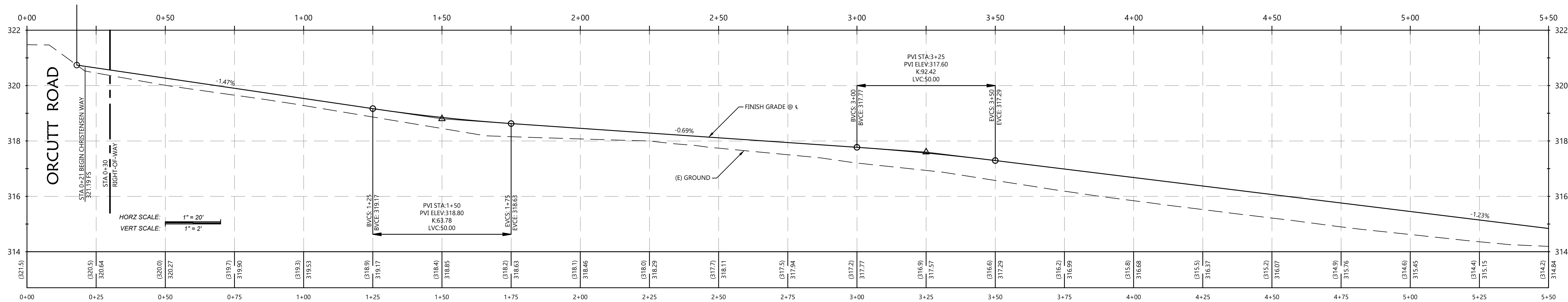
Record Drawings	
Timothy P. Roberts, RCE 35366 exp 09/30/15	Date
Revisions to this Sheet:	
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Roberts Engineering, Inc.			
Christensen - Orcutt Road - Parcel Map CO 11-0098			
Orcutt Road Improvement Plan			
Design/Drawn TR / JTM	County Plan Checker	Approved for County Requirements	
Job # 15-028	County W.O. No.	Development Services Engineer Timothy P. Roberts, RCE 35366 exp 09/30/15	Date 1/11/2016
California Coordinates (CCS83, Zone 5) N 2274690 E 5787090		County Road # 2039	4 of 9





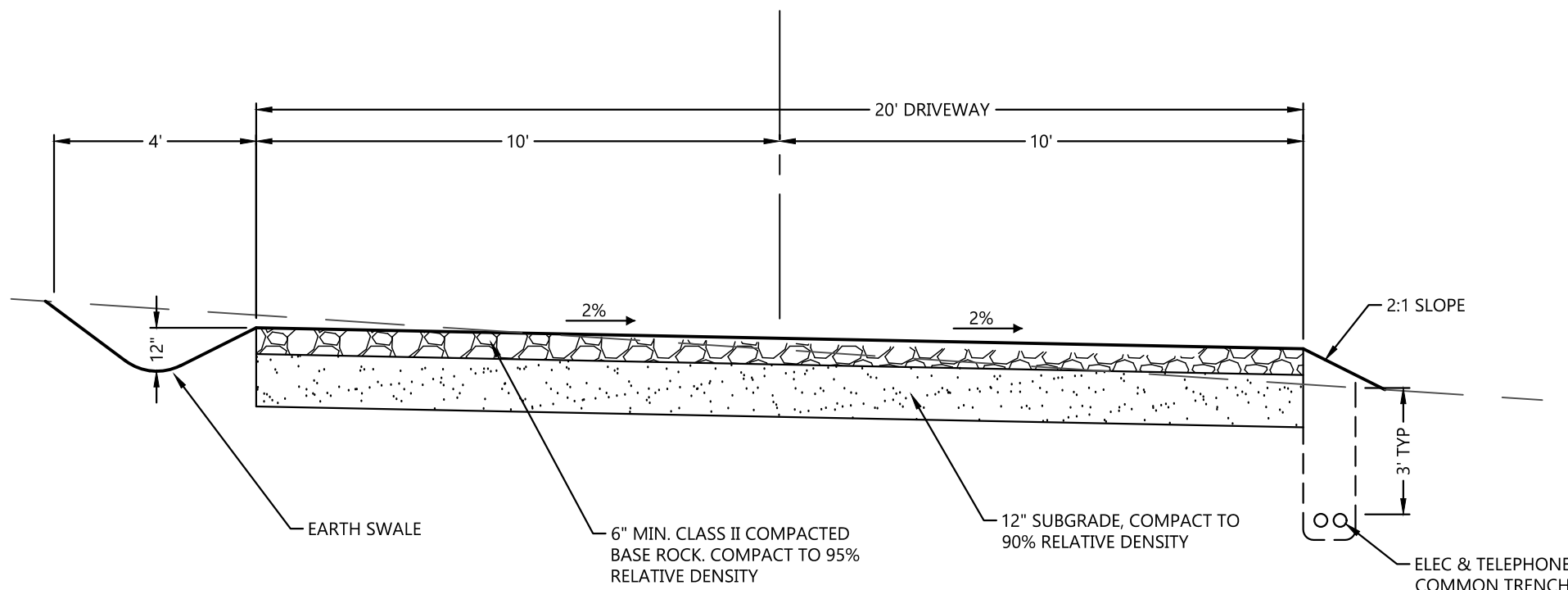
CHRISTENSEN WAY PLAN



CHRISTENSEN WAY PROFILE

CONSTRUCTION NOTES

- 1 Existing paved road.
- 2 Existing joint pole, protect in place.
- 3 Existing overhead power lines to remain.
- 4 Saw cut, demo and remove asphalt pavement. Construct Public Road Intersection per California Highway Design Manual, Chapter 400, Figure 405.7. See detail Sheet 4.
- 5 Construct 6" all-weather Class II aggregate base driveway per typical section.
- 6 Construct temporary construction entrance per CASQA detail sheet 2.
- 7 Install biodegradable fiber rolls at toe of slope and as indicated. See CASQA detail sheet 2.
- 8 Construct 6" all-weather Class II aggregate base driveway apron.
- 9 Install electric and telephone lines in joint trench per PG&E Joint Trench Configurations and Occupancy Guide, see detail sheet 2.
- 10 Stub out electric and telephone services for future connection.
- 11 Existing water well.
- 12 Construct 6" all-weather Class II aggregate base fire department turn-around per CalFire requirements.
- 28 Construct 4' wide x 12" deep earth swale.
- 29 Install 24" concrete drainage inlet box, Mid State Concrete Products or equal.
- 30 Install 512 Lft - 18" HDPE storm drain @ S=1.46%. Tie into existing drainage inlet.
- 31 Existing storm drain.
- 32 Existing drainage inlet.
- 33 Construct fence.
- 34 Install (4) - US Mail boxes. Placement and type shall conform to Roadside Design Guide.



DRIVEWAY TYPICAL SECTION

VIEW LOOKING WEST, NOT TO SCALE

**Roberts Engineering**

Timothy P. Roberts  
Civil Engineer - RCE 35366

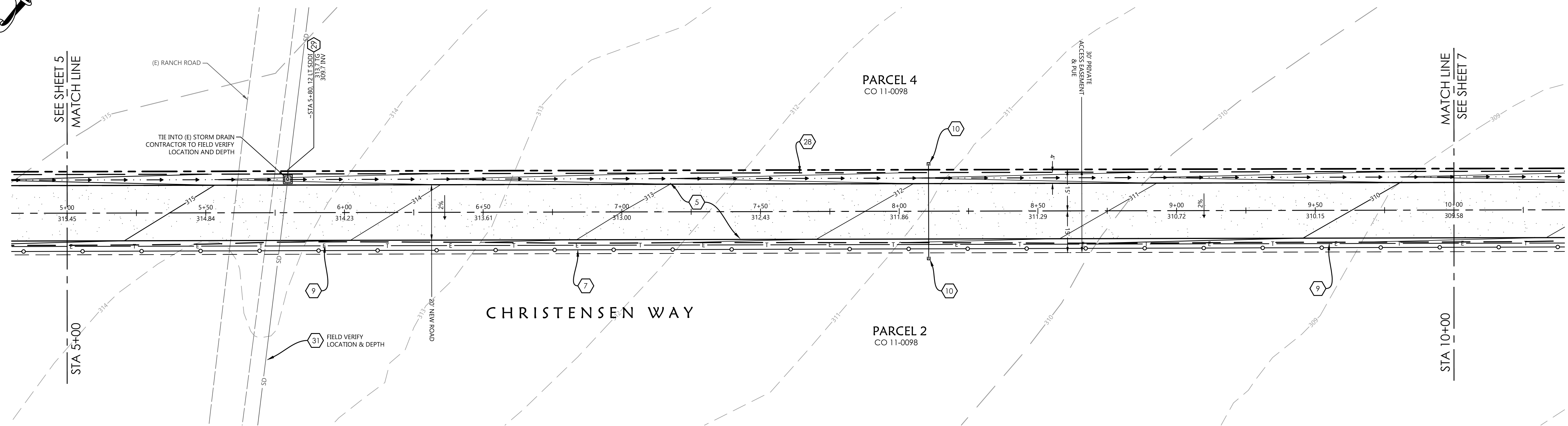
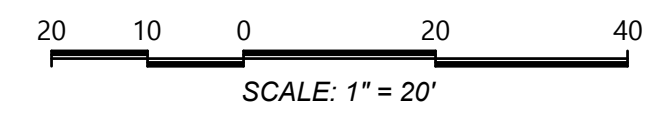
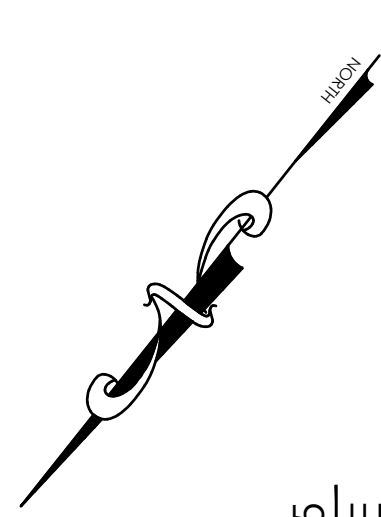
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**Record Drawings**

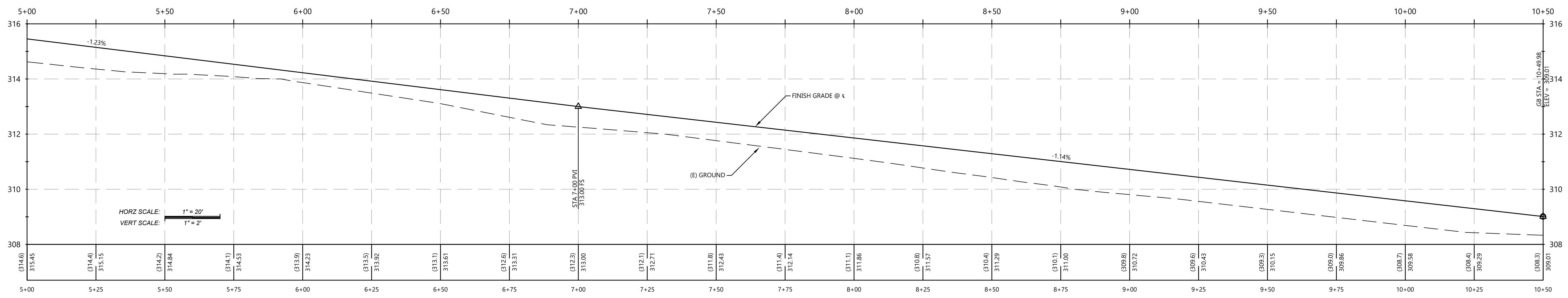
Timothy P. Roberts, RCE 35366 exp 09/30/15 Date  
Revisions This Sheet:  
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Design/Drawn TR / JTM	County Plan Checker .	Approved for County Requirements Development Services Engineer Date
Job # 15-028	County W.O. No. .	Timothy P. Roberts, RCE 35366 exp 09/30/15 Date 1/11/2016
California Coordinates (CCS83, Zone 5) N 2274690 E 5787090	County Road # 2039	5 of 9

