



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
TREVOR KEITH, *DIRECTOR*

THIS IS A NEW PROJECT REFERRAL

DATE: 12/14/2018

TO: District 1 Legislative Assistant, Agricultural Commissioner, Building Department, Public Works, Assessor, Air Pollution Control District, Environmental Health Department, Cal Fire/County Fire, Sheriff, California Fish and Wildlife, US Fish and Wildlife, RWQCB, County of Monterey, AB52

FROM: Young Choi (ychoi@co.slo.ca.us or 805-788-2086)

PROJECT NUMBER & NAME: DRC2018-00223 KALLEN_WERNER_GREENMILK LLC

PROJECT DESCRIPTION: Proposed Conditional Use Permit for cannabis cultivation, manufacturing, non-storefront retail, and distribution (transport-only) to be located at 2685 Lynch Canyon Rd. Bradley, CA 93426

APN(s): 080-021-005

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART I: IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- ☐ YES (Please go on to PART II.)
- ☐ NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II: ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- ☐ YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- ☐ NO (Please go on to PART III.)

PART III: INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone



GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- ☐ Emergency Permit
 ☐ Tree Permit
 ☐ Minor Use Permit
☐ Conditional Use Permit/Development Plan
 ☐ Plot Plan
☐ Curb, Gutter & Sidewalk Waiver
 ☐ Other
 ☐ Site Plan
☐ Surface Mining/Reclamation Plan
 ☐ Zoning Clearance
☐ Amendment to approved land use permit
 ☐ Variance

Department Use Only
Do Not Mark
(Staff Apply Label Here)

APPLICANT INFORMATION Check box for contact

person assigned to this project

☐ Landowner Name GREENMILK LLC Daytime Phone 310-880-7155
 Mailing Address 3806 CROSS CREEK ROAD, UNIT C, MALIBU, CA Zip Code 90265
 Email Address: ADVISOR@DIRECTORSLA.COM

☐ Applicant Name SAMB Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

☐ Agent Name ROB MILLER Daytime Phone 805 544-4011
 Mailing Address 612 CLARION CT SLO CA 93401 Zip Code 93401
 Email Address: ROBM@WALLACEGROUP.US

PROPERTY INFORMATION

Total Size of Site: 156.27 AC Assessor Parcel Number(s): 080-021-005

Legal Description: AC

Address of the project (if known): 2685 LYNCH CANYON ROAD, BRADLEY, CA 93426

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: WENDY WY OFF OF LYNCH CANYON

Describe current uses, existing structures, and other improvements and vegetation on the property:

AC CROSSLAND

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): CANNABIS CULTIVATION (OUTDOOR GREENHOUSE) NURSERY, PRODUCTION AND PROCESSING

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Greenmilk LLC Date 11-27-2018

FOR STAFF USE ONLY



LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: ☒ Commercial ☐ Industrial ☐ Residential ☐ Recreational ☐ Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: Wendy Way / Interlakes Rd

Surrounding parcel ownership: Do you own adjacent property? ☐ Yes ☒ No

If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: AG/RL South: AG
East: AG West: AG/RL

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 61,600 sq. feet _____% Landscaping: _____ sq. feet _____%
Paving: 33,580 sq. feet _____% Other (specify) _____
Total area of all paving and structures: 95,180 ☒ sq. feet ☐ acres
Total area of grading or removal of ground cover: 185,000 ☒ sq. feet ☐ acres
Number of parking spaces proposed: 66 Height of tallest structure: 22'-6"
Number of trees to be removed: 0 Type: _____
Setbacks: Front 77' Right 27' Left 724' Back 1,062'

Proposed water source: ☒ On-site well ☐ Shared well ☐ Other _____

☐ Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

Proposed sewage disposal: ☒ Individual on-site system ☐ Other _____

☐ Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CAL FIRE

For commercial/industrial projects answer the following:

Total outdoor use area: 2.6 ☐ sq. feet ☒ acres
Total floor area of all structures including upper stories: 61,600 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____
Total floor area of all structures including upper stories, but not garages and carports: _____ sf
Total of area of the lot(s) minus building footprint and parking spaces: _____ sf



File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 4.4 acres
Moderate slopes - 10-20%: .12 acres
20-30%: _____ acres
Steep slopes over 30%: _____ acres
2. Are there any springs, streams, lakes or marshes on or near the site? ☒ Yes ☐ No
If yes, please describe: UNNAMED SEASONAL STREAM
3. Are there any flooding problems on the site or in the surrounding area? ☐ Yes ☒ No
If yes, please describe: _____
4. Has a drainage plan been prepared? ☒ Yes ☐ No
If yes, please include with application.
5. Has there been any grading or earthwork on the project site? ☐ Yes ☒ No
If yes, please explain: _____
6. Has a grading plan been prepared? ☒ Yes ☐ No
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? ☐ Yes ☒ No
8. Is a railroad or highway within 300 feet of your project site? ☐ Yes ☒ No
9. Can the proposed project be seen from surrounding public roads? ☒ Yes ☐ No
If yes, please list: INTERLAKE RD

Water Supply Information

1. What type of water supply is proposed?
☒ Individual well ☐ Shared well ☐ Community water system
2. What is the proposed use of the water?
☐ Residential ☒ Agricultural - Explain CANNABIS CULTIVATION
☒ Commercial/Office - Explain BOTANICAL
☐ Industrial - Explain _____
3. What is the expected daily water demand associated with the project? 2,100 GPD
4. How many service connections will be required? 1
5. Do operable water facilities exist on the site?
☒ Yes ☐ No If yes, please describe: NEW WELL
6. Has there been a sustained yield test on proposed or existing wells?
☒ Yes ☐ No If yes, please attach. IN PROGRESS
7. Does water meet the Health Agency's quality requirements? IN PROGRESS
Bacteriological? ☐ Yes ☐ No
Chemical? ☐ Yes ☐ No
Physical ☐ Yes ☐ No
Water analysis report submitted? ☐ Yes ☐ No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
☐ Well Driller's Letter ☐ Water Quality Analysis (☐ OK or ☐ Problems) IN PROGRESS
☐ Will Serve Letter ☐ Pump Test _____ Hours / _____ GPM IN PROGRESS
☐ Surrounding Well Logs ☐ Hydrologic Study ☐ Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
☒ Yes ☐ No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? TBD feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
☐ Yes ☒ No
4. Has a piezometer test been completed?
☐ Yes ☒ No If 'Yes', please attach.
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
☐ Yes ☒ No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? ☐ Yes ☐ No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ GPD
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? ☐ Yes ☐ No

Solid Waste Information

1. What type of solid waste will be generated by the project?
☐ Domestic ☐ Industrial ☒ Agricultural ☐ Other, please explain? _____
2. Name of Solid Waste Disposal Company: SAN MIGUEL COMBAGS
3. Where is the waste disposal storage in relation to buildings? EXTERIOR DUMPSTER
4. Does your project design include an area for collecting recyclable materials and/or composting materials?
☒ Yes ☐ No

Community Service Information

1. Name of School District: SAN MIGUEL JUSD
2. Location of nearest police station: SLO SHERIFF NORTH STATION, TEMPLETON
3. Location of nearest fire station: OAK SNOW'S FIRE STATION
4. Location of nearest public transit stop: N/A
5. Are services (grocery/other shopping) within walking distance (1/2 mile or closer) of the project?
☐ Yes ☒ No

Historic and Archeological Information

1. Please describe the historic use of the property: CATTLE CORATING
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? ☒ Yes ☐ No
If yes, please describe: SEE ARCH REPORT
3. Has an archaeological surface survey been done for the project site? ☒ Yes ☐ No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: 7 DAYS/WK Hours of Operation: 8-5
2. How many people will this project employ? _____
3. Will employees work in shifts? ☐ Yes ☒ No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
☒ Yes ☐ No If yes, please explain: CONSISTENT W OUTDOOR CANNABIS CULTIVATION
5. Will this project increase the noise level in the immediate vicinity? ☒ Yes ☐ No
If yes, please explain: CONSISTENT W A NURSERY/GREENHOUSE
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail:
RECYCLABLES - PLASTIC BOTTLES AND CARDBOARD BOXES
7. Will hazardous products be used or stored on-site? ☒ Yes ☐ No
If yes, please describe in detail: SEE ENCLOSED INFORMATION
8. Has a traffic study been prepared? ☒ Yes ☐ No If yes, please attach a copy.
9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 11 Between 4:00 to 6:00 p.m. 11

10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees ☐ Yes ☒ No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
☐ Yes ☒ No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? ☒ Yes ☐ No
2. If yes, is the site currently under land conservation contract? ☐ Yes ☒ No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

REQUIRES IRRIGATION FOR USE OTHER THAN GRAZING

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan): _____
2. Will the development occur in phases? ☐ Yes ☒ No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? ☒ Yes ☐ No If yes, explain: _____
- OFFICE WAREHOUSE EXPANSION
4. Are there any proposed or existing deed restrictions? ☐ Yes ☒ No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: No

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
PLACING FOR SCREENING PURPOSES
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? ☐ Yes ☒ No SPECIAL SPECIES
If yes, please list: SEE BIO ASSESSMENT

3. Are you aware of any previous environmental determinations for all or portions of this property?

☐ Yes ☒ No

If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): STATE CULTIVATION AND DISTRIBUTION LICENSE

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned to the project)



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
CANNABIS APPLICATION SUPPLEMENT

PLN-2018
12/8/2017

The following information is required in addition to the Land Use Permit Application.

Cannabis Activities Proposed

☒ Cultivation
☐ Testing Facility

☒ Nursery
☒ Dispensary

☒ Manufacturing Facility
☒ Distribution Facility

For Cultivation and Nurseries ONLY

Approved Cooperative/Collective Registration number. *Note: If you do not hold an approved cooperative/collective registration, you cannot apply for cultivation until 2019.*

Approved registration number: CCM2016-00257 and CCM 2016-00296

What is the applicant on the approved registration? *Note: The applicant name on the registration must match the applicant name on the land use permit.*

Name of applicant: Green Milk LLC

Are you planning on cultivating on the same site that a registration was approved for?

☐ Yes ☒ No

What type of State cultivation license are you seeking?

☒ Type 1
☐ Type 5
☒ Mixed-light

☒ Type 2
☐ Microbusiness

☒ Type 3
☒ Indoor

☒ Type 4
☒ Outdoor

Designate the total square footage of your cultivation canopy area(s). This is not necessarily the maximum canopy size allowed by the tier of license for which you are applying, but the amount of canopy area you intend to produce. If you intend to have multiple canopy area locations, include only the total square footage of the total canopy.

65,560

Check one or more of the following that apply and attach a detailed diagram of your designated canopy area. Include specific dimensions, in feet and inches, in the diagram. If you have only a single canopy area, clearly indicate that. If you are designating multiple canopy areas, clearly identify the square footage and dimensions of each area and how it is separated from other canopy areas. Note that if you are designating multiple canopy areas you must separate each area by a physical boundary such as an interior wall. Vertically stacked canopy areas must be identified as such in the detailed diagram submitted by applicants.

I have designated the specific area and dimensions of my newly designated canopy area(s):

CANNABIS APPLICATION SUPPLEMENT

- ☐ On my floor plan submitted with the application
☐ On an additional document submitted with my application

Record your estimates of electrical usage in kilowatt-hours (kWh). To determine how many kWh a piece of equipment uses, take the following steps:

- Determine the wattage of the device by checking manufacturer specifications
- Multiply this number by the number of hours each month the device will be in use to determine watt-hours.
- Divide each month's watt-hours by 1,000 to determine kWh. Round to three decimal places.
- Repeat this for each piece of equipment and the total amounts for each month.
- Estimates should assume the business is in full production for each month.

Describe all sources of electrical power and the total annual kWh expected to be drawn from each. For example, if the operation uses on-site power generation from a source such as solar panels, document the amount of power you expect to use from that source in addition to any other sources.

Source or utility name	Expected kWh drawn annually
Generation	343,000 kWh
PG&E	343,000 kWh
Total Annual kWh:	

(Preliminary)

Clearly identify the measurement unit you are using to estimate or report your water usage. If you are using multiple units, you may use additional columns to record that information. If you are using reclaimed water, identify that as a source. If you are utilizing more sources of water than may be included on this form, you may include that information on a separate page submitted with this application.

Estimate the total water used in the production of marijuana by month. If recording estimates for multiple sources, estimate these amounts separately.

Source	On Site Well		
Month and Year			
1	0.15 (LF)		
2	0.15		
3	0.20		
4	0.25		
5	0.25		
6	0.25		
7	0.28		
8	0.25		
9	0.24		
10	0.15		
11	0.15		
12	0.15		
Totals	2.36		

CANNABIS APPLICATION SUPPLEMENT

Do you plan on using pesticides?

☒ Yes ☐ No

List of pesticides anticipated to be used: See Attached

For Manufacturing ONLY

What type of State manufacturing license are you seeking? Note: Volatile manufacturing is prohibited.

☐ Type 6 ☒ Type 7 ☒ Type N ☒ Type P
☐ Microbusiness

What type of products do you plan on manufacturing?

☒ Oils ☐ Edibles ☒ Topicals ☒ Other _____

Will the facility be utilizing a closed-loop extraction system?

☐ Yes ☒ No

(If extracting) What types of extraction will you be performing?

☐ Butane ☐ Propane ☐ Hexane ☒ Carbon Dioxide
☒ Ethanol ☒ Mechanical ☐ None
☐ Other _____

For Distribution ONLY

What type of State distribution license are you seeking?

☐ Type 11 ☐ Type 11 – Transport Only

Will you be operating a storage-only business?

☐ Yes ☒ No

How many vehicles do you anticipate transporting/distributing product?

☒ 1-5 ☐ 6-10 ☐ 11+ ☐ N/A Storage Only/Other

CANNABIS APPLICATION SUPPLEMENT

For Dispensaries ONLY

What type of State dispensary license are you seeking? *Note: Dispensaries are not allowed to have storefronts open to the public.*

☒ Type 9 – non-storefront dispensary

☐ Type 10

☐ Microbusiness

Will you be delivering to other jurisdictions?

☒ Yes

☐ No

How many vehicles do you anticipate delivering product?

☒ 1-5

☐ 6-10

☐ 11+

☐ N/A Storage Only/Other

How many deliveries per day do you anticipate delivering product?