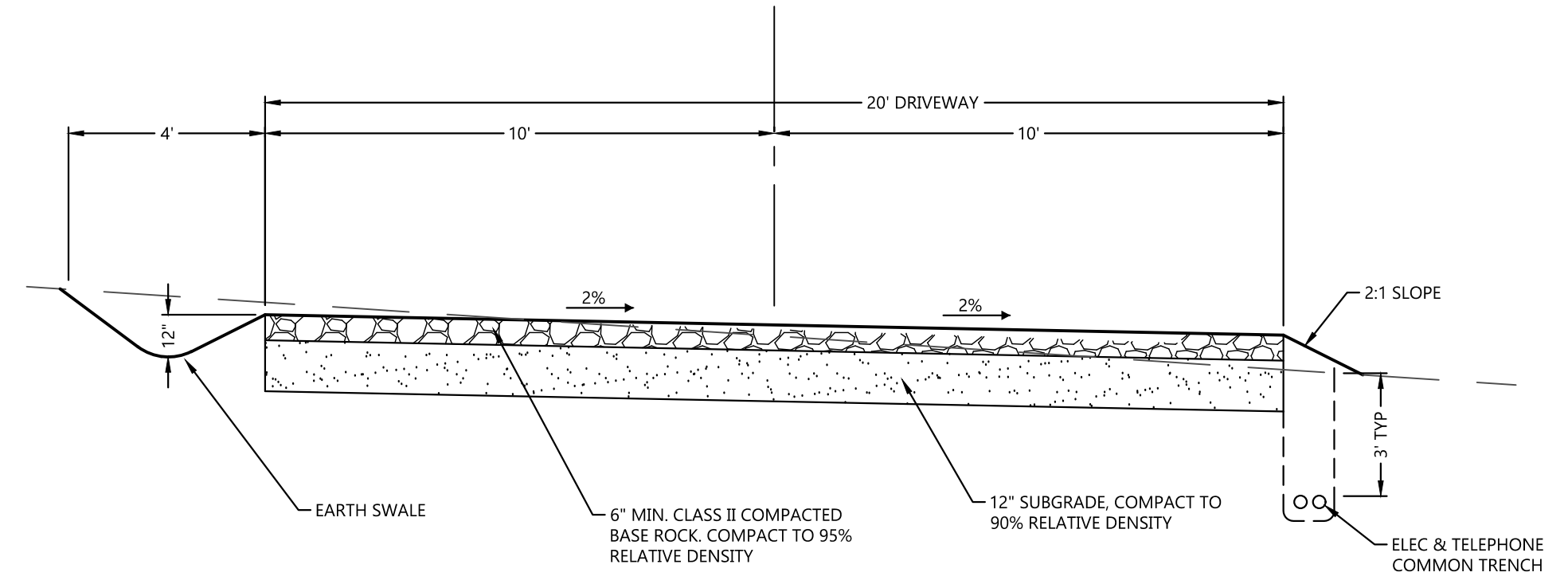




CHRISTENSEN WAY PLAN



CHRISTENSEN WAY PROFILE



DRIVEWAY TYPICAL SECTION

VIEW LOOKING WEST, NOT TO SCALE

CONSTRUCTION NOTES

- 1 Existing paved road.
- 2 Existing joint pole, protect in place.
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- 6 Construct temporary construction entrance per CASQA detail sheet 2.
- 7 Install biodegradable fiber rolls at toe of slope and as indicated. See CASQA detail sheet 2.
- 8 Construct 6" all-weather Class II aggregate base driveway apron.
- 9 Install electric and telephone lines in joint trench per PG&E Joint Trench Configurations and Occupancy Guide, see detail sheet 2.
- 10 Stub out electric and telephone services for future connection.
- 11 Existing water well.
- 12 Construct 6" all-weather Class II aggregate base fire department turn-around per CalFire requirements.
- 28 Construct 4' wide x 12" deep earth swale.
- 29 Install 24" concrete drainage inlet box, Mid State Concrete Products or equal.
- 30 Install S12 LF± - 18" HDPE storm drain @ S=1.46%. Tie into existing drainage inlet.
- 31 Existing storm drain.
- 32 Existing drainage inlet.
- 33 Construct fence.
- 34 Install (4) - US Mail boxes. Placement and type shall conform to Roadside Design Guide.

Roberts Engineering, Inc.

Christensen - Orcutt Road - Parcel Map CO 11-0098

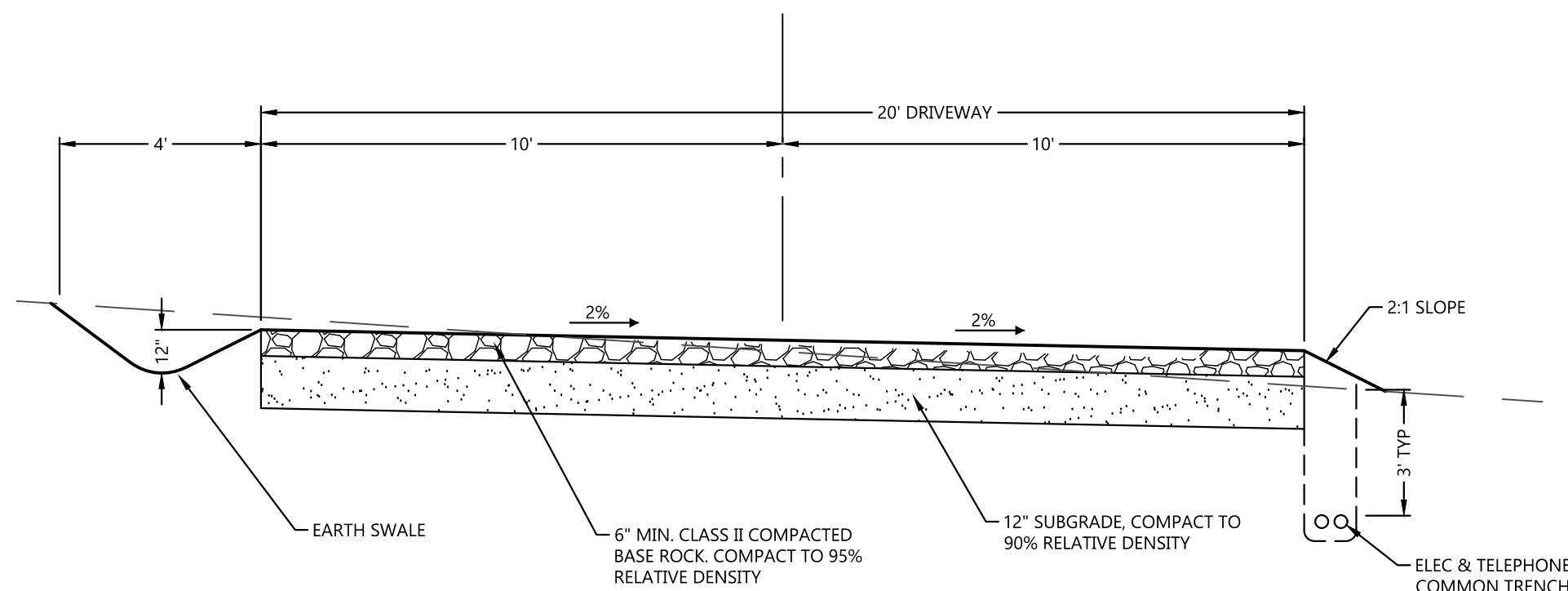
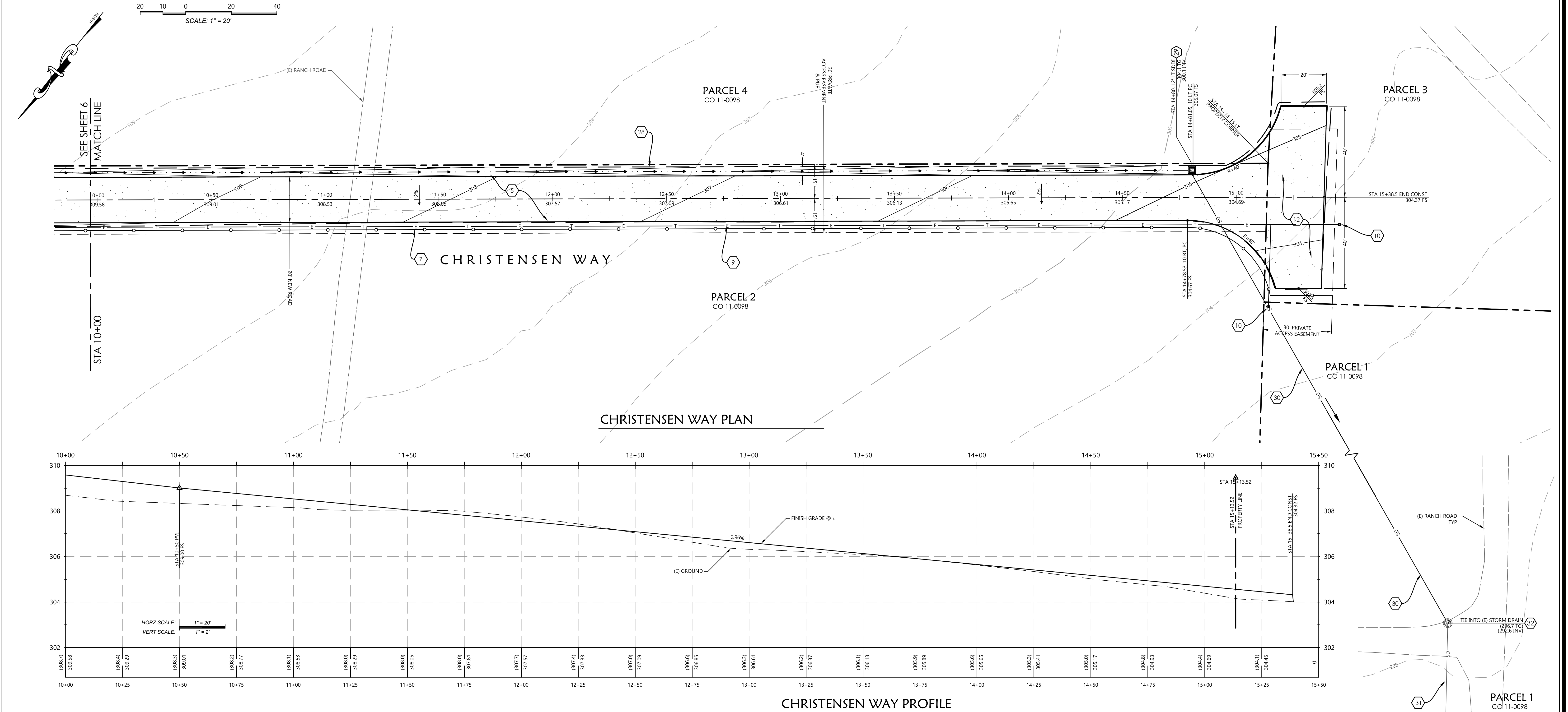
Christensen Way Improvement Plan  
STA 5+00 - 10+00

Design/Drawn TR / JTM	County Plan Checker .	Approved for County Requirements Development Services Engineer Date
Job # 15-028	County W.O. No. .	1/11/2016 Date
California Coordinates (CCS83, Zone 5) N 2274690 E 5787090	County Road # 2039	6 of 9



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Record Drawings	
Timothy P. Roberts, RCE 35366 exp 09/30/15	Date
Revisions This Sheet:	
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DRIVEWAY TYPICAL SECTION

VIEW LOOKING WEST, NOT TO SCALE

CONSTRUCTION NOTES

- Existing paved road.
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- Install biodegradable fiber rolls at toe of slope and as indicated. See CASQA detail sheet 2.
- Construct 6" all-weather Class II aggregate base driveway apron.
- Install electric and telephone lines in joint trench per PG&E Joint Trench Configurations and Occupancy Guide, see detail sheet 2.
- Stub out electric and telephone services for future connection.
- Existing water well.
- Construct 6" all-weather Class II aggregate base fire department turn-around per CalFire requirements.
- Construct 4' wide x 12" deep earth swale.
- Install 24" concrete drainage inlet box, Mid State Concrete Products or equal.
- Install 512 LF± - 18" HDPE storm drain @ S=1.46%. Tie into existing drainage inlet.
- Existing storm drain.
- Existing drainage inlet.
- Construct fence.
- Install (4) - US Mail boxes. Placement and type shall conform to Roadside Design Guide.