☐ <10

☐ 11-50

☒ 51-100

☐ >100

☐ N/A Storage Only/Other

November 30, 2018

Cassidy McSurdy
County of San Luis Obispo
Planning and Building
1055 Monterey St.
San Luis Obispo, CA 93401



CIVIL AND
TRANSPORTATION
ENGINEERING

CONSTRUCTION
MANAGEMENT

LANDSCAPE
ARCHITECTURE

MECHANICAL
ENGINEERING

PLANNING

PUBLIC WORKS
ADMINISTRATION

SURVEYING /
GIS SOLUTIONS

WATER RESOURCES

Subject: Greenmilk LLC Permit Application

Dear Ms. McSurdy,

Please find enclosed the Permit Application package for the Greenmilk LLC project located at 2685 Lynch Canyon Road, Bradley, CA. The application includes the items outlined below:

1. General Application Form including the Land Use Permit Application and associated forms
2. Cannabis Application Supplement
3. Project Drawings including the following
 - a. Architectural Drawings (Preliminary Floor Plans and Architectural Elevations
 - b. Grading and Drainage Plan
4. Water Management Plan
5. Percolation Testing Results
6. Cultural Resources Report (2) Copies
7. Materials Storage Plan, List of Hazardous Products stored on site.
8. Traffic Study for the Project
9. Biological Assessment Report
10. Electrical Demand Analysis
11. Proof Of Legal Access - Parcel Summary Report

Additional Information:

1. A complete geotechnical report is in progress. Percolation data has been included with this application
2. Odor management will be performed via equipment located at the greenhouse to remove odors
3. Waste Management Plan – Cannabis waste material from the cultivation site will be potentially composted on site. Any additional waste and recyclables will be contained in sperate properly marked receptacles and will be disposed of weekly by San Miguel Garbage Company.
4. Security plan will include fencing, cameras and other security measures

The following Items were evaluated and are not included

1. Noise Study – there will be no adverse effect or disturbance to the surrounding property as a result of this project other than vehicle traffic associated with a nursery operation. No heavy or noisy machinery will be used daily.

WALLACE GROUP
A California Corporation

612 CLARION CT
SAN LUIS OBISPO
CALIFORNIA 93401

T 805 544-4011
F 805 544-4294

www.wallacegroup.us



2. Visual Analysis – The proposed project will not obstruct any neighboring views. All cannabis will be grown in either hoop houses or greenhouses/nursery and the entire area will be fenced off.

Sincerely,

WALLACE GROUP

A handwritten signature in blue ink, appearing to be "R. Miller", written over the printed name.

Robert Miller, P.E.
Principal

LIST OF ALL PESTICIDES, FERTILIZERS AND ANY OTHER HAZARDOUS MATERIALS KEPT ON SITE

It is the intention for the greenhouse to be 100% organic. Fertilizers and Pesticides will be stored in a locked cabinet within the Facility. There will be a detailed safety manual for the employees on how to handle the chemicals per OSHA Standards

Hazardous Materials

1. The extraction will require the use of a non-volatile gas and ethanol.
 - a. 10-15 medical grade CO2 canisters onsite at any given time. This information is based off an Apeks Duplex 2000psi
 - b. 50-100 gallons of Ethanol
2. Until the interconnection process with PG&E for electrical service is complete the facility will be powered by a propane fueled generator
 - a. 2 – Propane Tanks (size TBD)

Pesticides, Herbicides (Types, quantities)

1. Identified below with 5-10 gallons of two or more of these onsite at any one time

Manufacturer	Common Name	Active Ingredient
Marrone Bio Innovations	Regalia	Extract of Reynoutria Sachalinensis
Bayer	Serenade	QT 713 strain of Bacillus Subtilis
Valent	Pyganic EC 5.0	Pyrethrins
Marrone Bio Innovations	Grandevo	Chromobacterium Subtsugae PRAA4-1
Marrone Bio Innovations	Venerate	Burkholderia spp. strain A396
Bionide	Sulphur	Sulfur
Pathogen Zero	Pathogen Zero	Citric Acid
BioSafe Systems	Zerotol 2.0	Hydrogen Dioxide, Peroxyacetic Acid
Food Grade	Food Grade Hydrogen Peroxide 32%	Hydrogen peroxide
Greenspire Global Inc.	Proacidic 2	Citric Acid

MEMORANDUM

Date: November 29, 2018

To: Greenmilk, LLC
3806 Cross Creek Road, Unit C
Malibu, CA 90265

From: Shannon Jessica, PE
Wallace Group
612 Clarion Ct.
San Luis Obispo, CA 93401

Subject: Water Use Estimates for APN: 080-021-005 Cannabis Cultivation Operation

Wallace Group has been retained to estimate the water demand for the purpose of applying for a Use Permit for cannabis cultivation though San Luis Obispo County. The proposed grow operation located at APN: 080-021-005 in Paso Robles/Oak Shores area includes the following:

- Outdoor – 1 acre canopy hoophouse/outdoor cultivation
- Indoor/Greenhouse – 22,000 square feet canopy in 6 greenhouses

The recently adopted Cannabis Land Use Ordinance for San Luis Obispo County requires that applicants submit a detailed water management plan as part of the application package. The water management plan shall include proposed water supply, proposed conservation measures, and any water offset requirements. The following memorandum has been developed to outline the proposed water demand and associated offset required for the proposed development.

While published water use values have not yet been consistently established in the industry, the Central Coast Regional Water Quality Control Board (RWQCB) cannabis development team uses an estimate of 0.03 gal/sf canopy/day for outdoor cannabis plants and an application rate of 0.1 gallons per square foot of canopy for indoor grow operations. These values are derived from the *Santa Cruz County Draft Environmental Impact Report (EIR) for the Commercial Cannabis Cultivation and Manufacturing Regulations and Licensing Program (August 2017)*¹. In section 3.0, pages 3-16 and 3-17 of the EIR, it is described that the water application rates used are derived from a study in Humboldt County by Milewide Nursery². The Milewide Nursery study includes a breakdown of the per yield water use. The study based their results on a 90-day cycle and estimate that two growing cycles could be completed in a year for outdoor cultivation and an estimated 270 days growing season, or 3 cycles per year, for indoor cultivation. The water application rates referenced in the Milewide study and the Santa Cruz EIR are the rates used in this report for calculation of indoor and outdoor cultivation irrigation demand.

¹Santa Cruz County Draft Environmental Impact Report (EIR) for the Commercial Cannabis Cultivation and Manufacturing Regulations and Licensing Program (August 2017)
[http://www.sccoplanning.com/PlanningHome/Environmental/CEQAInitialStudiesEIRs/CannabisRegulationsEnvironmentalReview/CannabisEnvironmentalImpactReport\(EIR\).aspx](http://www.sccoplanning.com/PlanningHome/Environmental/CEQAInitialStudiesEIRs/CannabisRegulationsEnvironmentalReview/CannabisEnvironmentalImpactReport(EIR).aspx)
²<https://humboldtgrower.wordpress.com/2015/05/07/may-2015-humboldt-county-cannabis-water-use-study/>



CIVIL AND
TRANSPORTATION
ENGINEERING

CONSTRUCTION
MANAGEMENT

LANDSCAPE
ARCHITECTURE

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Table 1 outlines the proposed water demand for this project. Table 2 outlines the proposed monthly water use, based on the total water demand for the grow operation. Local evapotranspiration data was used to extrapolate the annual outdoor water use to monthly estimates.

Table 1: Annual Water Estimates			
Use	Rate	Gross Demand (gallons/ year)	Gross Demand (AFY)
Outdoor Grow: 1 Acre	43,560 sf canopy x 0.03 gal/sf/day x 150 days	196,020	0.6
Greenhouse Grow: 22,000 sf	22,000 square feet canopy area x 0.1 gal/sf/day x 260 days	572,000	1.76
Net Water Demand			2.36

Table 2. Estimated Monthly Water Demand for Cannabis Grow Operation

Month	ET _o (in)**	Outdoor ET _o (%)	Outdoor Water Use/Month (AF)	Indoor/Greenhouse Water Use/Month (AF)	Total Water Use/Month (AF)
October	3.33	-	-	0.15	0.15
November	2.19	-	-	0.15	0.15
December	1.36	-	-	0.15	0.15
January	1.44	-	-	0.15	0.15
February	1.78	-	-	0.15	0.15
March	2.78	-	-	0.15	0.20
April	3.35	9.5%	0.06	0.15	0.25
May	6.13	17.3%	0.10	0.15	0.25
June	6.15	17.4%	0.10	0.15	0.25
July	8.15	23.0%	0.14	0.15	0.28
August	6.15	17.4%	0.10	0.15	0.25
September	5.47	15.5%	0.09	0.15	0.24
Total	48.27	100%	0.60	1.76	2.36

**Evaporation data from California Department of Water Resources. Nacimiento Dam Station T09 6056
00



Water Supply

Water supply will be provided by an on-site groundwater well. The existing well produces 30 gpm. At this rate, the well pump would need to run approximately 1.7 hours per day during the growing season to provide for daily irrigation demands. The existing well has the approximate capacity for the proposed cultivation/irrigation demand. The project is not located within the Paso Robles Groundwater Basin, therefore a water offset calculation is not required.

Storm Water Control Plan

This site is outside the MS4 area and therefore will not be required to prepare a Storm Water Control Plan. Soil disturbance will exceed 1 acre, therefore a Storm Water Pollution Prevention Plan (SWPPP) will be required for construction/grading.

California Department of Fish and Wildlife

Because the project will be using an existing groundwater well for water supply, the owner will not need to obtain a General Agreement or Lake or Streambed Alteration (LSA) permit through California Department of Fish and Wildlife (CDFW). However, annual licenses for cannabis cultivation issued by California Department of Food and Agriculture (CDFA) will require the owner to demonstrate by written verification from CDFW that an LSA Agreement is not required. This is accomplished by submitting a self-certification application on the CDFW webpage and obtaining written correspondence from CDFW verifying that the LSA is not required for this project.

Regional Water Quality Control Board

Typical cannabis cultivation activities can generate wastewater such as reverse osmosis backwash, hydroponic solutions, irrigation tail water, and sanitation activities, etc. These activities will be monitored by the Regional Water Quality Control Board.

Regardless of the process wastewater discharge strategy, the RWQCB will require that cannabis cultivation operations enroll in the General Waste Discharge Requirements for Waste Associated with Cannabis Cultivation Activities (Cannabis General Order). The Cannabis Policy and General Order apply to commercial cannabis cultivation activities and enrollment in the General Order will be required for all commercial cultivation activities.

Coverage under the General Order is obtained by applying through the online application portal on the Regional Water Quality Control Board website. After the application is submitted and the application fee paid, the RWQCB will issue a Notice of Applicability (NOA). The NOA can be presented to the CDFA to obtain a commercial cannabis cultivation license. The application portal is located at: www.waterboards.ca.gov/cannabis.



MEMORANDUM

Date: October 10, 2018
To: Tom Zehnder, Wallace Group
From: Joe Fernandez and Travis Low, CCTC
Subject: **Interlake Road Cannabis Cultivation Facility Trip Generation**

This memorandum summarizes the trip generation estimates and collision analysis for the cannabis cultivation facility proposed near Interlake Road in unincorporated San Luis Obispo County. Two site location options are under consideration, one on Lynch Canyon Road and the other on Wendy Way. The analysis that follows would apply regardless of which single option is selected. If both locations were developed the trip estimates would double.

The following uses are proposed:

- Indoor Cultivation: 22,000 square feet (SF) greenhouse and 12,000 SF nursery.
- Office: 10,000 SF.

TRIP GENERATION ESTIMATE

The trip generation estimate was developed using the County's rates for cannabis land uses. Trip generation for the proposed project is shown in Table 1.

Table 1: Weekday Vehicle Trip Generation					
Land Use	Size ¹	Daily	PM Peak Hour		
			In	Out	Total
Indoor Cultivation	34 KSF	9	0	1	1
Office	10 KSF	70	1	9	10
Total		79	1	10	11
1) KSF: Thousand Square Feet Source: County of San Luis Obispo, 2018; CCTC, 2018.					

The project is expected to generate 79 vehicle trips per weekday, including 11 vehicle trips during the PM peak hour.

COLLISION ANALYSIS

Three years of collision records on Interlake Road between Wendy Way and Nacimiento Lake Drive from 2015-2017 were obtained from the Statewide Integrated Traffic Records System (SWITRS). Average Daily Traffic data for Interlake Road west of Nacimiento Lake Drive was obtained from the County and used in the collision rate calculation. The results are shown in Table 2.

Table 2: Collision Rate Summary			
Location	ADT ¹	Collisions ²	Collision Rate ³
Interlake Road (Wendy Way to Nacimiento Lake Drive)	926	6	0.88
1. Average daily traffic 2. Based on SWITRS data from January 1, 2015 to December 31, 2017. 3. Collisions per million vehicle miles			

There were six reported collisions during the three-year period, which results in a collision rate of 0.88. This is below the average collision rate for County roads of 1.15.

CONCLUSIONS

The project would have a minor trip generation rate, adding 11 PM peak hour trips to the adjacent roadway network. The project would not have a noticeable impact on area roadway operations. Additionally, the studied segment of Interlake Road has a collision rate below the average rate for County roads. No improvements are recommended.

Please let us know if you have any questions.

Electrical Load Estimates

Lighting	Count	Voltage (V)	Current (A)	Power (kW)	Hrs/ Month	kWh
HPS in the Flower Zone (Greenhouse)	400	277	3.77	417.7	360	150378
HPS in the Flower Zone (Nursery)	200	277	3.77	208.9	720	150378
Cooling	Count	Voltage	Current (A)	Power (kW)	Hrs/ Month	kWh
54" 1- HP single speed 3 Phase Exhaust Fans	20	460	1.7	15.6	720	11261
24" 3/4-HP two speed exhaust fans	5	115	6.8	3.9	720	2815
Evaporative pad wall pumps	4	115	11	5.1	360	1822
Drive motor for roof vents in corridor (1/20 HP)	10	115	0.68	0.8	360	282
Drive motor for vent on evap pad wall	4	480	0.87	1.7	360	601
Shutters on upper gable wall	10	120	0.28	0.3	360	121
Vertical air flow fans for mixing	15	460	0.6	4.1	360	1490
Fogco Odor Mitigation Pump, VFD 10.6 gpm	1	480	12	5.8	720	4147
Fogco Zone Valves	6	480	1	2.9	720	2074
Heating	Count	Voltage	Current (A)	Power (kW)	Hrs/ Month	kWh
Unit heaters in the central corridor (Greenhouse)	2	120	2.1	0.5	360	181
Unit heaters in the Nursery	30	120	2.1	7.6	360	2722
Curtains	Count	Voltage	Current (A)	Power (kW)	Hrs/ Month	kWh
Drive Motor for Shade Curtain	6	115	2.5	1.7	360	621
Drive Motor for Blackout Curtain	6	115	2.5	1.7	360	621
Pumps	Count	Voltage	Current (A)	Power (kW)	Hrs/ Month	kWh
75 HP Fire water	1	460	96	56	10	560
7.5 HP Well Pump	1	230	22	5.6	51	286
Office	Count	Voltage	Current (A)	Power (kW)	Hrs/ Month	kWh
Lighting (1 W/SQ FT)	12200			12.2	160	1952
HVAC (6W/SQ/FT)	10600			63.6	160	10176
Total load				815.7		342487



Parcel Information

APN: 080-021-005

Assessee: BU HOUSES LLC

Care Of:

Address: PO BOX 2833 MALIBU
CA 90265

Description: T25S R9E PTN SEC 2

Site Address:
00000 LYNCH CANYON RD

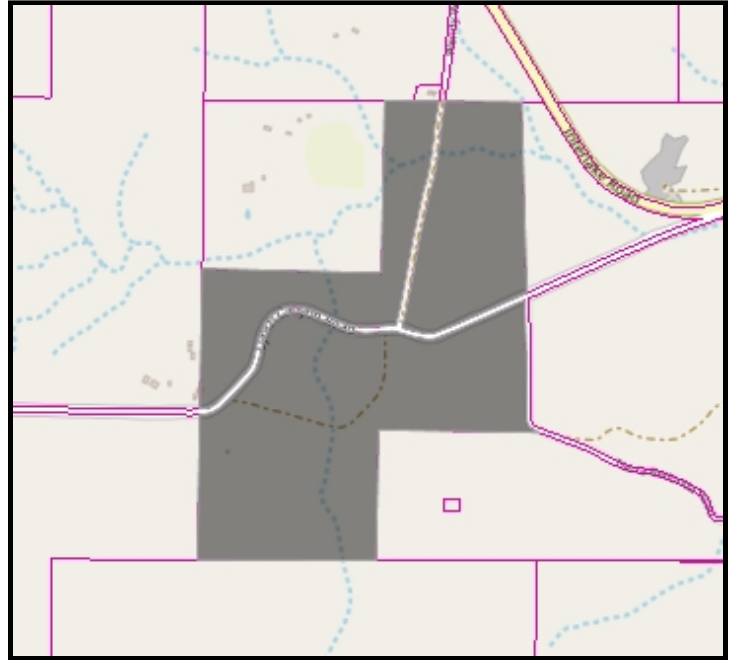
Tax Rate Area Code: 114024

Estimated Acres: 156.27

Community Code: NCNACI

Supervisor District: Supdist 1

Avg Percent Slope: 12



Selected Parcel

Land Use Information

Land Uses Combining Designations

AG	
	Sensitive Resource Area



Parcel location within San Luis Obispo County

Permit Information

Permit	Description	Application Date
DRC2018-00223	Land Use	11/30/2018 1:42:31 PM
PMT2011-00375	PMTR - Residential Permit	9/1/2011 2:08:52 PM

Clerk Recorder Documents

Clerk Document	Date	Document Type
----------------	------	---------------



Parcel Summary Report

APN: 080-021-005

1977-R-C14252

03/28/1977

C

Interactive Data Viewer



Legend

- SLO County Parcels
- Roads**
 - CalTrans
 - Maintained by SLO CO
 - Private Maintenance
 - Federal or State Maintenance
- CZ Coastal Zone

-3,009.33 0 1,504.66 3,009.33 Feet 1: 18,056

WGS_1984_Web_Mercator_Auxiliary_Sphere
 © County of San Luis Obispo Planning and Building Department



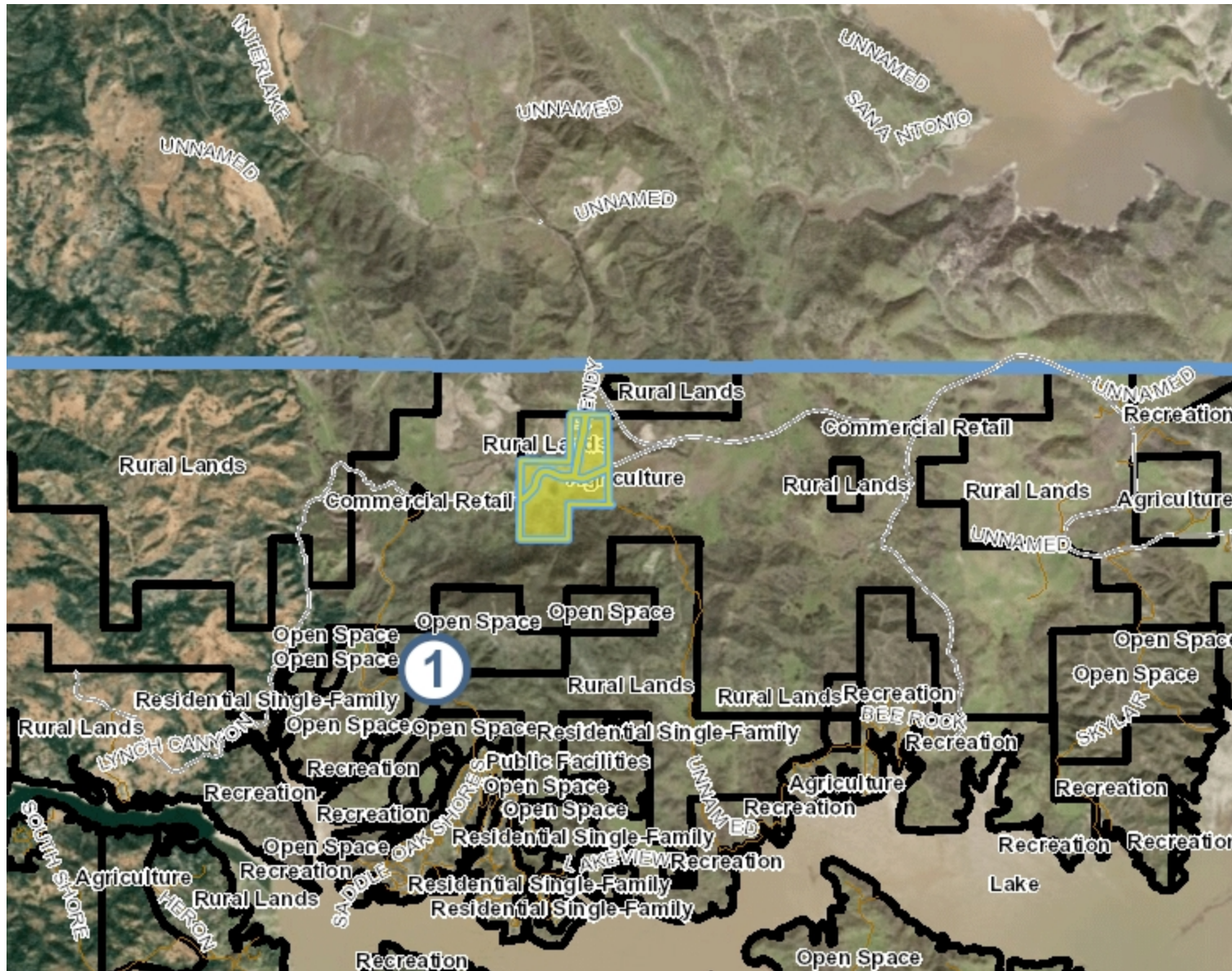
The County of San Luis Obispo does not assume liability for any damages caused by errors or omissions in the data and makes no warranty of any kind, express or implied, that these data are accurate and reliable.

Map for Reference Purposes Only







Referral -- Page 24 of 41

Interactive Data Viewer








Legend

Roads

-  CalTrans
-  Maintained by SLO CO
-  Private Maintenance
-  Federal or State Maintenance

Community Advisory Groups

-  Community Advisory Group Boundary
-  Cayucos Citizens Advisory Council Subarea
-  Creston Advisory Body Sub Areas

-  Supervisor Districts
-  Land Use Outlines

-12,037.30 0 6,018.65 12,037.30 Feet 1: 72,224

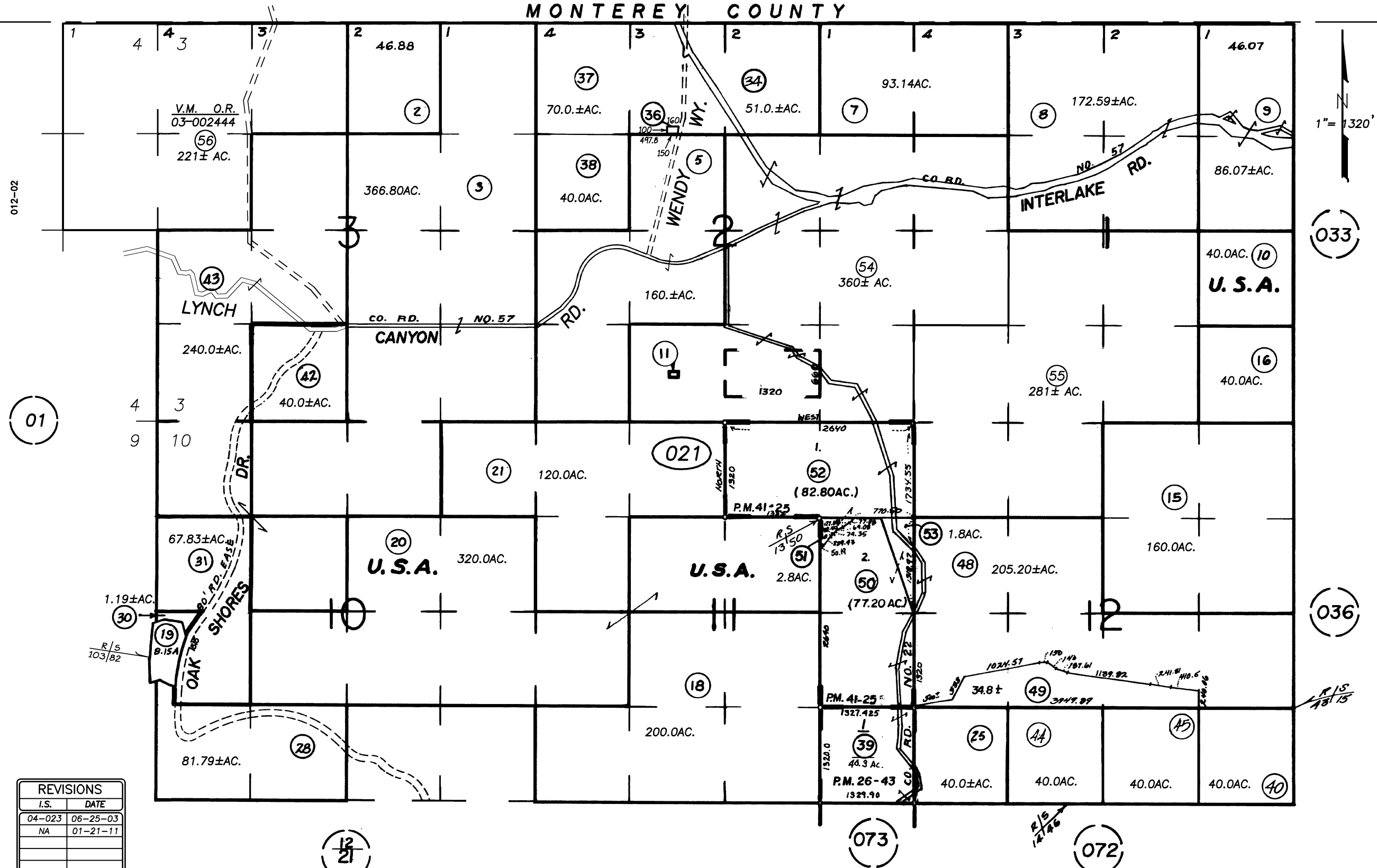
WGS_1984_Web_Mercator_Auxiliary_Sphere
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Map for Reference Purposes Only





REVISIONS	
I.S.	DATE
04-023	06-25-03
NA	01-21-11

660' 0 1320' 2640'

GB 01-26-01 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

T.25S. ; R. 9 E.; SECTIONS 1, 2, 3, 10, 11 & 12, M.D.B.&M.

GREENMILK CANNABIS PRODUCTION & MANUFACTURING FACILITY

APN: 080-021-005

MAUCRSA DEFINITIONS

"CULTIVATION" MEANS ANY ACTIVITY INVOLVING THE PLANTING, GROWING, HARVESTING, DRYING, CURING, GRADING, OR TRIMMING OF CANNABIS.

CANNABIS CULTIVATION FACILITIES SHALL BE CONSISTENT WITH CBC, CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION FOR A FACTORY INDUSTRIAL, F-1, MODERATE-HAZARD OCCUPANCY. CBC § 306.2.

"MANUFACTURING" MEANS A LOCATION THAT PRODUCES, PREPARES, PROPAGATES, OR COMPOUNDS MANUFACTURED MEDICAL CANNABIS OR MEDICAL CANNABIS PRODUCTS, DIRECTLY OR INDIRECTLY, BY EXTRACTION METHODS INDEPENDENTLY BY MEANS OF CHEMICAL SYNTHESIS, OR BY A COMBINATION OF EXTRACTION AND CHEMICAL SYNTHESIS, AND IS OWNED AND OPERATED BY A LICENSEE FOR THESE ACTIVITIES.

TYPE 6 (NON-VOLATILE) MANUFACTURING FACILITIES SHALL COMPLY WITH CBC, CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION FOR A FACTORY INDUSTRIAL, F-1, MODERATE-HAZARD OCCUPANCY. HIGH PRESSURE CO2 EXTRACTION MAY REQUIRE CLASSIFICATION AS A HIGH HAZARD H-2 OCCUPANCY BASED UPON SYSTEM PRESSURE AND/OR VOLUME. CBC § 306 AND 307.

TYPE 7 (VOLATILE) MANUFACTURING FACILITIES ARE TO MEET CBC, CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION FOR A FACTORY INDUSTRIAL, F-1, MODERATE-HAZARD OCCUPANCY, OR HIGH HAZARD GROUP H-2 BASED UPON THE MAXIMUM ALLOWED QUANTITIES (MAQ) OF HAZARDOUS, DANGEROUS, FLAMMABLE, OR COMBUSTIBLE MATERIALS USED AND/OR STORED IN THE FACILITY. CBC § 306 AND 307.