Roberts Engineering

Timothy P. Roberts  
Civil Engineer - RCE 35366

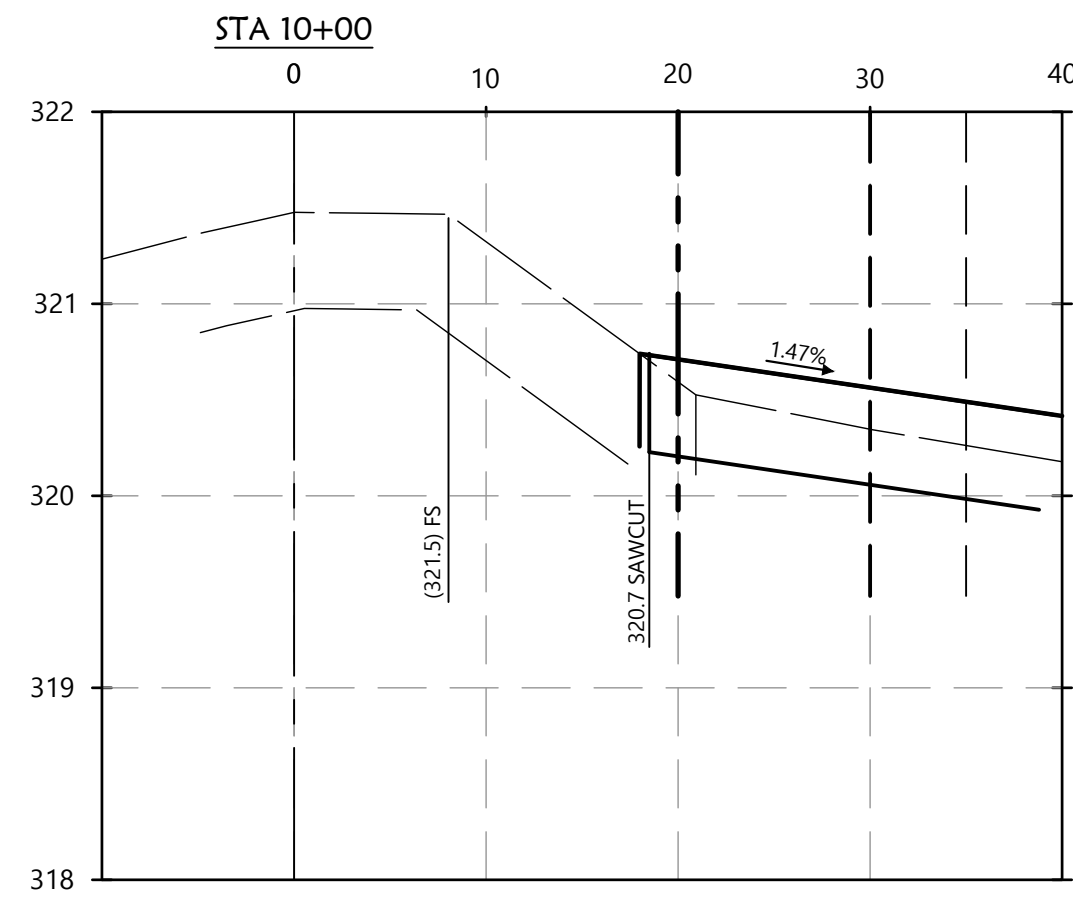
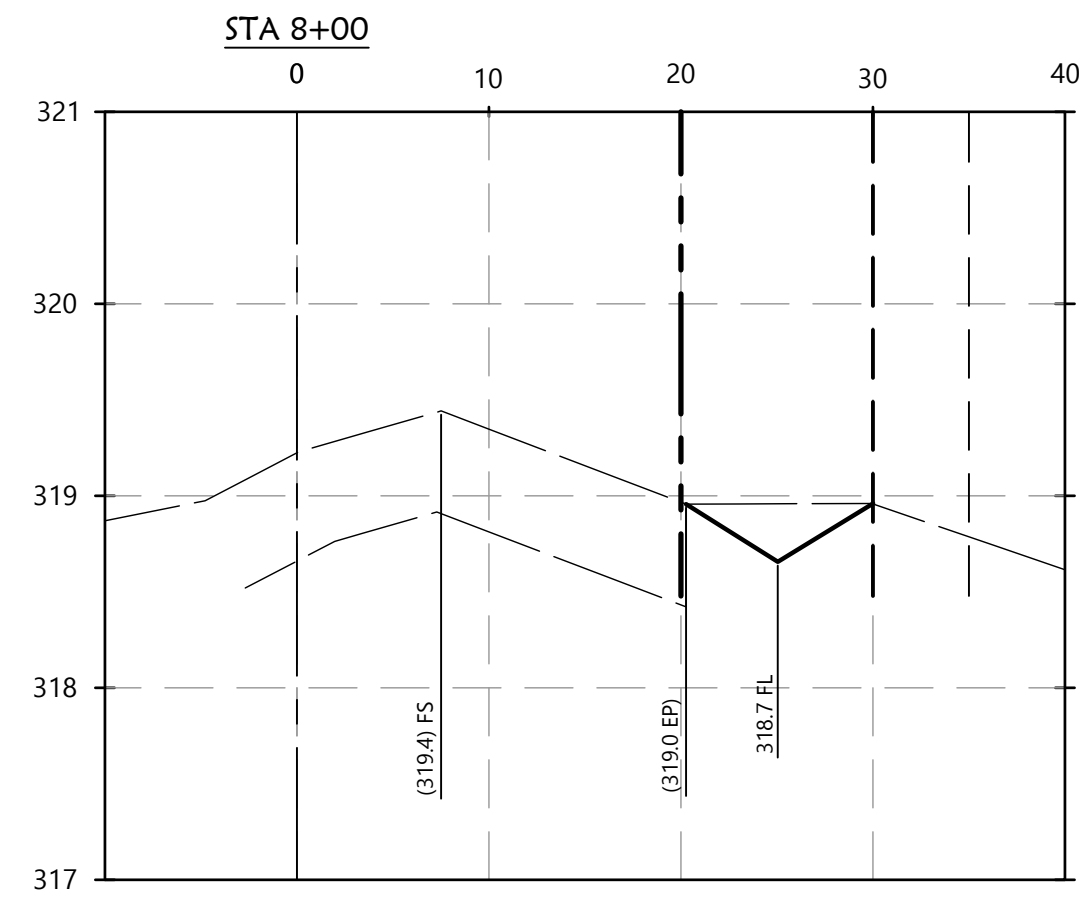
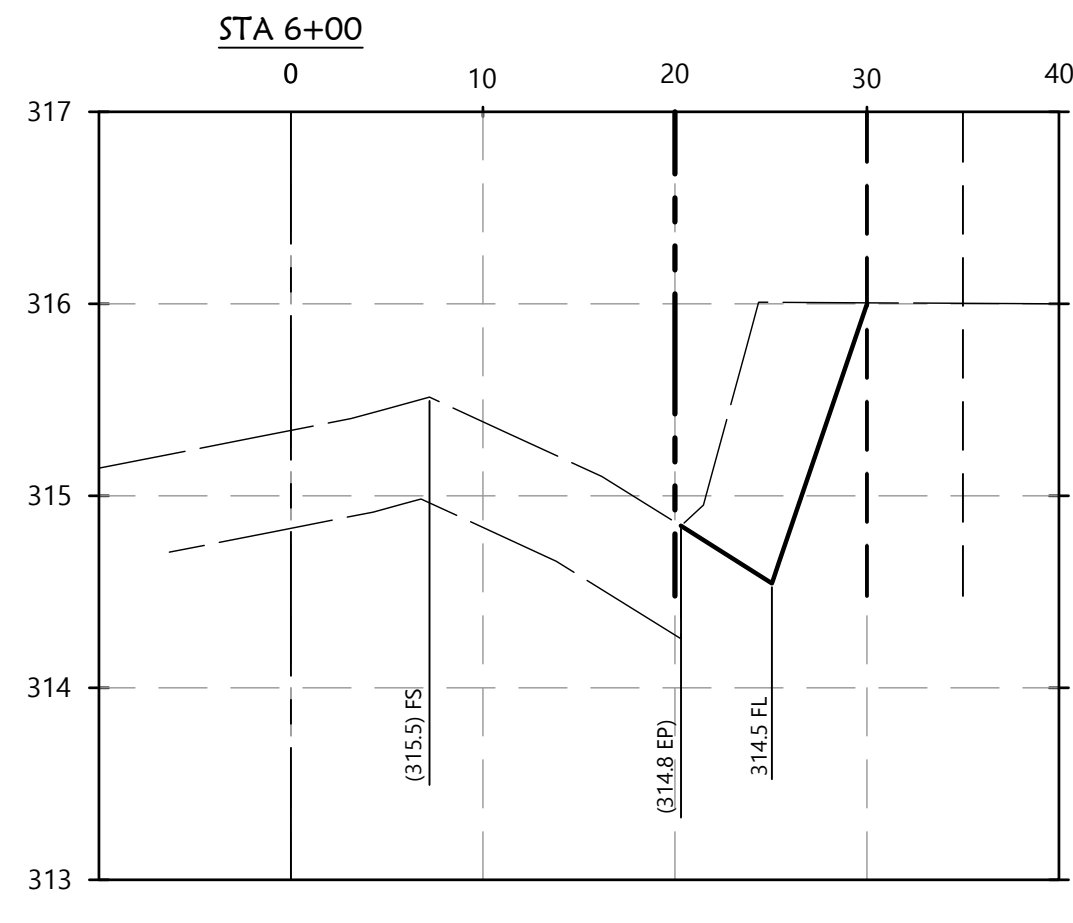
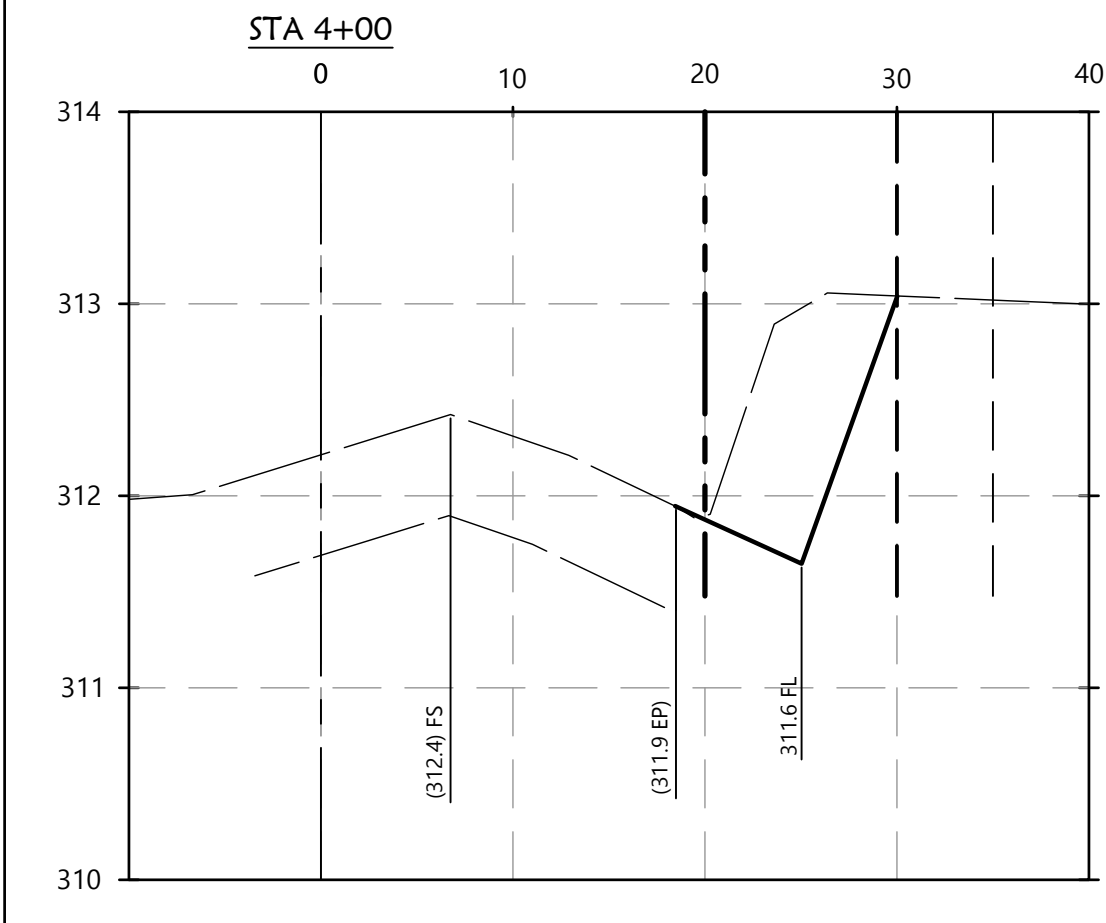
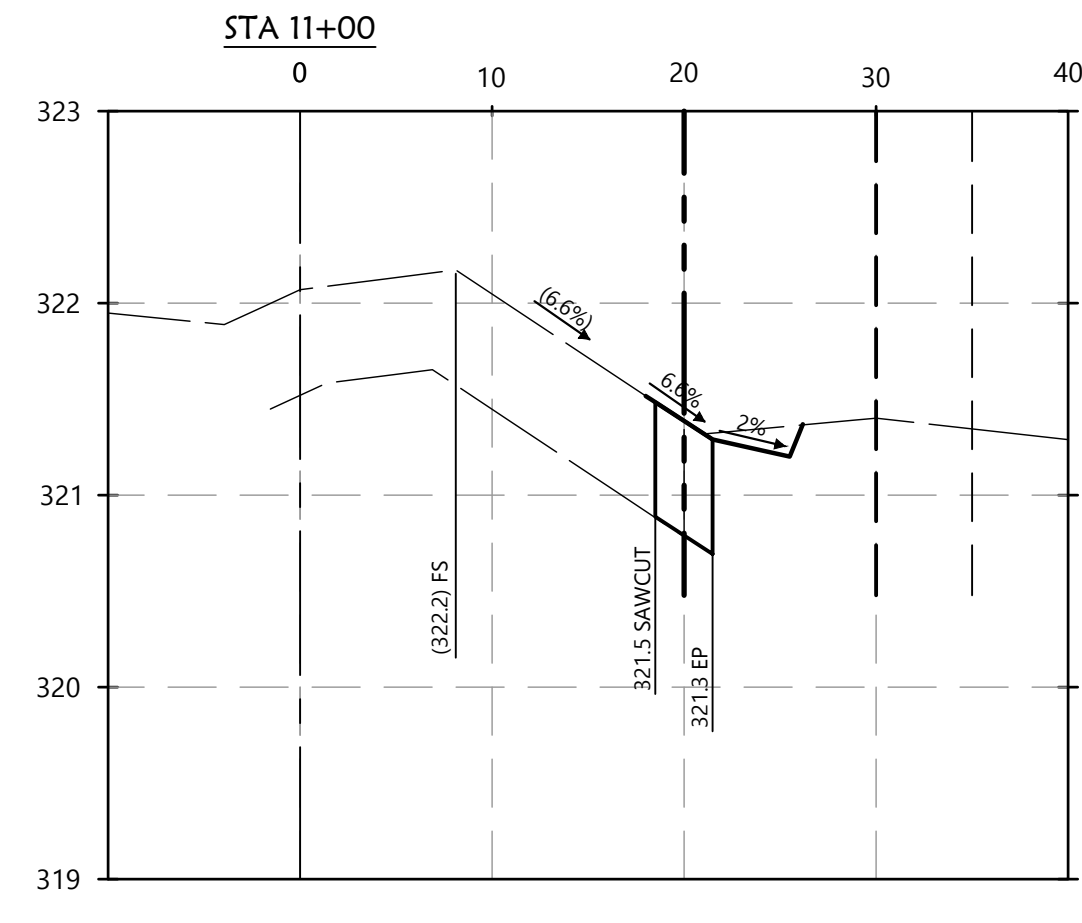