"NURSERY" MEANS A LICENSEE THAT PRODUCES ONLY CLONES, IMMATURE PLANTS, SEEDS, AND OTHER AGRICULTURAL PRODUCTS USED SPECIFICALLY FOR THE PLANTING, PROPAGATION, AND CULTIVATION OF MEDICAL CANNABIS.

"DISPENSARY" MEANS A FACILITY WHERE MEDICAL CANNABIS, MEDICAL CANNABIS PRODUCTS, OR DEVICES FOR THE USE OF MEDICAL CANNABIS OR MEDICAL CANNABIS PRODUCTS ARE OFFERED, EITHER INDIVIDUALLY OR IN ANY COMBINATION, FOR RETAIL SALE, INCLUDING AN ESTABLISHMENT THAT DELIVERS, PURSUANT TO EXPRESS AUTHORIZATION BY LOCAL ORDINANCE, MEDICAL CANNABIS AND MEDICAL CANNABIS PRODUCTS AS PART OF A RETAIL SALE.

CANNABIS RETAIL FACILITIES ARE TO MEET CBC, CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION FOR A MERCANTILE GROUP, M, OCCUPANCY. CBC § 309.1.

CANNABIS CONSUMPTION AREAS ASSOCIATED WITH RETAIL FACILITIES SHALL MEET CBC CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION A-2.

"DISTRIBUTION" MEANS THE PROCUREMENT, SALE, AND TRANSPORT OF MEDICAL CANNABIS AND MEDICAL CANNABIS PRODUCTS BETWEEN ENTITIES LICENSED.

DISTRIBUTOR FACILITIES ARE TO MEET CBC, CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION FOR A STORAGE GROUP, S, OCCUPANCY. CBC § 311.1.

FACILITIES THAT INCLUDE STORAGE AND DISTRIBUTION OF FOOD PRODUCTS IN NON-COMBUSTIBLE CONTAINERS SHALL BE CLASSIFIED IN OCCUPANCY GROUP S-2 "LOW HAZARD STORAGE". CBC § 311.3.

FACILITIES THAT INCLUDE STORAGE AND DISTRIBUTION OF ALL OTHER CANNABIS PACKAGED AND MANUFACTURED PRODUCTS SHALL BE CLASSIFIED IN OCCUPANCY GROUP S-1 "MODERATE HAZARD STORAGE". CBC § 311.2.

BUILDING MAINTENANCE & OPERATIONS

THE CONTRACTOR IS TO PROVIDE ALL MANUALS AND INSTRUCTIONS FOR THE OPERATION AND USE OF ALL NEW EQUIPMENT, APPLIANCES AND WARRANTY BASE MATERIALS AND APPLICATIONS. THIS IS TO BE PROVIDED IN A CONSOLIDATED, THREE RING BINDER PRIOR TO THE FINAL INSPECTION/ OCCUPANCY OF THE PROJECT. THESE PLANS IN NO WAY PROVIDE FOR, INSTRUCT, OR REQUIRE ANY MAINTENANCE OR IMPROVEMENTS OF MATERIALS, EQUIPMENT, APPLIANCES, BUILT-INS, OR IMPROVEMENTS PER THESE PLANS. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OPERATION OWNER.

ENCROACHMENT PERMIT

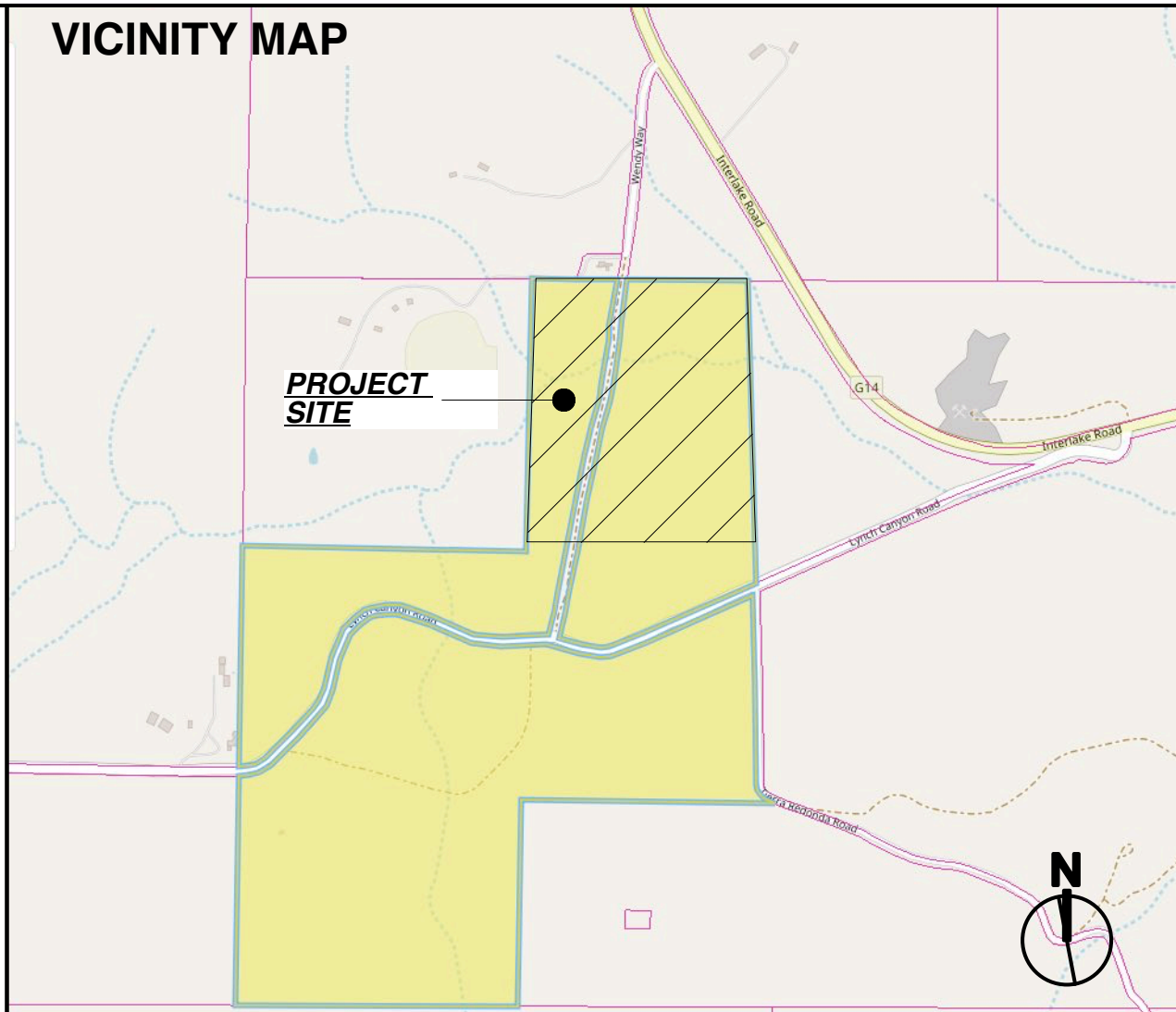
WORK IN THE PUBLIC RIGHT OF WAY REQUIRES A SEPARATE "ENCROACHMENT PERMIT" FROM THE PUBLIC WORKS DEPARTMENT. WORK REQUIRING AN ENCROACHMENT PERMIT INCLUDES BUT IS NOT LIMITED TO DEMOLITIONS, UTILITIES, WATER, SEWER, AND FIRE SERVICES LATERALS, CURB, GUTTER AND SIDEWALK, DRIVEWAYS, SIDEWALK UNDERDRAINS, STORM DRAIN IMPROVEMENTS, STREET TREE PLANTING OR PRUNING, CURB RAMPS, STREET PAVING, AND PEDESTRIAN PROTECTION OR CONSTRUCTION STAGING IN THE RIGHT-OF-WAY.

CONTACT THE PUBLIC WORKS INSPECTION HOTLINE WITH AT LEAST A 48 HOUR NOTICE FOR ANY REQUIRED ENCROACHMENT PERMIT INSPECTION OF FINAL INSPECTION.

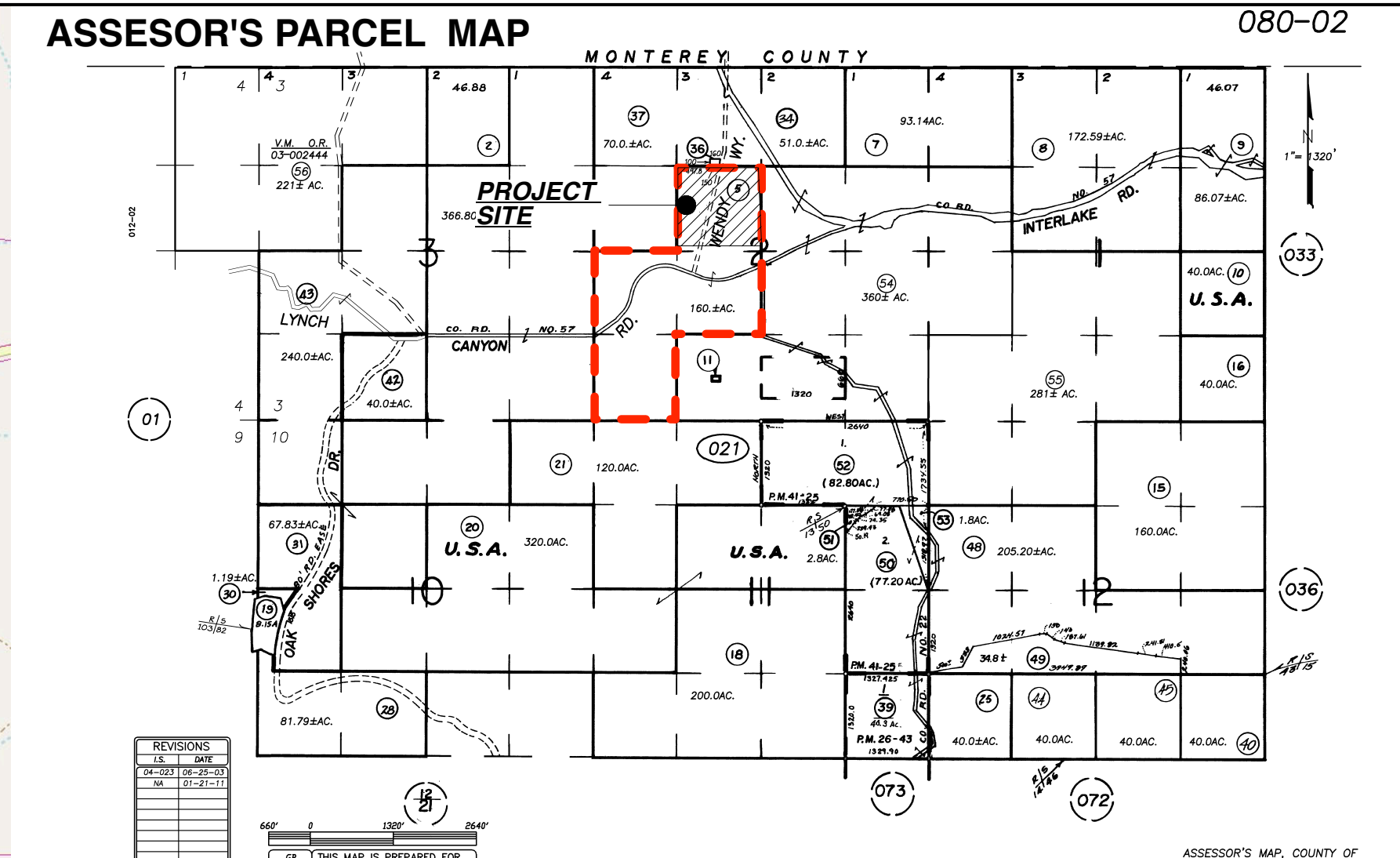
"RECORD" DRAWINGS ARE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN CITY EASEMENTS AT THE COMPLETION OF THE PROJECT PER CITY STANDARDS AND CITY STANDARD SPECIFICATIONS. THE RECORD DRAWINGS SHALL BE RECEIVED AND APPROVED PRIOR TO FINAL INSPECTIONS APPROVALS AND/OR OCCUPANCY OF ANY BUILDING.

CITY STREETS ARE TO REMAIN OPEN TO THROUGH TRAFFIC AT ALL TIMES. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION FOR APPROVAL PRIOR TO DETOURS OR REROUTING OF TRAFFIC. EXCAVATION WITHIN THE STREET SHALL BE COVERED OR BACKFILLED AND PAVED PRIOR TO THE END OF WORK EACH DAY. NO TEMPORARY OR LONG TERM PARKING STORAGE OR DISPOSAL OF CONSTRUCTION EQUIPMENT OR MATERIALS WITHIN THE RIGHT-OF-WAY SHALL OCCUR WITHOUT PRIOR ISSUANCE OF AN ENCROACHMENT PERMIT.

VICINITY MAP



ASSESSOR'S PARCEL MAP



FIRE DEPARTMENT/FIRE SUPPRESSION:

- ADDRESS NUMBERS WILL BE INSTALLED ON FRONT OF BUILDING OR MONUMENT SIGN, WITH NUMBERS A MINIMUM OF 5 INCHES, WITH 1/2 INCH STROKE, WITH A COLOR TO CONTRAST THE BACKGROUND, SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET TO THE SATISFACTION OF THE FIRE DEPARTMENT

-FIRE PROTECTION SYSTEMS SHALL BE UPDATED IN ACCORDANCE WITH THE CFC AND THE CBC. AN APPROVED NFPA13D SYSTEM WILL BE REQUIRED FOR EACH STRUCTURE. AT LEAST ONE PILOT HEAD IN THE ATTIC IS REQUIRED

-IGNITION RESISTANT CONSTRUCTION. ALL STRUCTURES SHALL BE DESIGNED PER CHAPTER 7A OF CBC. IGNITION RESISTANT CONSTRUCTION STANDARDS AS MODIFIED BY THE CITY FIRE CODE.

-FIRE SAFETY DURING CONSTRUCTION. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL BE IN ACCORDANCE WITH CHAPTER 14 OF THE CFC.

1. A NFPA 13 FIRE PROTECTION SYSTEM FOR EACH BUILDING SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT ADOPTED BUILDING AND FIRE CODES. PLANS SHALL BE SUBMITTED TO THE CITY OF GROVER BEACH AND FIVE CITIES FIRE AUTHORITY FOR REVIEW AND APPROVAL.