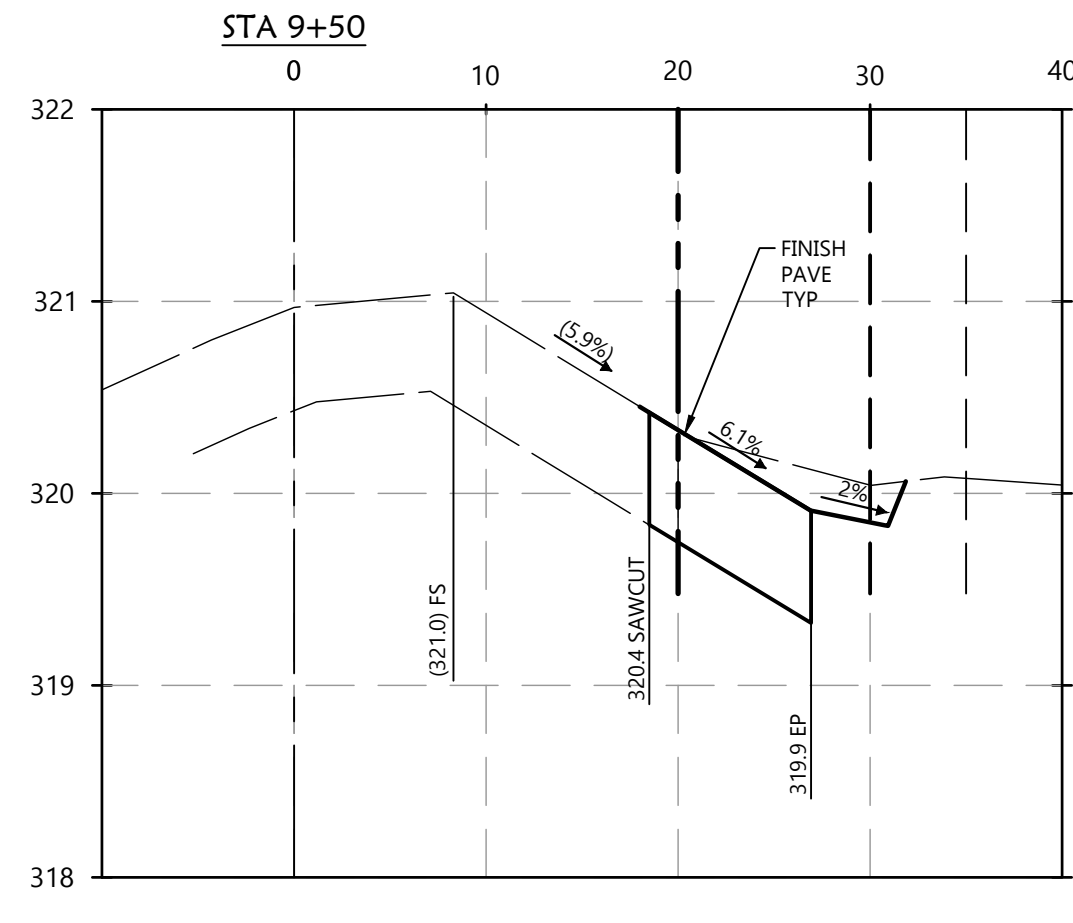
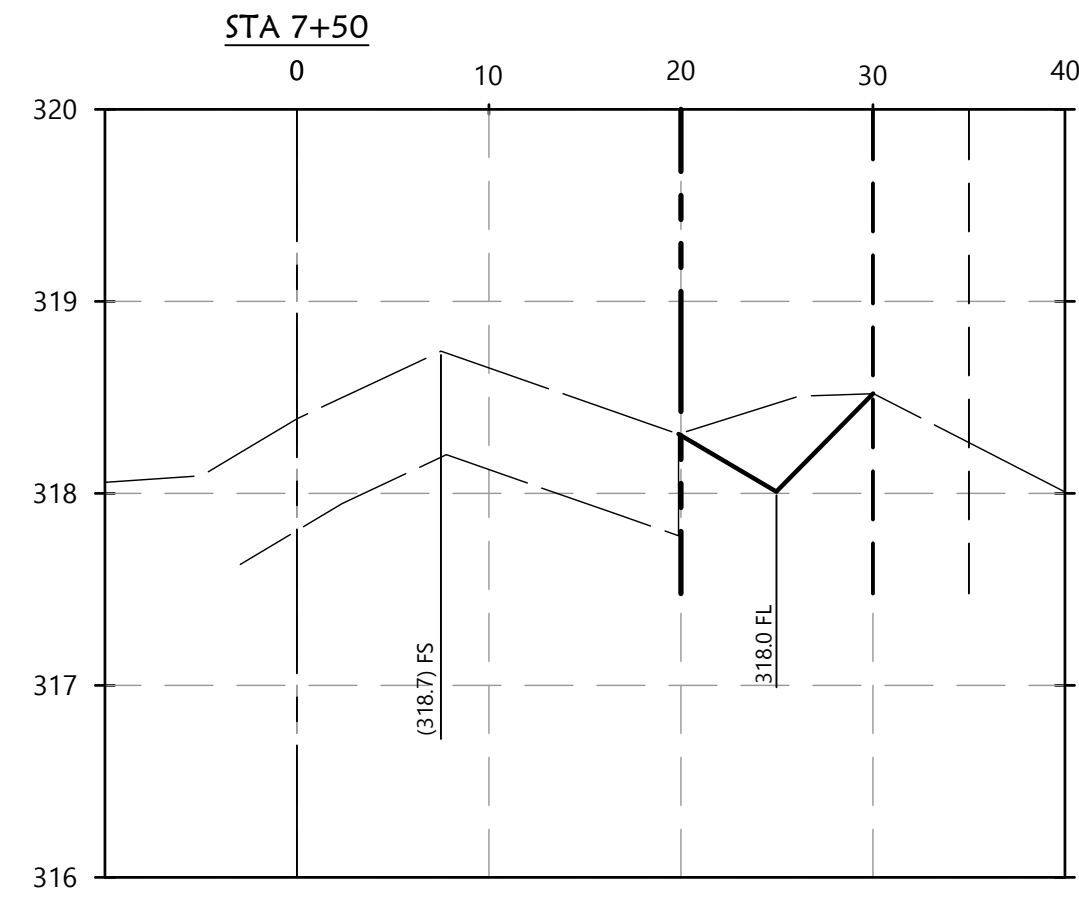
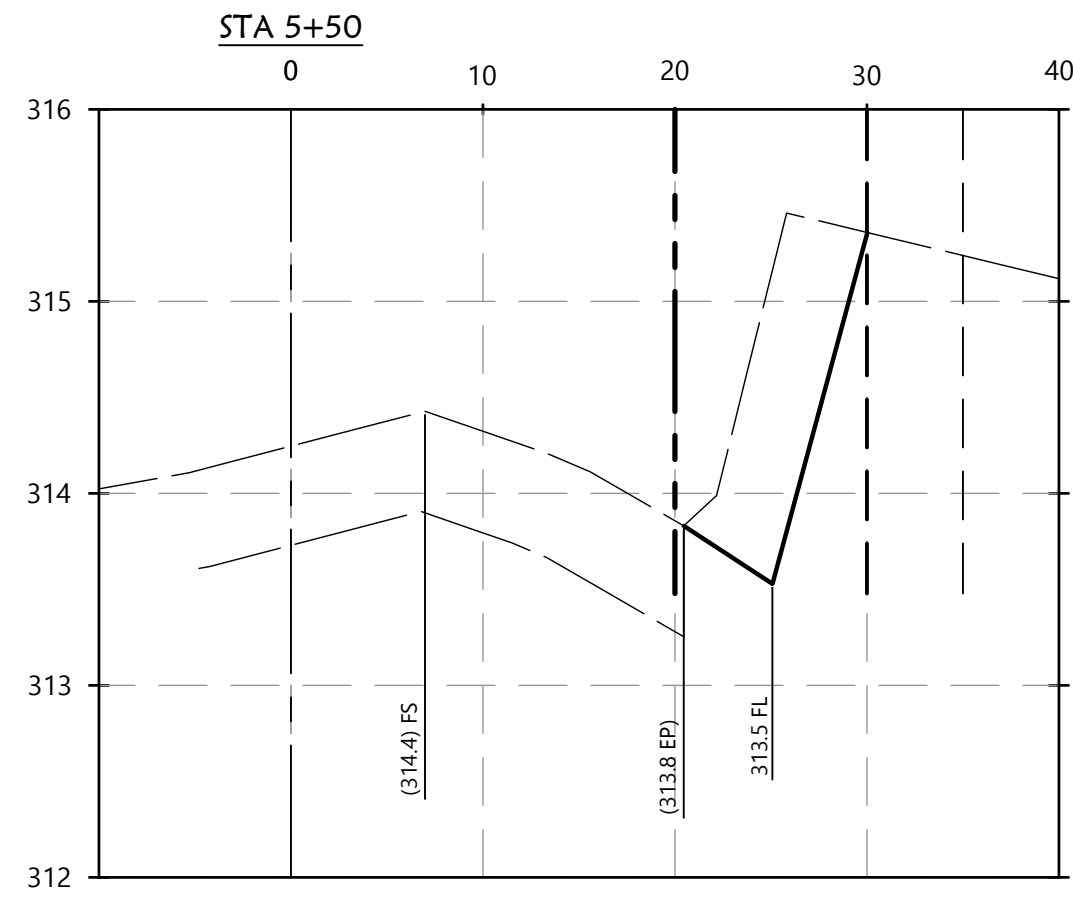
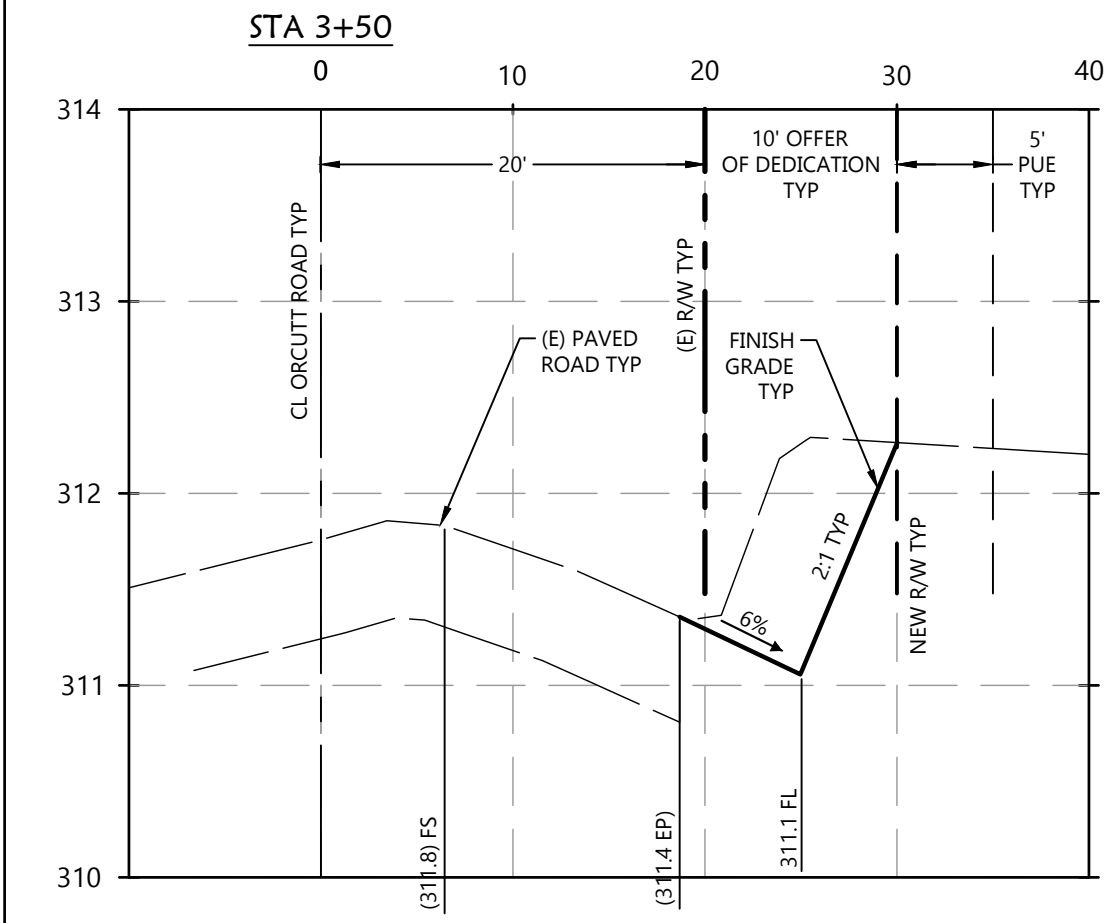
2015 Vista de la Vina  
Templeton, CA 93465  
Phone (805) 239-0664  
Fax (805) 238-6148  
Email robertseng@charter.net