2. RISERS MUST HAVE A WATER FLOW ALARM WITH A DEDICATED ELECTRICAL CIRCUIT AND A LOCK ON DEVICE INSTALLED.

3. FIRE SPRINKLER RISER MUST BE INSTALLED INSIDE THE BUILDING IN A PROTECTIVE ENCLOSURE.

4. A MINIMUM WATER SERVICE LINES AND WATER METER SIZE MUST BE INSTALLED TO EACH BUILDING, CALCULATED AND APPROVED BY FIRE PROTECTION ENGINEER.

5. MAIN CONTROL VALVE MUST ONLY SHUT OFF DOMESTIC WATER SERVICE AND NOT THE FIRE WATER

6. 6.3.45 A WARNING SIGN, WITH A MINIMUM 1/4" LETTERS, SHALL BE AFFIXED ADJACENT TO THE MAIN SHUTOFF VALVE AND SHALL STATE THE FOLLOWING:

WARNING: THE WATER SYSTEM FOR THIS PROJECT SUPPLIES FIRE SPRINKLERS THAT REQUIRES CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS, AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN

7. A SMOKE ALARM SYSTEM MUST BE INSTALLED TO ALL HABITABLE AREAS AND BE ELECTRICALLY INTERCONNECTED WITH BATTERY BACK-UP.

MAINTENANCE STATEMENT

THIS PROJECT DOES NOT ADDRESS ANY SHORT OR LONG TERM MAINTENANCE REQUIREMENTS FOR THE MATERIALS, FINISHES, AND/OR SURFACES SPECIFIED, DETAILED AND INDICATED IN THESE DRAWINGS AND SPECIFICATIONS. IT IS THE RESPONSIBILITY OF OTHERS TO EITHER PROVIDE THIS INFORMATION, OR PROVIDE THE NAMES AND RESOURCES FOR THIS ISSUE. FURTHERMORE, THESE PLANS HAVE NOT BEEN DEVELOPED TO ADDRESS ANY PRIORITY, OR DETERMINATION, OF ANY MAINTENANCE PROGRAM OR PROCESS, OTHER THAN THE INFORMATION SUPPLIED BY OTHERS, THE OWNER AND THEIR AGENTS.

RESIDENTIAL USES OF THE SITE AND ON-GOING BUILDING MAINTENANCE AND LANDSCAPING SHALL AT ALL TIMES REMAIN CONSISTENT WITH APPROVED PLANS FOR THE PROJECT. ANY CHANGE TO THE APPROVED DESIGN OR OTHER CONDITIONS OF APPROVAL MUST BE APPROVED BY THE DIRECTOR, PLANNING COMMISSION AND OR ARCHITECTURAL REVIEW COMMISSION AS DEEMED APPROPRIATE.

PROJECT DIRECTORY

ARCHITECT

CRSA ARCHITECTURE
890 MONTEREY STREET, SUITE 'A'
SAN LUIS OBISPO, CA 93401
CONTACT: CRAIG SMITH
PH: 805-544-3380
FAX: 805-544-8625

OWNER/APPLICANT

GREENMILK, LLC
3806 CROSS CREEK ROAD, UNIT C
MALIBU, CA 90265
CONTACT: ROBERT GOLD
PH: 310-880-7155
EMAIL: ADVISOR@ DRIECTORSLA.COM

CIVIL ENGINEER

WALLACE GROUP
612 CLARION COURT
SAN LUIS OBISPO, CA 93401
CONTACT: ROB MILLER OR TOM ZEHNDER
PH: 805-544-4011
FAX: 805-544-4284

STATEMENT OF COMPLIANCE

THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE COUNTY OF SAN LUIS OBISPO ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND IWE WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASES.

THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2016 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), AND CALIFORNIA ENERGY CODE (CEC).

PUBLIC WORKS - NOTES

-- ANY SECTIONS OF DAMAGED OR DISPLACED CURB, GUTTER, SIDEWALK, OR DRIVEWAY APPROACH SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.

-- THE ADJOINING STREET AND SIDEWALK SHALL BE CLEANED BY SWEEPING TO REMOVE DIRT, DUST, MUD, AND CONSTRUCTION DEBRIS AT THE END OF EACH WORKING DAY.

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A NEW CANNABIS PRODUCTION AND MANUFACTURING FACILITY, SUPPORT STORAGE, AND LOCATION OF HOOP HOUSES FOR OUTDOOR GROW. THE PROJECT INCLUDES CONSTRUCTION OF A NEW WELL, WATER SYSTEM, SEPTIC SYSTEM, PAVING OF THE ENTRY DRIVE WAY, PARKING, INCLUDING ADA PARKING.

FIRE SPRINKLER NOTE

APPROVED AUTOMATIC SPRINKLER SYSTEMS ARE REQUIRED AND SHALL BE PROVIDED IN THE NEW COMMERCIAL CANNABIS FACILITIES. REFER TO 2016 CFC 903.2 AND THE COUNTY'S FIRE SPRINKLER ORDINANCE

CODE COMPLIANCE

CODES: ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:

-2016 CALIFORNIA BUILDING CODE (CBC), BASED ON THE 2015 IBC
-2016 CALIFORNIA MECHANICAL CODE (CMC), BASED ON THE 2015 UMC
-2016 CALIFORNIA PLUMBING CODE (CPC), BASED ON THE 2015 UPC
-2016 CALIFORNIA ELECTRICAL CODE (CEC), BASED ON THE 2014 NEC
-2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
-2016 CALIFORNIA ENERGY CODE
-2016 CALIFORNIA FIRE CODE (CFC), BASED ON THE 2015 IFC
-2016 CALIFORNIA HEALTH AND SAFETY CODE (H&SC)
-2016 CALIFORNIA BUSINESS AND PROFESSIONS CODE (B&PC)
-NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS (NFPA)
-MEDICAL AND ADULT USE CANNABIS REGULATION AND SAFETY ACT (MAUCRSA)
-PROJECT CONDITIONS OF APPROVAL
-COUNTY OF SAN LUIS OBISPO STANDARD CONDITIONS, MUNICIPAL CODES, AMENDMENTS AND SELECTED CODE REQUIREMENTS ON FILE AT THE COMMUNITY DEVELOPMENT DEPARTMENT, PLANNING AND BUILDING DIVISION
-ALL OTHER CODES AND ORDINANCES ADOPTED BY THE COUNTY OF SAN LUIS OBISPO HAVING JURISDICTION OVER THIS PROJECT

EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL CONSTRUCTION AND GROUND DISTURBING ACTIVITIES PER THE COUNTY OF SAN LUIS OBISPO STANDARDS.

EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.

CRSA ARCHITECTURE
CONTACT: CRAIG R. SMITH AIA, PRINCIPAL ARCHITECT
PH: 805-544-3380

NOTE: SUBJECT TO CHANGE AS PROJECT CONSTRUCTION PROGRESSES AND GENERAL CONTRACTOR TAKES ON RESPONSIBILITY

SHEET INDEX

TITLE
T-1.0 TITLE SHEET

CIVIL - WALLACE GROUP
C1.1 PRELIMINARY GRADING & UTILITY PLAN
C1.2 PRELIMINARY GRADING & UTILITY PLAN

SITE
C-0.0 OVERALL SITE PLAN
C-1.0 SITE PLAN WITH SITE CONSTRAINTS
C-2.0 ARCHITECTURAL SITE PLAN
C-2.1 SITE SECURITY PLAN
C-3.0 OVERALL SCHEMATIC SITE ISOMETRIC RENDERINGS
C-3.1 OVERALL SCHEMATIC SITE ISOMETRIC RENDERINGS

ARCHITECTURAL
A-1.0 FIRST FLOOR PLAN
A-7.0 ROOF PLAN
A-9.0 ELEVATIONS

STRUCTURAL
S-1.0 HOOP HOUSE STRUCTURAL DETAILS
S-2.0 HOOP HOUSE STRUCTURAL DETAILS
S-3.0 HOOP HOUSE STRUCTURAL DETAILS

TOTAL: 15 PAGES

GREENMILK BUILDING AREAS

APN	80021005
ADDRESS	2685 LYNCH CANYON ROAD, BRADLEY, CA 93426
LAND USE	AGRICULTURE
FIRE HAZARD ZONE:	VERY HIGH HAZARD
ACRES	156.27 ACRES
PROPOSED LOT:	40 ACRES
TYPE OF CONSTRUCTION:	TYPE V, FIRE SPRINKLER
OCCUPANCY:	B, S, F, H-S,
SETBACK	RIPARIAN: 50 FEET FROM ADJACENT INHABITED DWELLINGS: 100 FEET FRONT SET BACK: 50 FEET TO PROPERTY LINE SIDE SET BACK: 30 FEET TO PROPERTY LINE

BUILDING AREAS	AREA (S.F.)	GROSS OR NET
"HEAD HOUSE" BAY		
SECURED ENTRY	423.23 S.F.	NET
OFFICE 1	414.83 S.F.	NET
OFFICE 2	414.83 S.F.	NET
BREAK ROOM	549.06 S.F.	NET
JANITOR CLOSET	90.37 S.F.	NET
RESTROOM/ LOCKER 1	432.94 S.F.	NET
RESTROOM/ LOCKER 2	273.17 S.F.	NET
GREENHOUSE FLOWER	1,254.20 S.F.	NET
INDOOR GROW	400.00 S.F.	NET
CLONING	170.11 S.F.	NET
STORAGE 1	1,200.95 S.F.	NET
MANUFACTURING	888.88 S.F.	NET
TRIMMING	600.00 S.F.	NET
DRY ROOM 1	600.00 S.F.	NET
DRY ROOM 2	537.39 S.F.	NET
FERTIGATION / IRRIGATION	520.09 S.F.	NET
SHIPPING	1,268.13 S.F.	NET
SHIPPING SUPPORT	637.19 S.F.	NET
MECHANICAL / ELECTRICAL	1,524.61 S.F.	NET
TOTAL	*12,199.99 S.F.	NET
"NURSERY" BAY		
NURSERY 1	6,846.30 S.F.	NET
NURSERY 2	8,153.29 S.F.	NET
TOTAL	*14,999.59 S.F.	NET
"GREENHOUSE" BAY		
FLOWER 1	2,857.93 S.F.	NET
FLOWER 2	2,857.93 S.F.	NET
FLOWER 3	2,857.93 S.F.	NET
FLOWER 4	2,857.93 S.F.	NET
FLOWER 5	2,857.93 S.F.	NET
FLOWER 6	2,857.93 S.F.	NET
FLOWER 7	2,857.93 S.F.	NET
FLOWER 8	2,857.93 S.F.	NET
GREENHOUSE FLOWER	1,254.20 S.F.	NET
INDOOR GROW (LOC. HEAD HOUSE)		
TOTAL	*24,117.64 S.F.	NET
(REFER TO NOTE BELOW)		
*NOTE: 22,000 S.F. IS THE MAXIMUM ALLOWABLE NET AREA FOR CANOPY GROW WITHIN THE GREENHOUSE. 10% (2,200 S.F.) OF AREA IS DEDICATED FOR ALLOWABLE CIRCULATION WITHIN THE SPACE. THEREFORE 24,200 S.F. (22,000 + 2,200) IS THE OVERALL NET AREA OF THE GREENHOUSE. 24,117.64 S.F. IS LESS THAN 24,200 S.F. AND THEREFORE COMPLIES		
OVERALL GROSS BUILDING AREAS		
HEAD HOUSE BAY	16,013.33 S.F.	GROSS
NURSERY BAY	18,390.18 S.F.	GROSS
GREENHOUSE BAY	27,176.66 S.F.	GROSS
PROPOSED MISCELLANEOUS STORAGE SUPPORT	27,176.66 S.F.	GROSS
PROPOSED OFFICE/WAREHOUSE EXPANSION	10,000.00 S.F.	GROSS
PROPOSED OUTDOOR GROW (1 ACRE OF GROW = 47 ACRES OF HOOP HOUSE)	158,668.25 S.F.	GROSS

EARTHWORK CALC'S & NOTES

(Based on finish grade.)

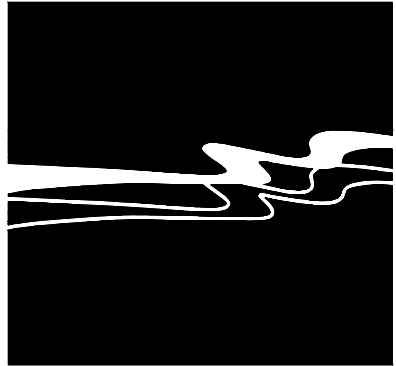
Cut: 9,700± Cu.Yd.
Fill: 10,150± Cu.Yd.
Net: 450± Cu.Yd.

Max. height cut: 7±'
Max height fill: 9±'

- No shrinkage was considered in calculation.
- Quantities estimated shown in this plan are to be used for permit purposes only. It is the responsibility of the contractor to estimate quantities for the purposes of construction & bidding.
- Total disturbed Area: 4.1 ± Acres
- Slopes of fill surfaces to not exceed (2:1) 2 horizontal to 1 vertical.
- Excess material shall be placed immediately to the South of the proposed structure as shown.
- Protect all existing survey monuments in place.
- Shrinkage, consolidation and subsidence factors and losses due to clearing and demolition operations are not included. Estimated earthwork quantities are based on the approximate difference between existing grades and proposed grades, as indicated on the plans, and should vary according to these factors and losses.