Record Drawings

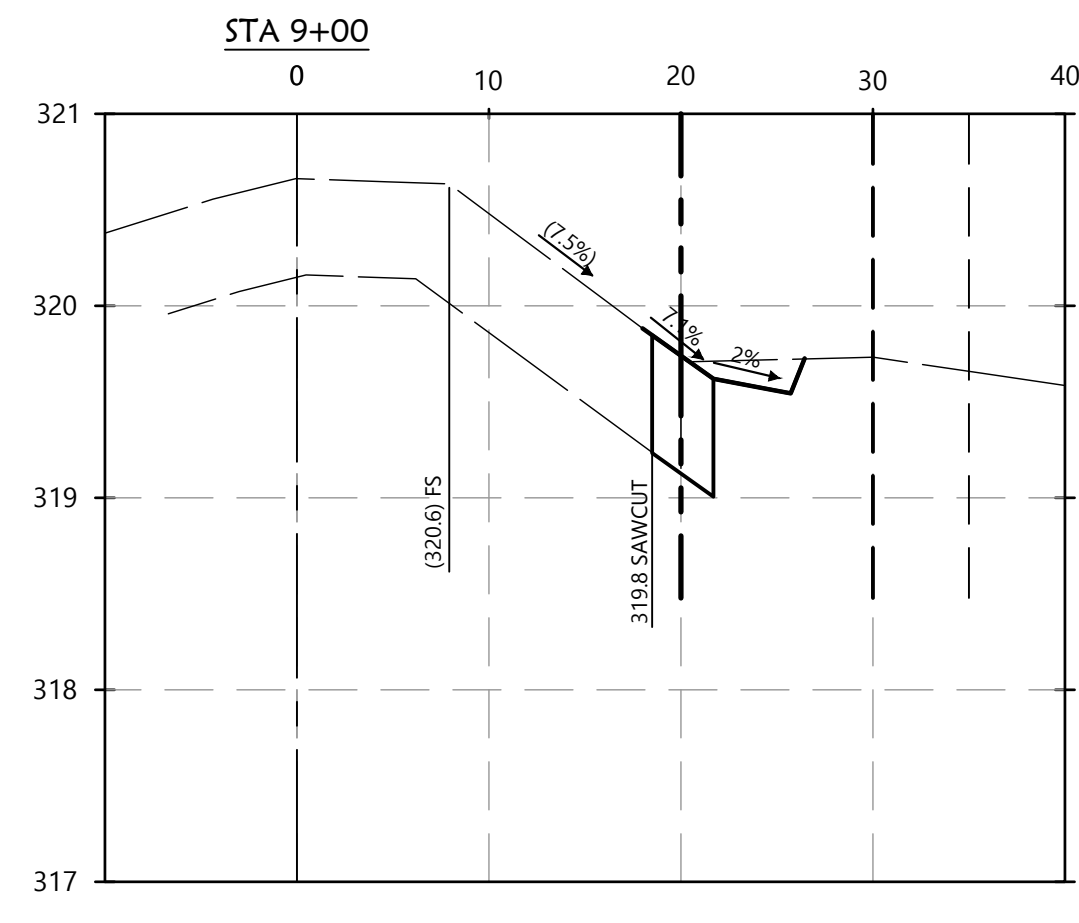
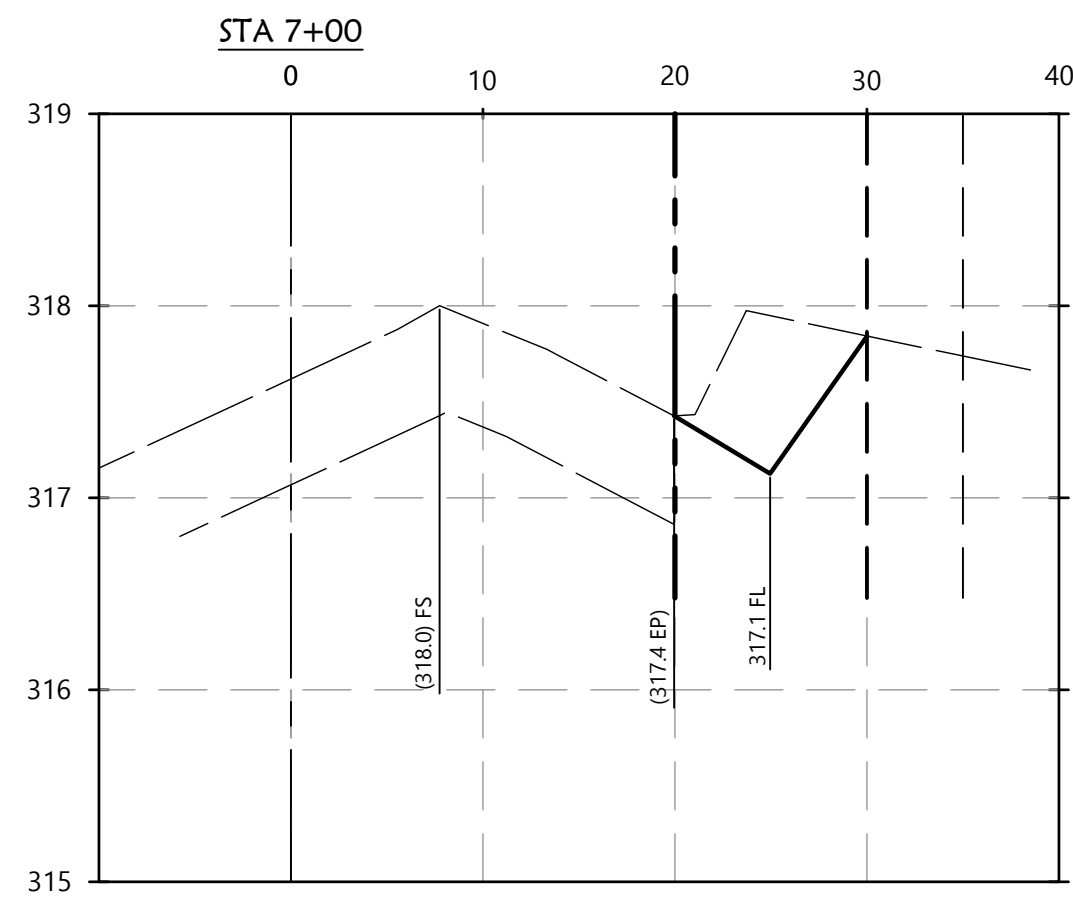
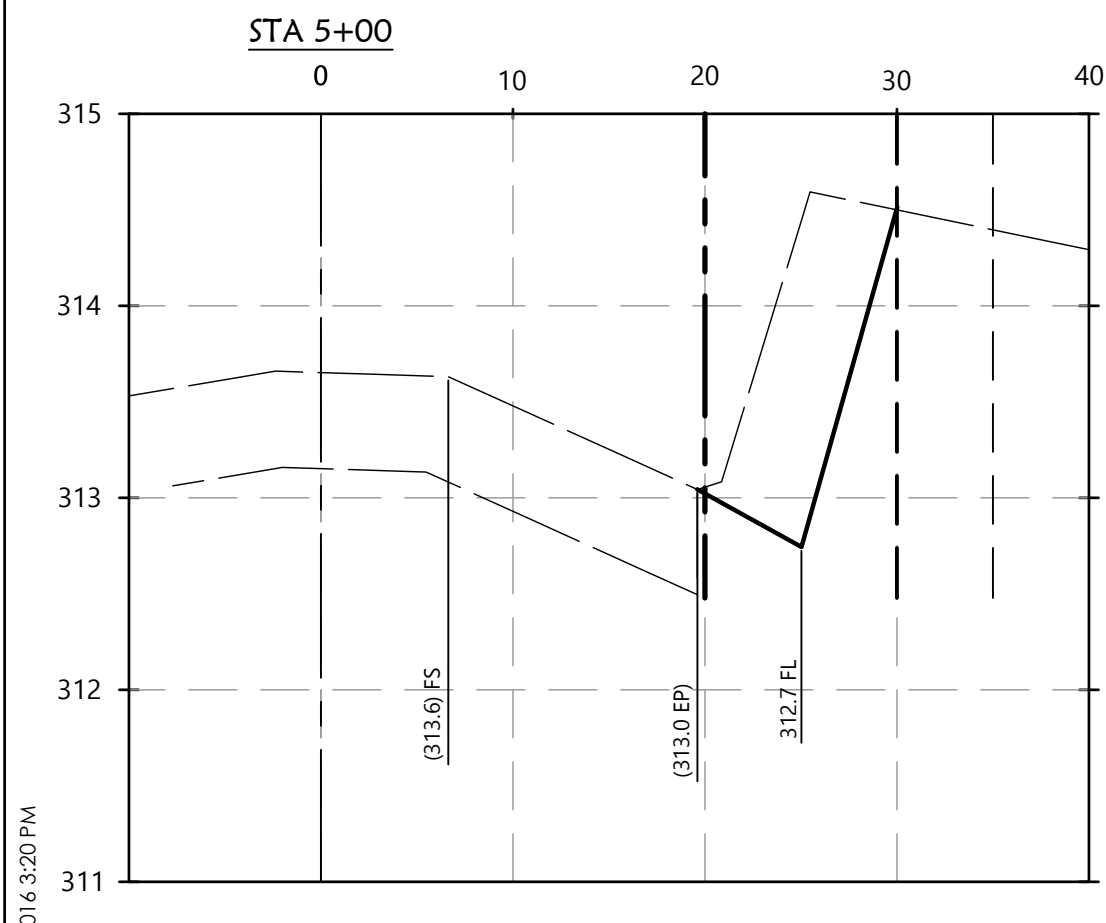
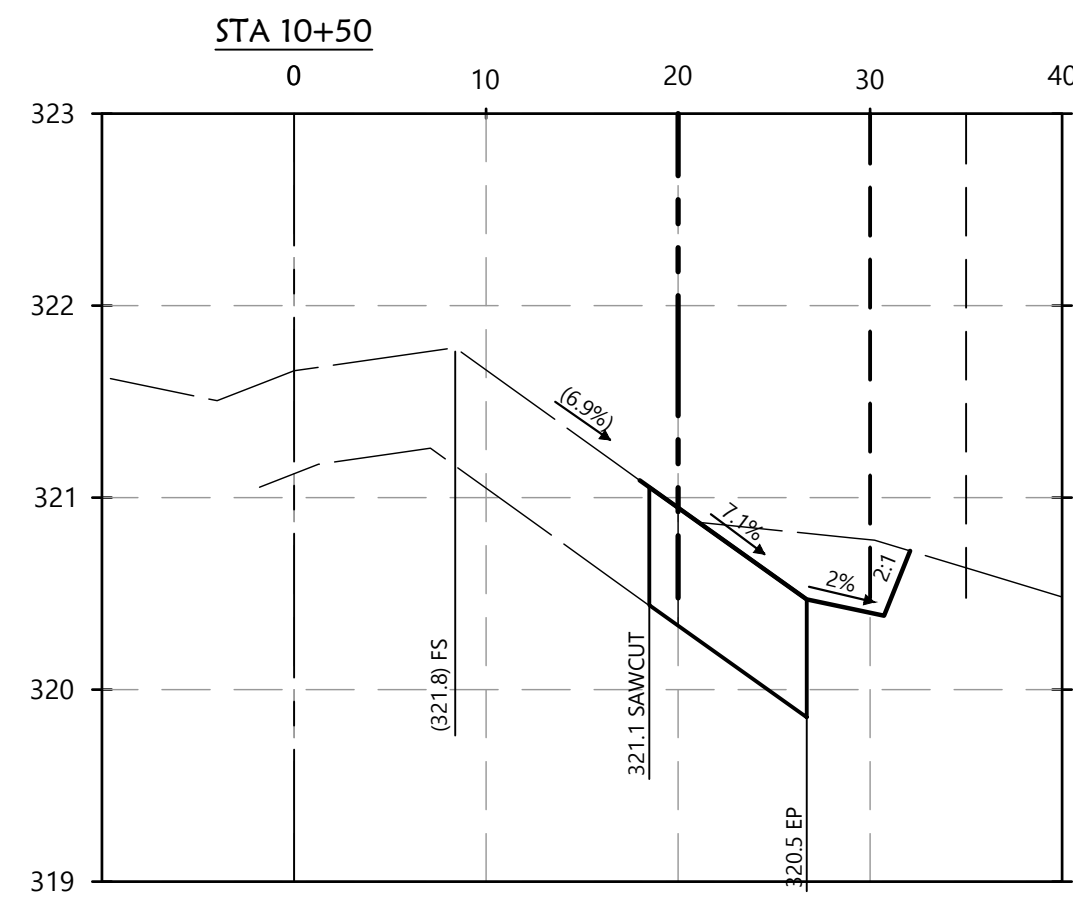
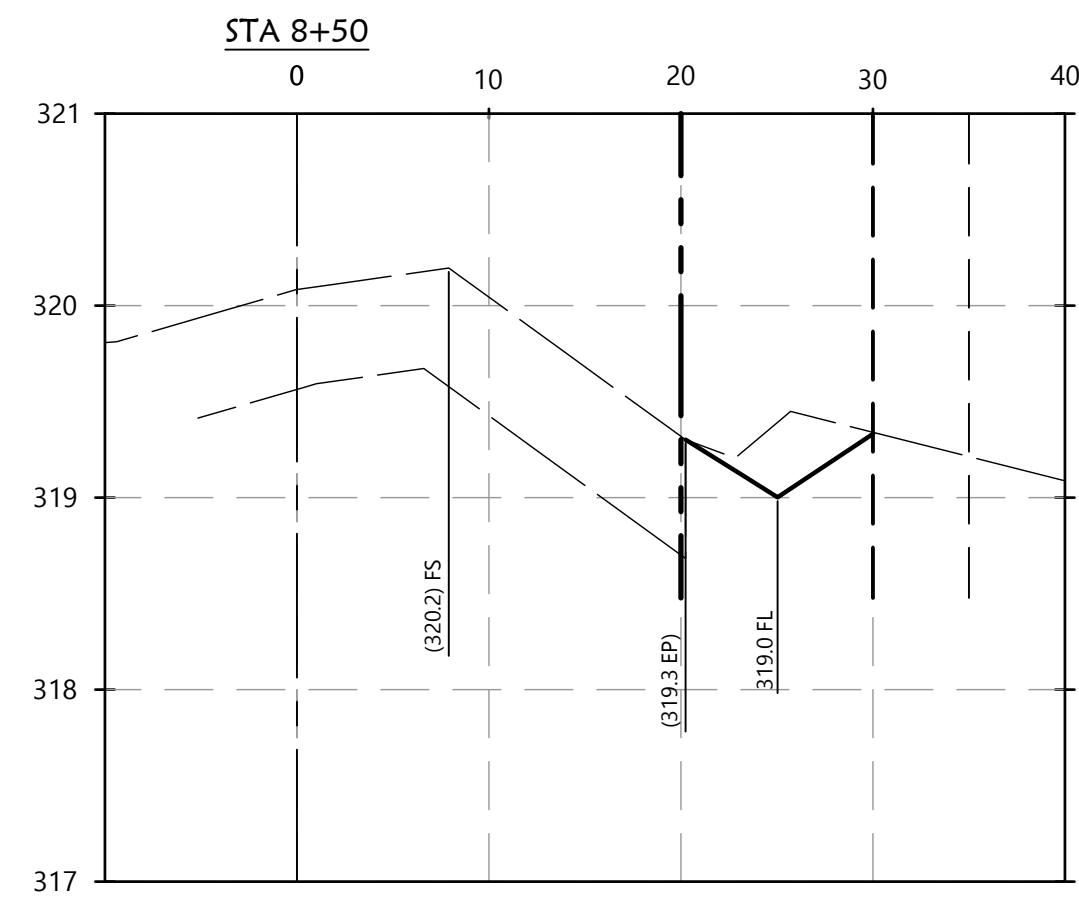
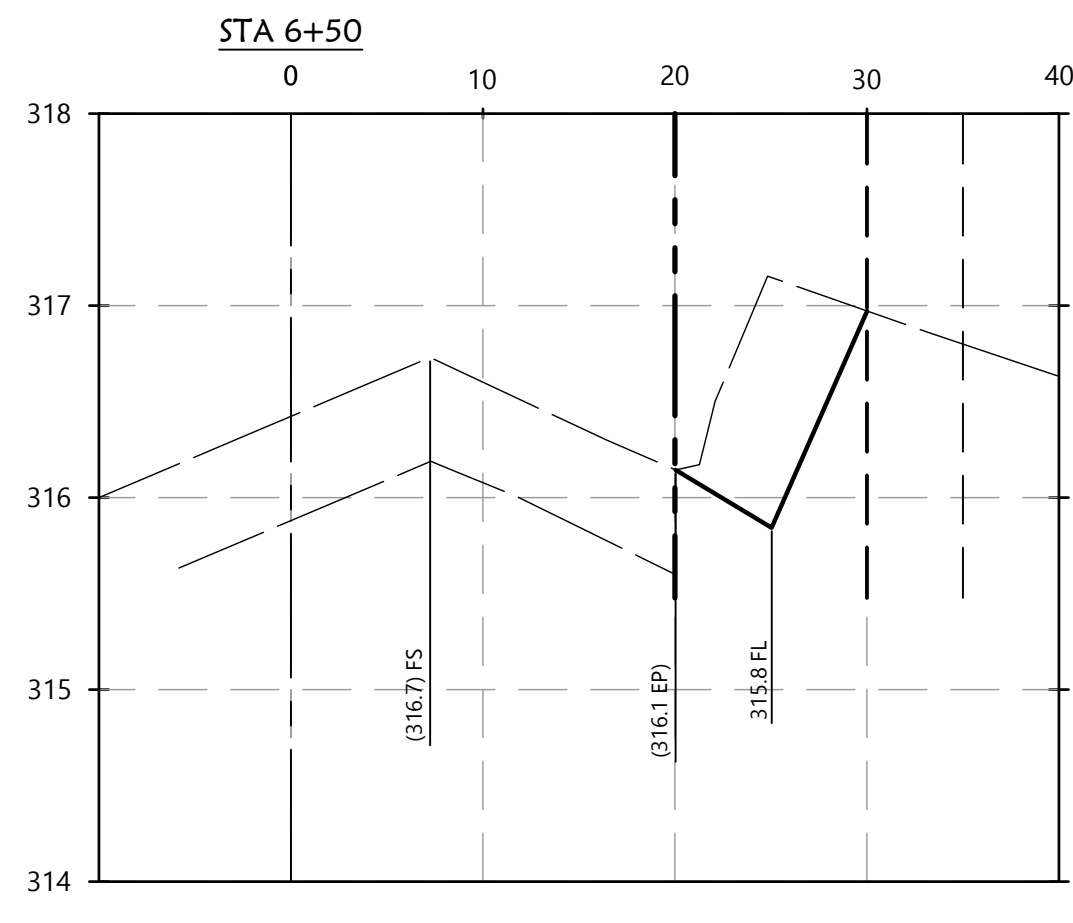
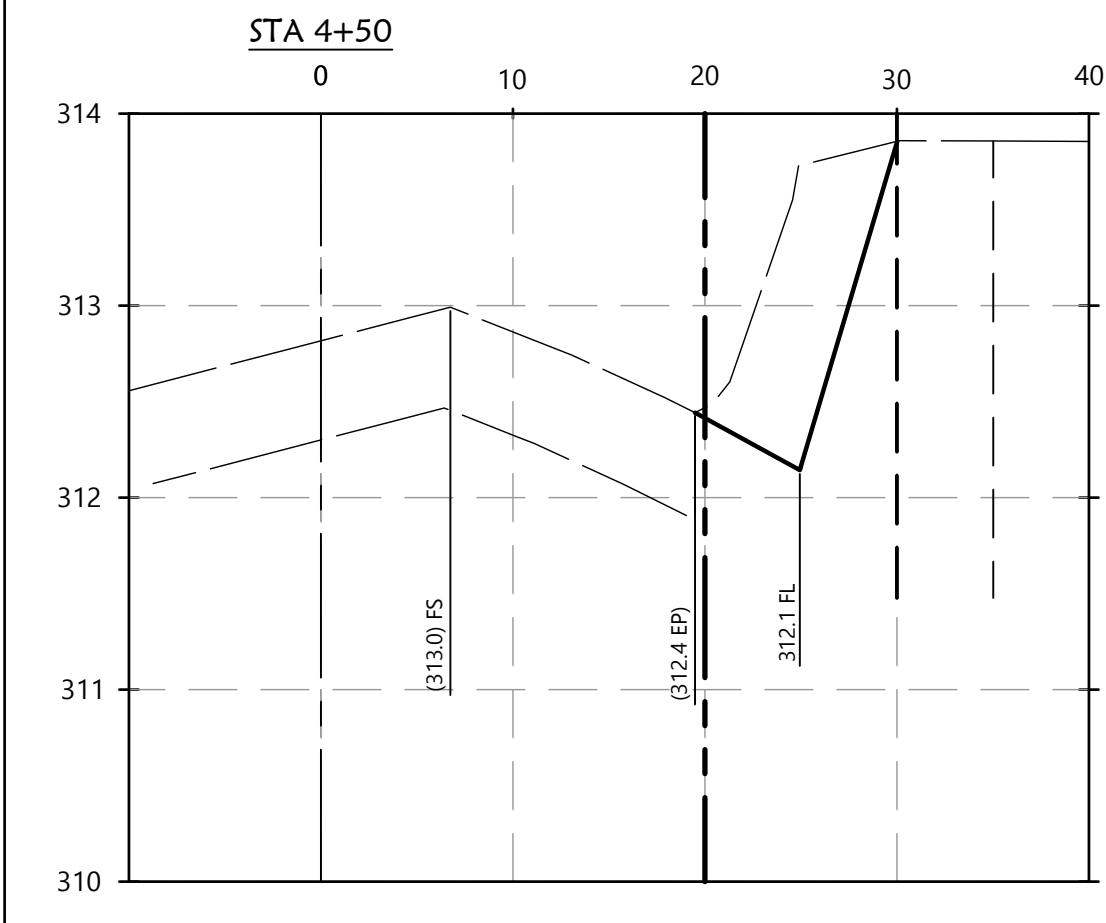
Timothy P. Roberts, RCE 35366 exp 09/30/15 Date  
Revisions This Sheet:  
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Roberts Engineering, Inc.			
Christensen - Orcutt Road - Parcel Map CO 11-0098			
Christensen Way Improvement Plan STA 10+00 - 15+50			
Design/Drawn TR / JTM	County Plan Checker	Approved for County Requirements	
Job # 15-028	County W.O. No.	Development Services Engineer Timothy P. Roberts, RCE 35366 exp 09/30/15	Date 1/11/2016
California Coordinates (CCS83, Zone 5) N 2274690 E 5787090		County Road # 2039	7 of 9





HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 1'

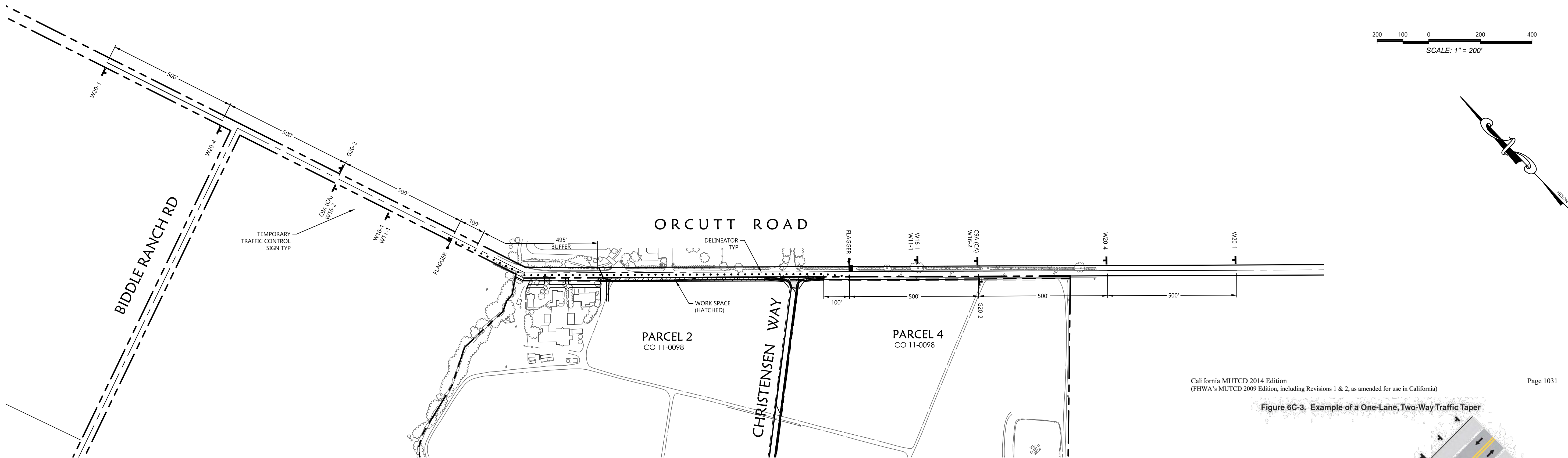


**Roberts Engineering**  
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Record Drawings	
Timothy P. Roberts, RCE 35366 exp 09/30/15	Date
Revisions This Sheet:	
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Roberts Engineering, Inc.			
Christensen - Orcutt Road - Parcel Map CO 11-0098			
Orcutt Road Sections			
Design/Drawn TR / JTM	County Plan Checker .	Approved for County Requirements Development Services Engineer Date	
Job # 15-028	County W.O. No. .	Timothy P. Roberts, RCE 35366 exp 09/30/15 Date 1/11/2016	
California Coordinates (CCS83, Zone 5) N 2274690 E 5787090		County Road # 2039	8 of 9