NOTE:

- NO TREE TO BE REMOVED



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SIGNATURE

DATE SIGNED

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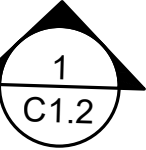
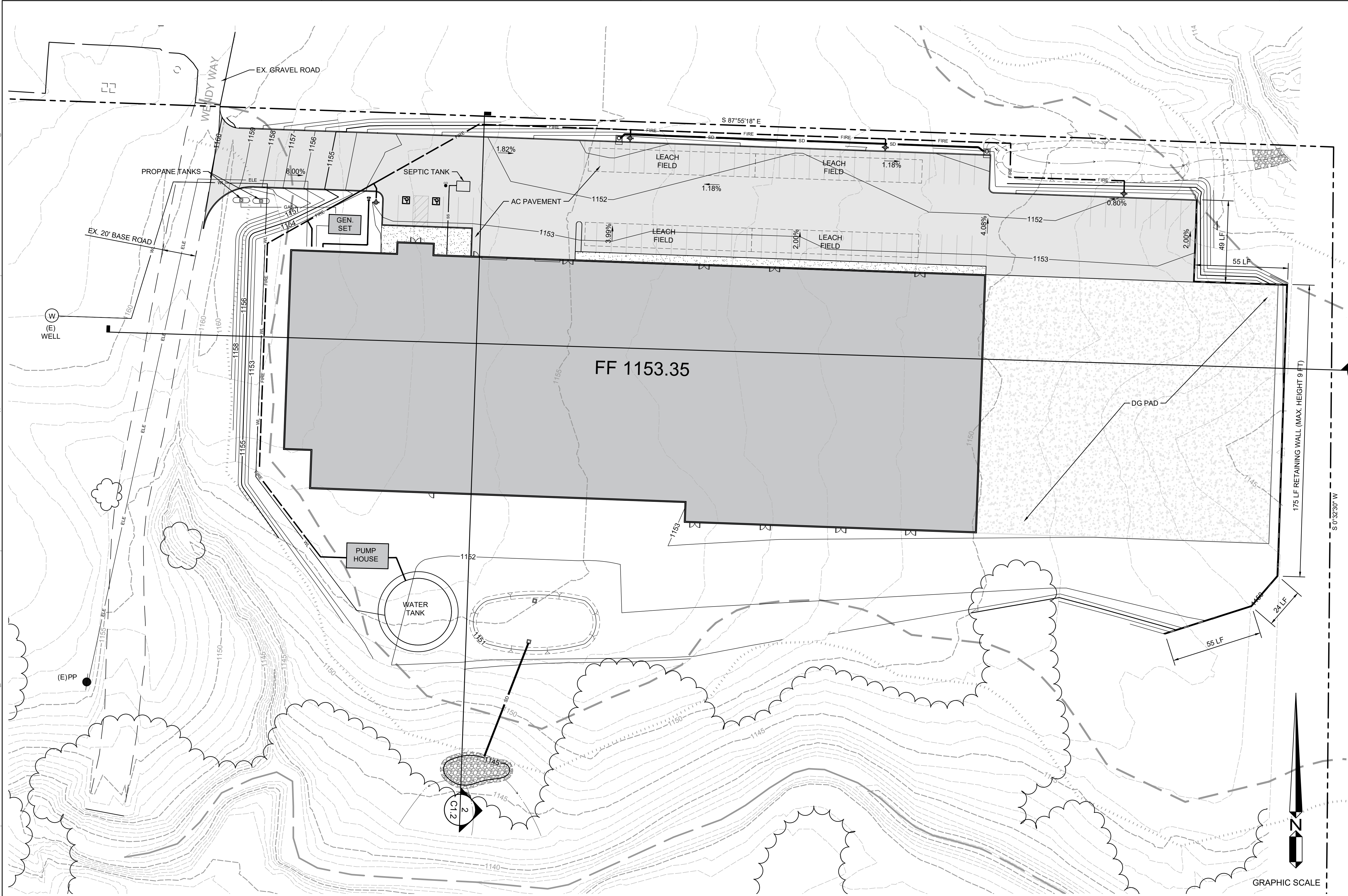
Green Milk
APN 080-021-008
Preliminary Grading and Utility Plan

JOB #: 1484-01
DESIGNERS: CD
DRAWN BY: CD
DATE: 11-30-2018

DRAWING NO.

C1.1

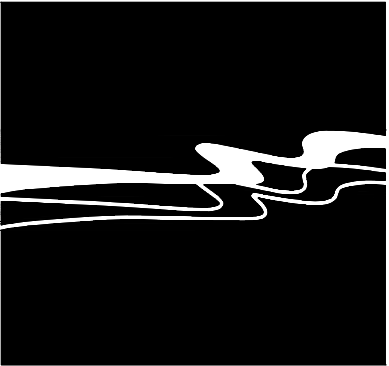
1 OF 2



GRAPHIC SCALE

0 15 30 60
(IN FEET)
1 IN = 30 FT

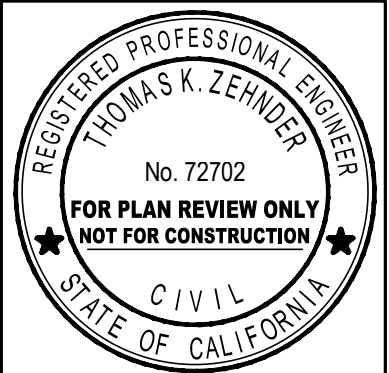
---	FIRE LINE	W	WATER WELL
---	WATER LINE	□	DROP INLET
---	GAS LINE	□	CURB INLET
---	ELECTRICAL LINE	⬮	FIRE HYDRANT
---	SEWER LINE		
---	STORM DRAIN		
---	50' SETBACK LINE		
---	25' SETBACK LINE		



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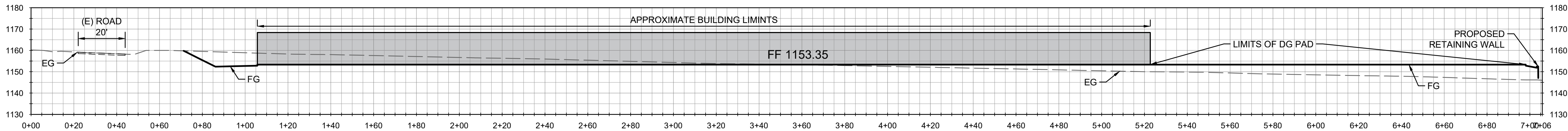
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SIGNATURE

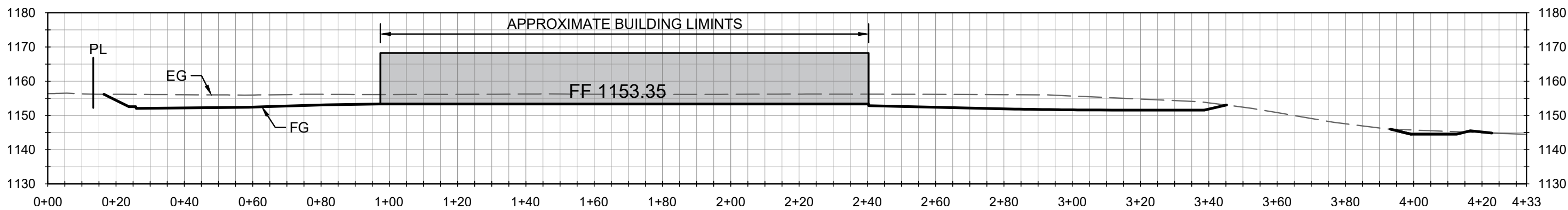
DATE SIGNED

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1 SECTION 1

Scale: 1"= 30'



2 SECTION 2

Scale: 1"= 30'

GRAPHIC SCALE



(IN FEET)
1 IN = 30 FT

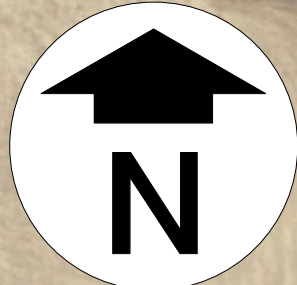
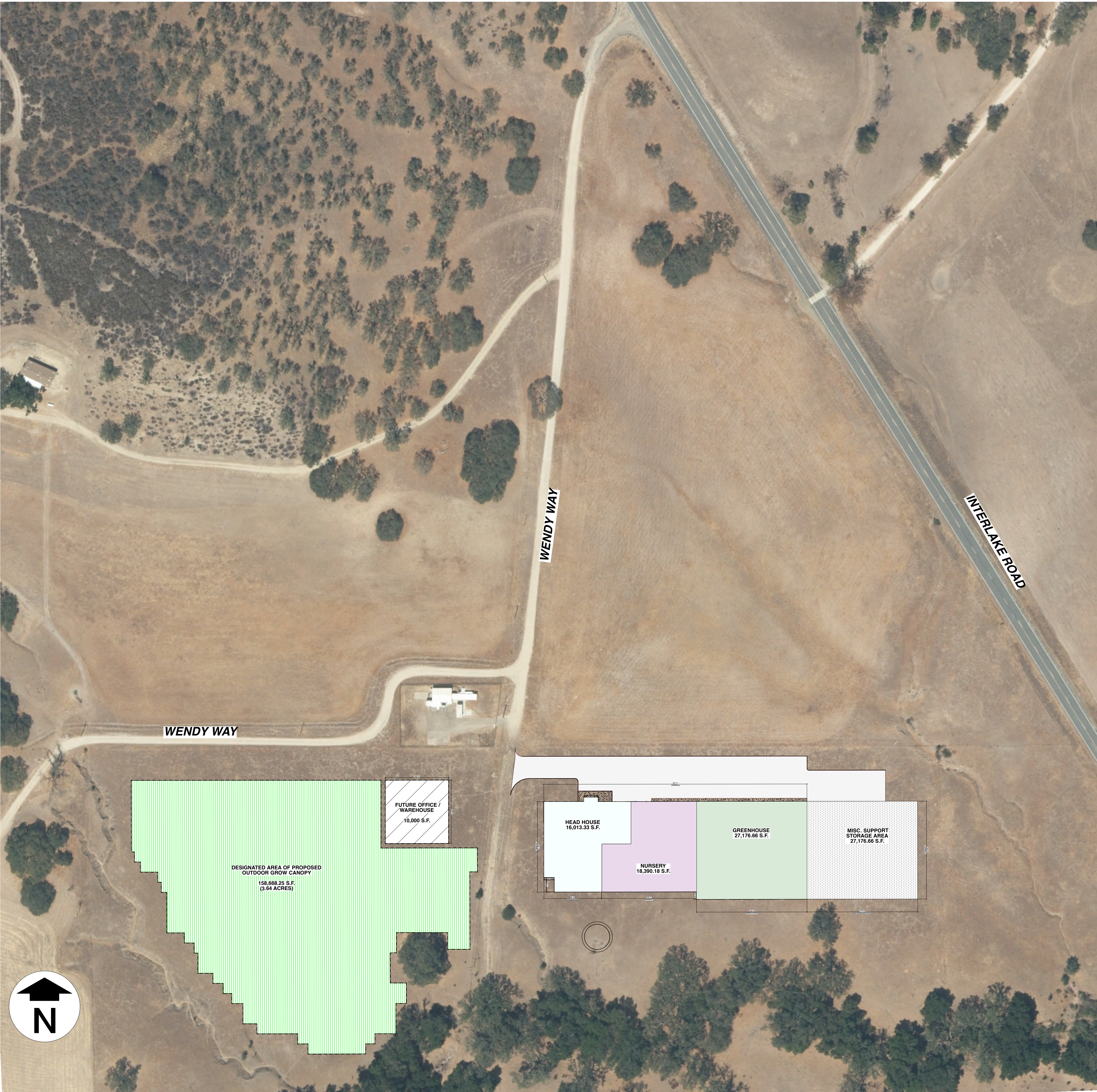
Green Milk
APN 080-021-008
Preliminary Grading and Utility Plan

JOB #: 1484-01
DESIGNERS: CD
DRAWN BY: CD
DATE: 11-30-2018

DRAWING NO.

C1.2

2 OF 2



WENDY WAY

WENDY WAY

INTERLAKE ROAD

DESIGNATED AREA OF PROPOSED
OUTDOOR GROW CANOPY
159,668.25 S.F.
(3.64 ACRES)

FUTURE OFFICE /
WAREHOUSE
10,000 S.F.

HEAD HOUSE
16,013.33 S.F.

NURSERY
18,390.18 S.F.

GREENHOUSE
27,176.66 S.F.

MISC. SUPPORT
STORAGE AREA
27,176.66 S.F.

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GREENMILK
APN: 080-021,005
2685 LYNCH CANYON ROAD,
BRADLEY, CA 93426
SAN LUIS OBISPO COUNTY, CA

OVERALL
SITE PLAN

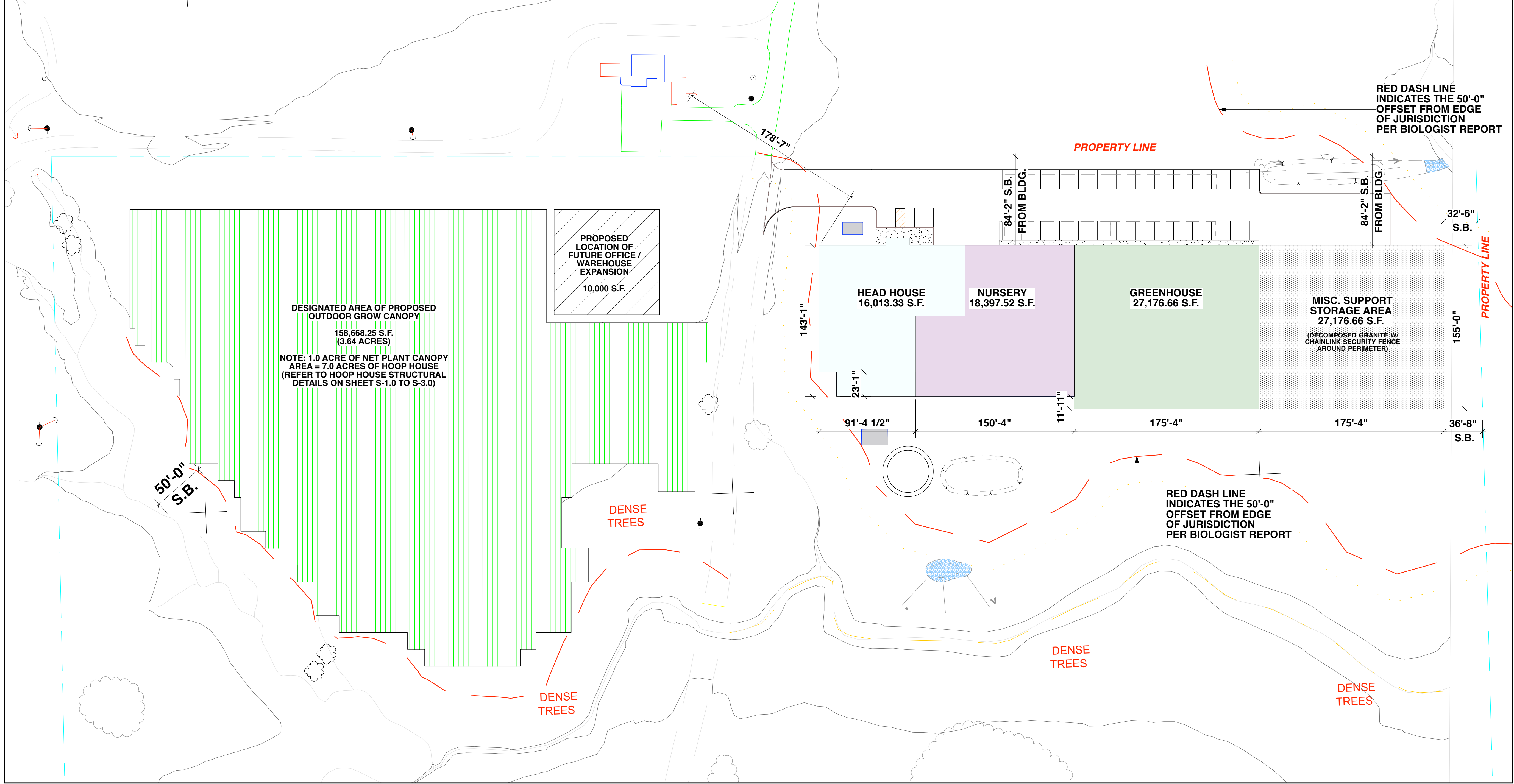
30 NOV 2018
LAND USE PERMIT SUBMITTAL

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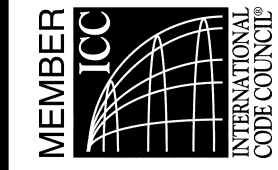
C-0.0