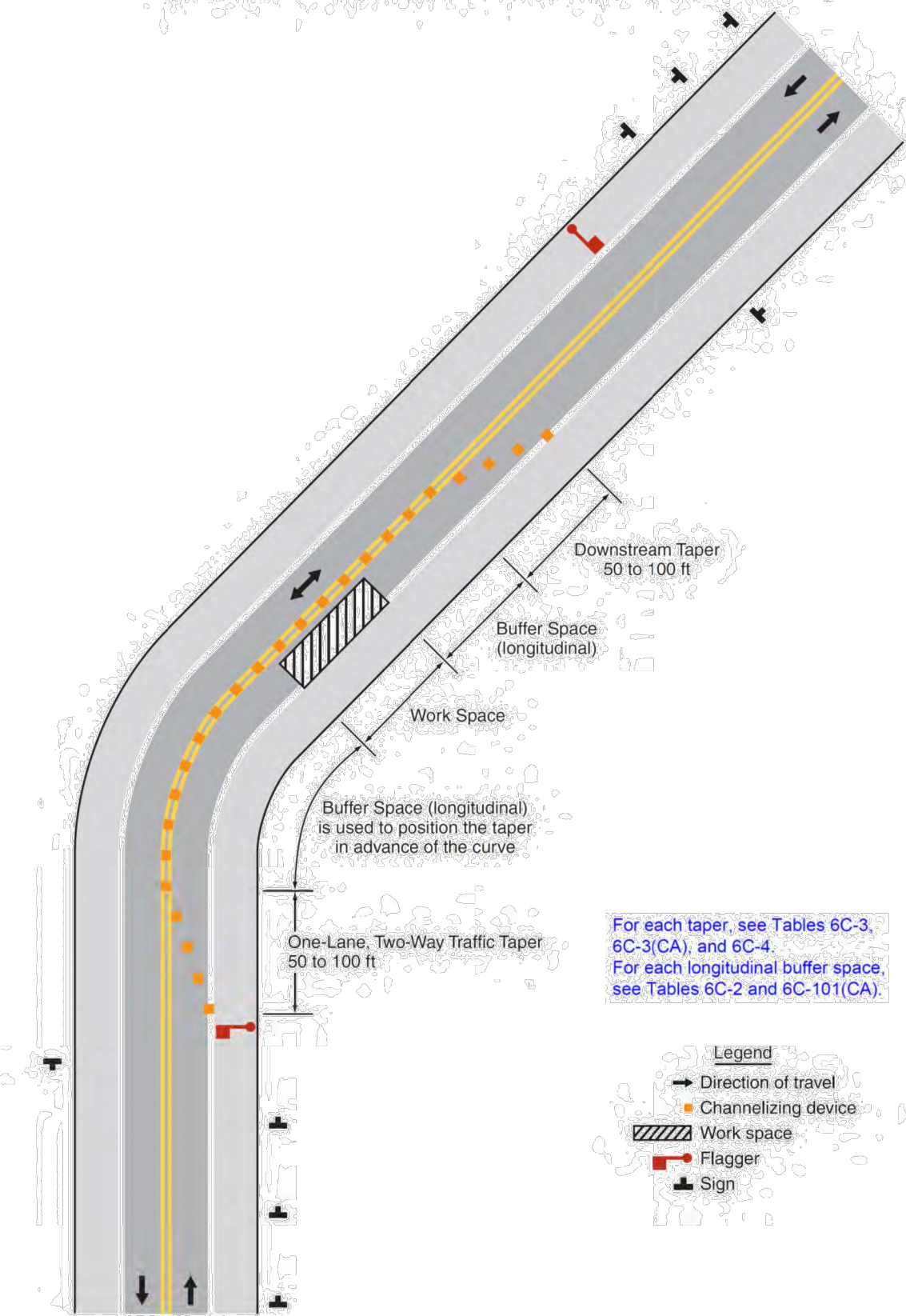




California MUTCD 2014 Edition  
(FHWA's MUTCD 2009 Edition, including Revisions 1 & 2, as amended for use in California)

Page 1031

Figure 6C-3. Example of a One-Lane, Two-Way Traffic Taper



Chapter 6C – Temporary Traffic Control Elements  
Part 6 – Temporary Traffic Control

November 7, 2014

#### TRAFFIC CONTROL NOTES

- The objective of this plan is to safely direct vehicle, bicycle, and pedestrian traffic around 6255 Orcutt Road in San Luis Obispo County, California, to allow contractors to install paving and shoulder improvements, as part of improvements by Christensen Family Trust to 6255 Orcutt Road.
- Emergency services and other appropriate agencies must be notified 14 days prior to initiation of road closure, including:
  - San Luis Obispo county sheriff's department, 781-4550;
  - San Luis Obispo county public works department, 781-5252;
  - California department of forestry & fire protection, 238-2211;
  - California highway patrol, 434-1822 & 459-3261;
  - San Luis ambulance, 543-2626
- All traffic control devices shall conform to the latest edition of Caltrans manual of traffic control devices for construction and maintenance and the standard specifications for public works construction.
- The county public works director or representative has the authority to make field changes to assure public safety.
- All traffic control devices must be removed from view when not in use.
- Work hours shall be restricted to between 8:30 a.m. to 4:00 p.m., unless approved otherwise.
- Trenches must be backfilled or plated during non-working hours.
- Temporary "no parking" signs must be posted 24 hours prior to commencing work.
- Access to driveways must be maintained at all times, unless other arrangements are made.
- All striping removed or damaged must be replaced by the contractor within 24 hours.
- All workers must be equipped with an orange safety vest or equivalent. All flaggers shall be equipped with a hard hat, a "stop/slow" paddle, and shall be trained in the proper fundamentals of flagging traffic.
- The contractor shall maintain all traffic control devices 24 hours per day and 7 days per week, until construction work is completed and the street is reopened.
- The engineer of work shall be responsible to assure that the appropriate existing traffic controls remain in place and functional during all construction phases. Contractor shall cover any conflicting signs that exist along the roadway.
- No work shall commence without construction signs installed and other necessary traffic control devices on site.
- No lane closure shall be permitted during the times shown on the department of public work's "lane closure restriction" list, affected streets will be shown in the encroachment permit.
- At the conclusion of each workday, there shall not be a drop-off along the edge of the traveled way greater than 0.15 ft. "low shoulder" signs shall be placed along the traveled way where there is a drop-off. Drop-offs greater than 0.15 ft will require either: (a) backfilling the drop-off to a minimum 4:1 slope, (b) providing appropriate steel plates over excavation, or (c) providing temporary concrete railing along the work zone in conformance with providing temporary concrete railing along the work zone in conformance with state standard plans and specifications. Excavations beyond eight feet from the travel way may utilize portable delineators at appropriate spacing along with "open trench" signs.
- All paved traveled way surfaces shall be restored to an all-weather, traversable condition at the end of each workday.
- Pedestrian access shall be afforded through the work area either by providing necessary facilities for safe and viable access, or by providing appropriate advance warning to pedestrians to utilize alternate routes. Bicycle routes and lanes, when impacted by construction, shall be signed to afford safe passage through the work zone or to designated alternate routes. For both pedestrians and bicycles, surfaces shall be maintained free of loose debris or gravel.
- No construction equipment or materials shall be parked or stored within six feet of the traveled way. When construction equipment or materials are stored within the right-of-way are further than six feet off the traveled way, the shoulder area shall be signed as closed and portable delineators used to mark a taper in advance of the material or equipment.
- Removal of existing pavement striping may be by sandblasting, hydro blasting, or grinding when the new striping locations will be within two feet of the final stripe locations. When the change of position will be greater than two feet the existing striping shall be completely obscured by use of a type II slurry seal or chip seal over the full width of the roadway. If design speed of road is less than 45 mph, a type II slurry seal per Caltrans standards is required. If design speed of road is greater than 45 mph, a chip seal is required. If determined by the county department of public works that the stripe removal excessively damages the pavement, the developer may be required to use one of the above methods to obscure the existing striping on the full width of the roadway.
- Parking restrictions must be posted 24 hours before work starts. Posting is at the expense of the contractor.
- All private driveways and side streets shall be kept open at all times except when construction takes place directly in front of the driveway/side street.

TRAFFIC SIGN SCHEDULE	
Number	Description
W20-1	ROAD WORK AHEAD
W20-4	ONE LANE ROAD AHEAD
W16-2	500 FEET
C9A (CA)	FLAGGER AHEAD
W16-1	SHARE THE ROAD
W11-1	BICYCLE SIGN
G20-2	END ROAD WORK (OPTIONAL)



#### Roberts Engineering

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Civil Engineer - RCE 35366

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Email robertseng@charter.net

#### Record Drawings

Timothy P. Roberts, RCE 35366 exp 09/30/15	Date
Revisions This Sheet:	
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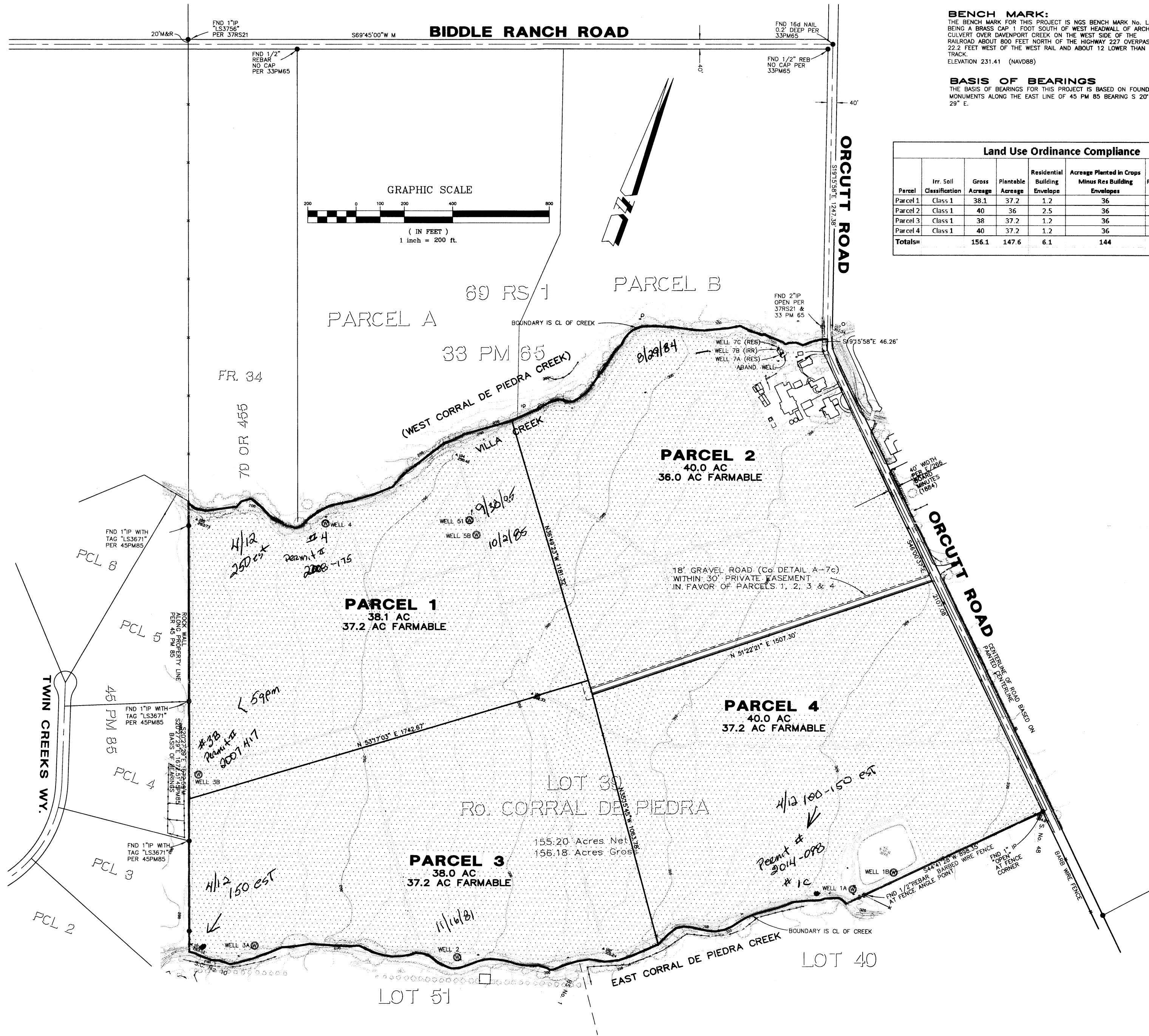
#### Roberts Engineering, Inc.

Christensen - Orcutt Road - Parcel Map CO 11-0098

#### Traffic Control Plan

Design/Drawn TR / JTM	County Plan Checker	Approved for County Requirements
Job # 15-028	County W.O. No.	Development Services Engineer Date
California Coordinates (CCS83, Zone 5) N 2274690 E 5787090	County Road # 2039	1/11/2016 Date
		9 of 9





**BENCH MARK:**  
THE BENCH MARK FOR THIS PROJECT IS NOS BENCH MARK No. L533 BEING A BRASS CAP 1 FOOT SOUTH OF WEST HEADWALL OF ARCH CULVERT OVER DAVENPORT CREEK ON THE WEST SIDE OF THE RAILROAD ABOUT 800 FEET NORTH OF THE HIGHWAY 227 OVERPASS 22.2 FEET WEST OF THE WEST TAIL AND ABOUT 12 LOWER THAN THE TRACK.  
ELEVATION 231.41 (NAVD88)

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG THE EAST LINE OF 45 PM 85 BEARING S 20° 27' 29" E.

Land Use Ordinance Compliance							
Parcel	Tr. Soil Classification	Gross Acreage	Plantable Acreage	Residential Building Envelope	Acreage Planted in Crops Minus Res Building Envelopes	Ordinance Requirement (90%)	Usable Acreage in Excess of LUO Requirement
Parcel 1	Class 1	38.1	37.2	1.2	36	34.29	0.81
Parcel 2	Class 1	40	36	2.5	36	36	0
Parcel 3	Class 1	38	37.2	1.2	36	34.2	1
Parcel 4	Class 1	40	37.2	1.2	36	36	0
<b>Totals=</b>		<b>156.1</b>	<b>147.6</b>	<b>6.1</b>	<b>144</b>	<b>140.49</b>	

**SYMBOL LEGEND:**

— x —	FENCE LINE	— [ ] —	RETAINING WALL
— SS —	SEWER MAIN	— [ ] —	PG&E BOX
— W —	WATER MAIN	— [ ] —	GAS METER
— G —	GAS MAIN	— [ ] —	TELEPHONE BOX
— ETC —	ELEC/TELEPHONE/CABLE	— [ ] —	SIGNAL BOX
— OHE —	OVERHEAD ELECTRIC	— [ ] —	CABLE T.V. BOX
— [ ] —	DROP INLET AT CURB	— [ ] —	ELECTRIC BOX
— [ ] —	DROP INLET	— [ ] —	TELEPHONE MANHOLE
— [ ] —	STORM DRAIN MANHOLE	— [ ] —	STREET LIGHT
— [ ] —	FIRE HYDRANT	— [ ] —	JOINT POLE
— [ ] —	WATER WELL	— [ ] —	POWER POLE
— [ ] —	WATER VALVE	— [ ] —	GUY WIRE
— [ ] —	WATER METER	— [ ] —	
— [ ] —	SEWER MANHOLE	— [ ] —	
— [ ] —	SEWER CLEANOUT	— [ ] —	
		— [ ] —	FARMABLE AREA

**ABBREVIATIONS**

AC	ASPHALT CONCRETE	IP	IRON PIPE
AP	ANGLE POINT	GB	GRADE BREAK
BM	BENCH MARK	GM	GAS METER
BLDG	BUILDING	HP	HIGH POINT
BOW	BACK OF WALK	LT	LIGHT
CB	CATCH BASIN	MH	MANHOLE
CF	CURB FACE	PP	POWER POLE
CO	CLEAN OUT	PVC	POLYVINYL PIPE
COL	COLUMN	RB	REBAR
COR	CORNER	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	R10	CANOPY RADIUS
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CMU	CONCRETE MASONRY UNITS	SL	POINT ON SLOPE
CRN	CROWN OF STREET	SS	SEWER
DI	DROP INLET	STP	STEP
EG	EXISTING GRADE	STR	STAIRS
EP	EDGE OF PAVEMENT	TOP	TOP OF SLOPE
FD	FOUND	TOE	TOE OF SLOPE
FL	FLOW LINE	TW	TOP OF WALL
FF	FINISH FLOOR	W	WATER
FW	FACE OF WALL	WL	WALL
HSE	HOUSE COR	WM	WATER METER
GR	GRASS	WV	WATER VALVE
GM	GAS METER		
IP	IRON PIPE		

DI-1.5FL TOP OF GRATE -1.5' FLOW LINE

**PROJECT DATA**

- PROJECT ADDRESS: 6255 ORCUTT ROAD
- TRACT SIZE: SAN LUIS OBISPO 156.18 AC GROSS
- ZONING: AG
- CABLE: CHARTER COMMUNICATIONS
- WATER SUPPLY: PRIVATE WELLS
- SEWAGE DISPOSAL: PRIVATE SEPTIC SYS.
- GAS: SOUTHERN CALIFORNIA GAS CO
- ELECTRICITY: PACIFIC GAS & ELECTRIC
- TELEPHONE: AT&T

**SUBDIVISION NOTES:**

- MINIMUM PARCEL SIZE IS 20 ACRES BASED ON WILLIAMSON ACT UPDATE
- DRIVEWAY TO PARCELS WILL BE A GRAVEL ROAD WITHIN A 30 FOOT WIDE PRIVATE EASEMENT.
- FUTURE BUILDING ENVELOPES SHALL BE LOCATED CLOSE TO EXISTING ROADS AND ON THE PERIMETER OF THE FARM FIELDS TO MINIMIZE THE CONVERSION OF AGRICULTURAL LAND AND TO ENSURE THE LONG TERM PROTECTION OF AGRICULTURAL RESOURCES.
- FUTURE BUILDING ENVELOPES ON PARCELS 1, 3 AND 4 SHALL BE LOCATED A MINIMUM OF 100 FEET FROM EAST CORRAL DE PIEDRA CREEK AND WEST CORRAL DE PIEDRA CREEK.

**PREPARED FOR:**  
**OWNER:**  
CHRISTENSEN FAMILY TRUST  
6255 ORCUTT ROAD  
SAN LUIS OBISPO CA 93401  
CONTACT:

**AGENT/PLANNER:**  
CONTACT:  
JAMIE KIRK  
KIRK CONSULTING  
8830 MORRO ROAD  
ATASCADERO, CA 93442  
(805)461-5765 EXT 11  
jamie@kirk-consulting.net

**PREPARED BY:**  
SURVEYOR  
MICHAEL STANTON  
MBS LAND SURVEYS  
3563 SUELDO STREET, SUITE Q  
SAN LUIS OBISPO, CA 93401  
805-594-1960  
mike@mbslandsurveys.com

**SITE DATA:**  
ADDRESS: 6255 ORCUTT ROAD, SAN LUIS OBISPO CA 93401  
ASSESSOR'S PARCEL NO. APN 44-110-001  
TOTAL AREA = 155.20 ACRES NET (TO EDGE OF RIGHT OF WAY)  
TOTAL AREA = 156.18 ACRES GROSS (TO CENTERLINE OF ROAD).

## VESTING TENTATIVE PARCEL MAP CO 11-0098

LOT 39 OF THE SUBDIVISIONS OF THE RANCHOS CORRAL DE PIEDRA, PISMO AND BOLSA DE CHAMISAL AS SHOWN ON MAP BY JAS. T. STRATTON, 1873, IN BOOK A OF MAPS AT PAGE 65, IN THE COUNTY OF SAN LUIS OBISPO, CALIFORNIA

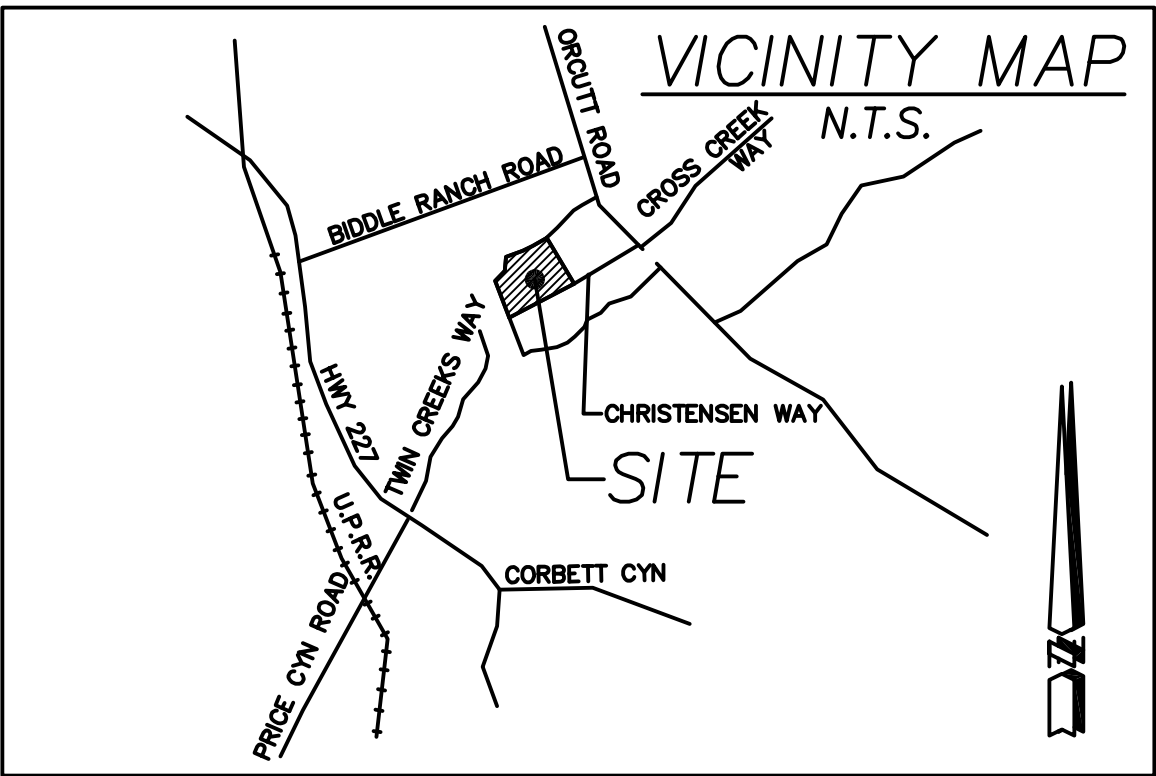
AT THE REQUEST OF THE CHRISTENSEN TRUST

MAY, 2013 SCALE: 1"=200'

**MBS** LAND SURVEYS  
MICHAEL B. STANTON, PLS 5702  
3563 SUELDO ST. UNIT Q  
SAN LUIS OBISPO, CA 93401  
805-594-1960

JOB No. 11-057





PROJECT NOTES

1. PROJECT APN: 044-111-003
2. PROJECT ADDRESS: NONE ASSIGNED  
SAN LUIS OBISPO, CA 93401
3. PROJECT DESCRIPTION: OUTDOOR CANNABIS  
CULTIVATION- THREE ACRES TOTAL (HOOP HOUSES)
4. TOTAL PROPERTY ACREAGE: 38.11
5. ZONING: AGRICULTURE

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
①	SITE BOUNDARY, FENCING TO BE COMPLIANT WITH STATE STANDARDS
②	EXISTING WELL
③	EXISTING TOP OF CREEK BANK
④	PROPOSED 16' WIDE PROPOSED GRAVEL ACCESS ROAD
⑤	PROPOSED 5000 GALLON WATER TANK

PLANNER CONTACT:  
ANGLE LAND USE ENTITLEMENT  
MANDI PICKENS  
angle.planning@gmail.com  
805-459-5334

Orcutt Road  
CANNABIS CULTIVATION  
San Luis Obispo, CA 93401  
APN: 044-111-003

APPLICANT:  
JOHN KHALLAGHI  
1779 O'CONNOR WAY  
SAN LUIS OBISPO, CA  
93405

DRAWN BY: GLG

DATE: 8/31/2018

SHEET: 1 of 1