Referral -- Page 30 of 41

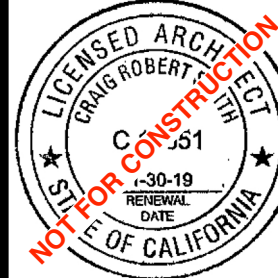




SITE PLAN WITH SITE CONSTRAINTS
SCALE: 1" = 50'



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GREENMILK
APN: 080-021-005
2885 LYNCH CANYON ROAD,
BRADLEY, CA 93426
SAN LUIS OBISPO COUNTY, CA

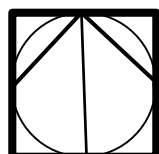
**SITE PLAN WITH
SITE CONSTRAINTS**

30 NOV 2018
LAND USE PERMIT SUBMITTAL

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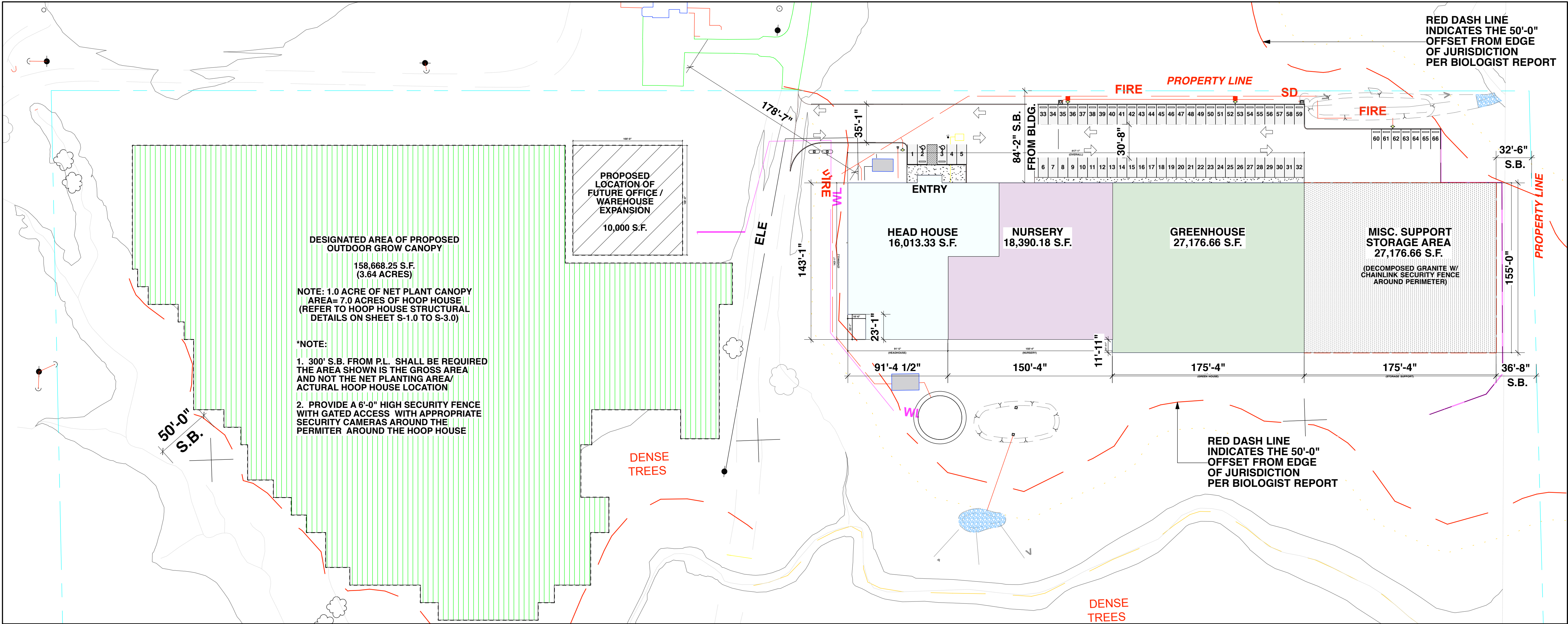
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Referral -- Page 31 of 41

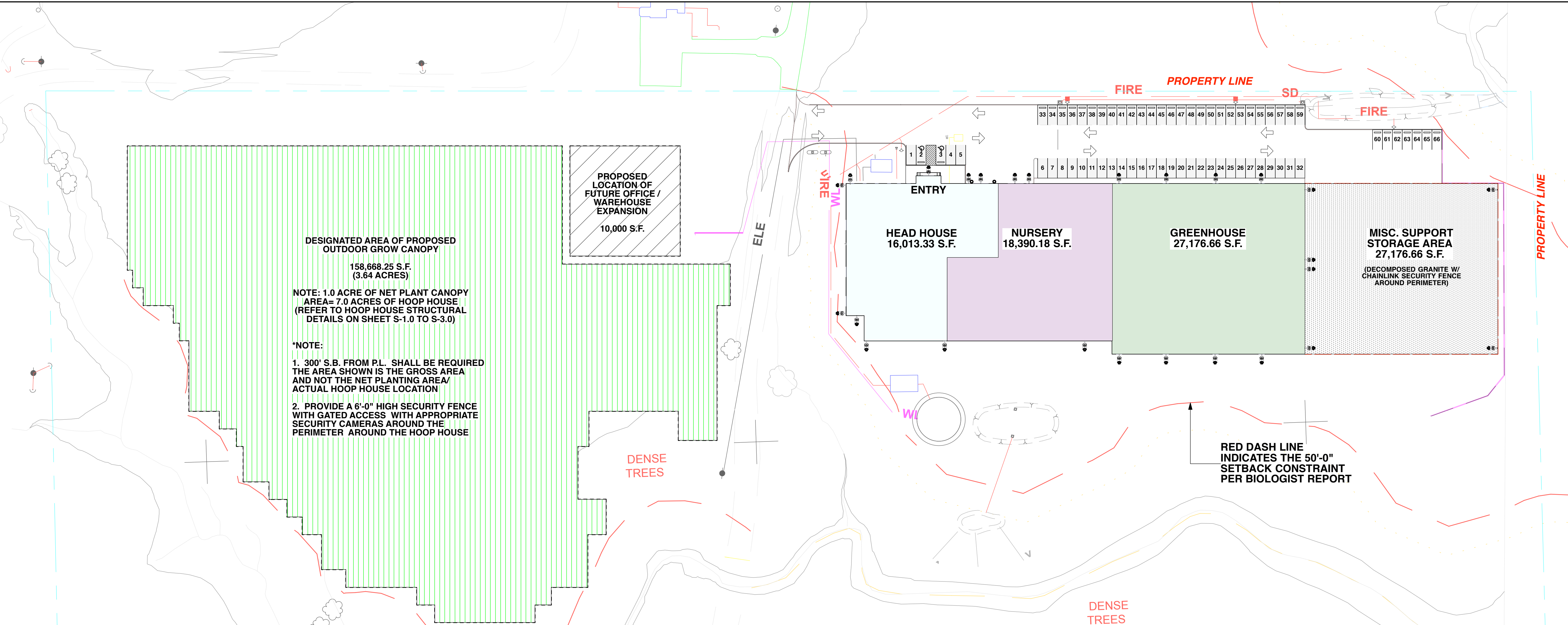


ARCHITECTURAL SITE PLAN

SCALE: 1" = 50'



GREENMILK PARKING REQUIREMENT BY LAND USE					
BUILDING I.D.	AREA (S.F.)	GROSS OR NET	LAND USE	PARKING LOAD FACTOR	PARKING SPACES REQUIRED
"HEAD HOUSE" BAY					
SECURED ENTRY	423.23 S.F.	NET	MANUF. /PROCESS (i)	1 SPACE / 500 S.F.	1 SPACES
OFFICE 1	414.83 S.F.	NET	MANUF. /PROCESS (i)	1 SPACE / 500 S.F.	1 SPACES
OFFICE 2	414.83 S.F.	NET	MANUF. /PROCESS (i)	1 SPACE / 500 S.F.	1 SPACES
BREAK ROOM	549.06 S.F.	NET	MANUF. /PROCESS (i)	1 SPACE / 500 S.F.	1 SPACES
JANITOR CLOSET	90.37 S.F.	NET	MANUF. /PROCESS (ii)	1 SPACE / 1,000 S.F.	0 SPACES
RESTROOM/ LOCKER 1	432.94 S.F.	NET	N/A	N/A	N/A
RESTROOM/LOCKER 2	273.17 S.F.	NET	N/A	N/A	N/A
*GREENHOUSE FLOWER INDOOR GROW	1,254.20 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	1 SPACES
CLONING	400.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	0 SPACES
STORAGE 1	170.11 S.F.	NET	MANUF. /PROCESS (ii)	1 SPACE / 1,000 S.F.	0 SPACES
MANUFACTURING	1,200.95 S.F.	NET	MANUF. /PROCESS (i)	1 SPACE / 500 S.F.	2 SPACES
TRIMMING	888.88 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	1 SPACES
DRY ROOM 1	600.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	1 SPACES
DRY ROOM 2	600.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	1 SPACES
VAULT	537.39 S.F.	NET	MANUF. /PROCESS (ii)	1 SPACE / 1,000 S.F.	1 SPACES
FERTIGATION / IRRIGATION	520.09 S.F.	NET	MANUF. /PROCESS (ii)	1 SPACE / 1,000 S.F.	1 SPACES
SHIPPING	1,268.13 S.F.	NET	MANUF. /PROCESS (ii)	1 SPACE / 1,000 S.F.	1 SPACES
SHIPPING SUPPORT	637.19 S.F.	NET	MANUF. /PROCESS (ii)	1 SPACE / 1,000 S.F.	1 SPACES
MECHANICAL / ELECTRICAL	1,524.61 S.F.	NET	N/A	N/A	N/A
"NURSERY" BAY					
NURSERY 1	6,846.30 S.F.	NET	AG PROCESSING	1 SPACE / 500 S.F.	14 SPACES
NURSERY 2	8,153.29 S.F.	NET	AG PROCESSING	1 SPACE / 500 S.F.	16 SPACES
"GREENHOUSE" BAY					
FLOWER 1	2,857.93 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 2	2,857.93 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 3	2,857.93 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 4	2,857.93 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 5	2,857.93 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 6	2,857.93 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 7	2,857.93 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 8	2,857.93 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
MISCELLANEOUS STORAGE SUPPORT AREA					
	27,176.66 S.F.	GROSS	MANUF. /PROCESS (iv)	1 SPACE / 5,000 S.F.	5 SPACES
				TOTAL REQUIRED:	66 SPACES
				TOTAL PROPOSED:	66 SPACES

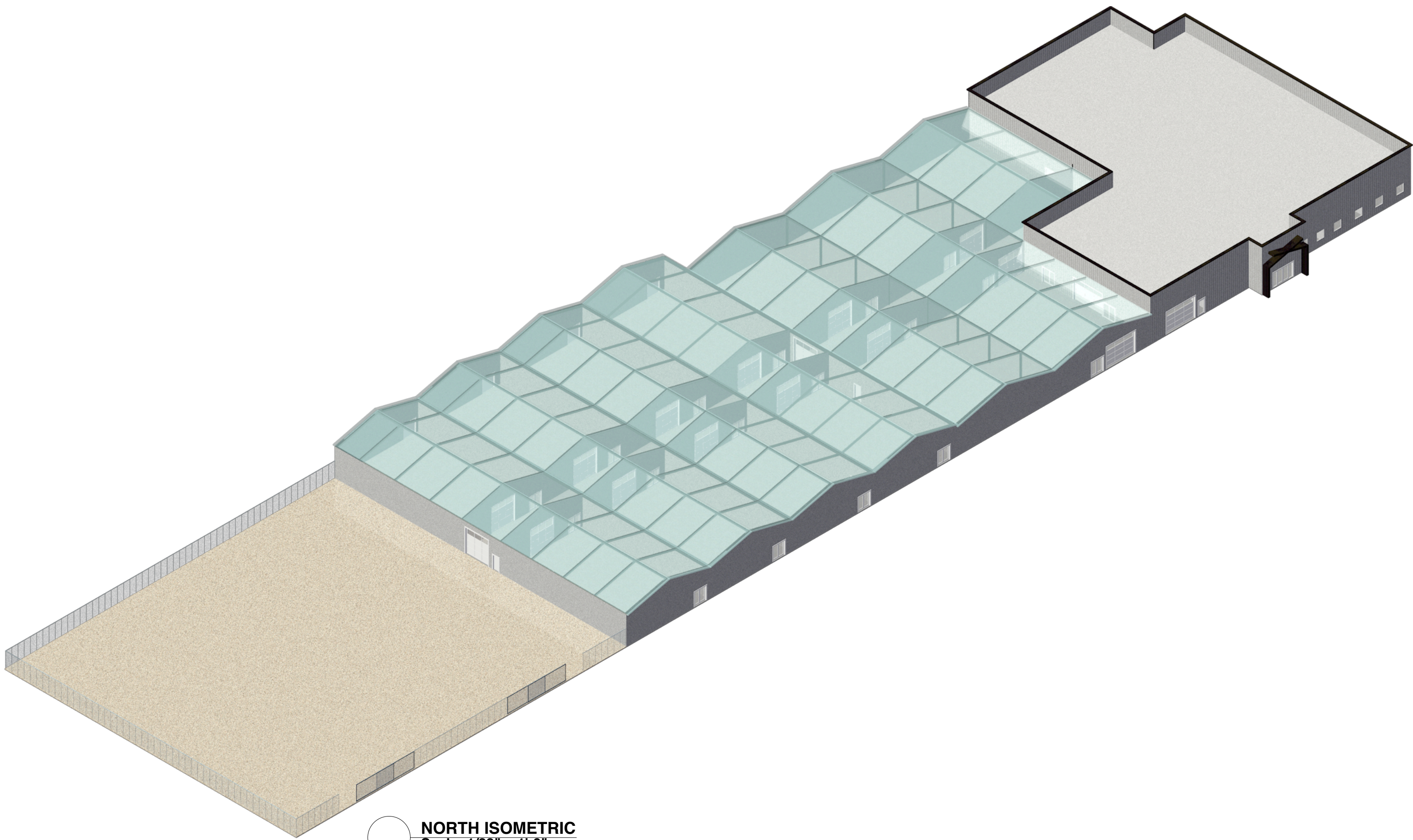


SITE SECURITY NOTES:

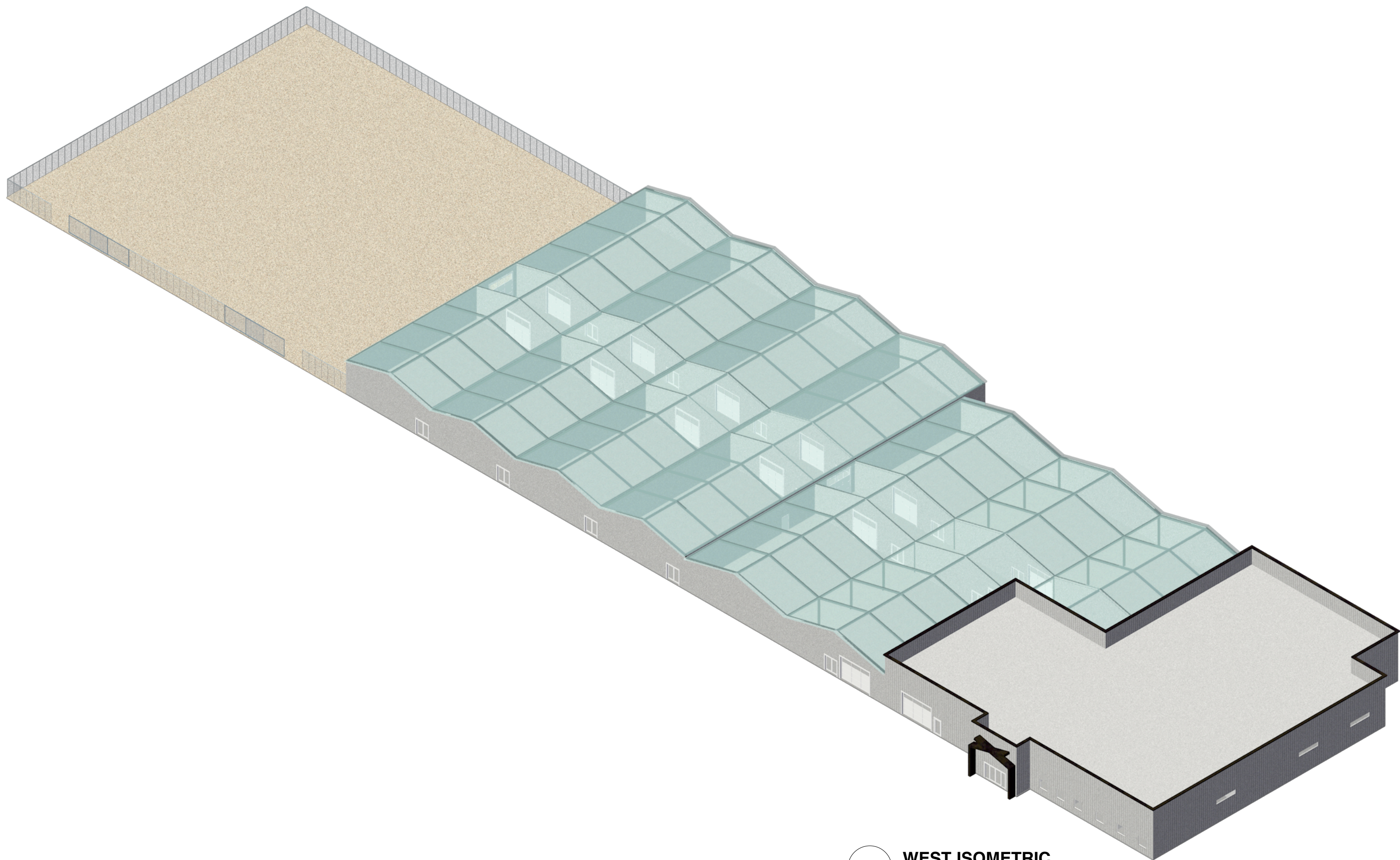
- 1. SECURITY CAMERAS WILL BE MOUNTED TO THE EXTERIOR FACE OF THE BUILDING. SHALL BE LOCATED AT ALL ENTRIES, EXITS AND DELIVERY AREAS. VERIFY LOCATION WITH A LICENSED SECURITY CONSULTANT.
- 2. THERE WILL BE A SECURITY OFFICER ON DUTY AT THE SITE DURING BUSINESS HOURS.
- 3. VEHICULAR SECURITY GATES WILL REMAIN OPEN DURING BUSINESS HOURS AND CLOSED AT NIGHT. ADJACENT TO THE VEHICULAR GATES ARE MAN GATES. A KNOX BOX WILL BE PLACED AT EACH MAN GATE FOR USE BY THE POLICE DEPARTMENT AND/OR FIRE DEPARTMENT.
- 4. ALL DELIVERIES WILL OCCUR WITHIN THE ENCLOSED FACILITY OF THE BUILDING. DELIVERY VEHICLES WILL NOT BLOCK VEHICULAR CIRCULATION DURING BUSINESS HOURS.
- 5. VEHICULAR RESISTANT BOLLARDS SHALL BE INSTALLED IN FRONT OF MAIN ENTRIES.
- 6. ALL WINDOWS AND DOORS AT MAIN LEVEL WILL BE SECURED AND IMPACT RESISTANT. METAL SECURITY GRILLES AND/ OR ARMOR RESISTANT/BULLET RESISTANT GLASS SHALL BE INSTALLED IN STOREFRONT FRAMES AND ENTRANCE DOORS.
- 7. ROLL-UP STEEL DOORS FOR DELIVERY TO BE IMPACT RESISTANT.

SECURITY LEGEND:

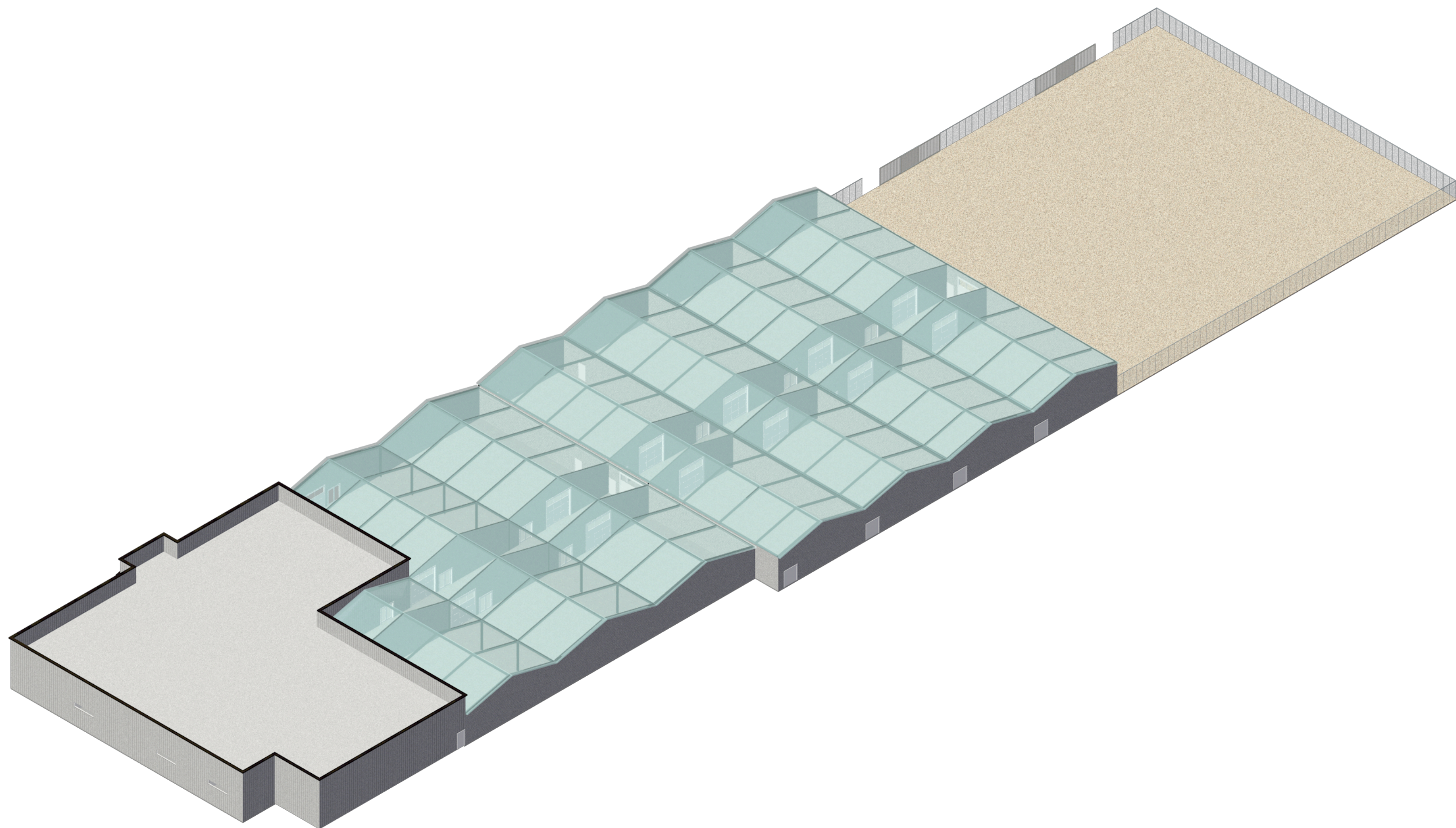
- EXTERIOR SECURITY CAMERA
- 42" HIGH, 5"Ø STEEL BOLT-DOWN BOLLARD TO BE LOCATED AT DELIVERY AREAS- REFER TO C-5.0 FOR SPECIFICATION



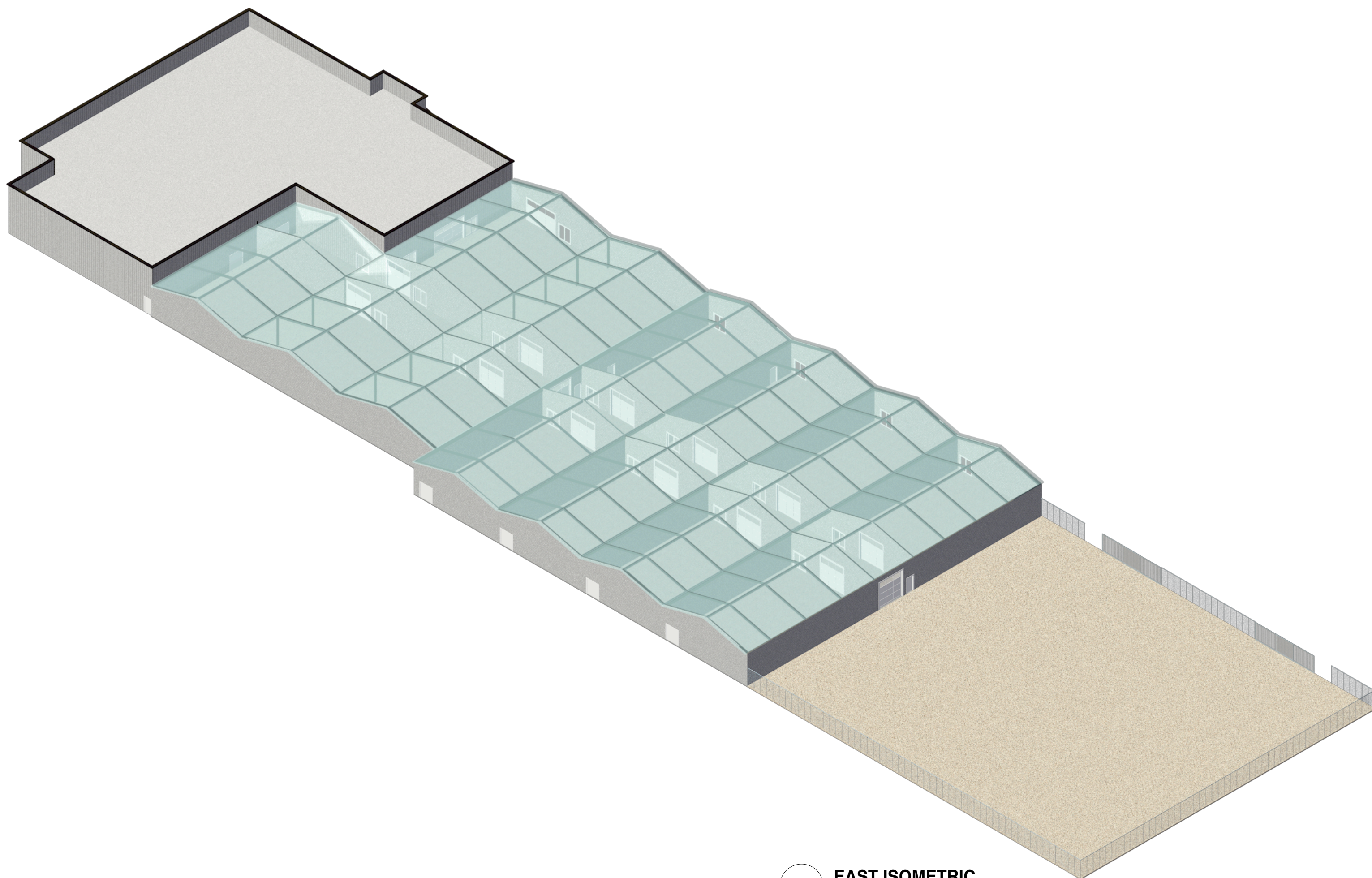
 **NORTH ISOMETRIC**
Scale: 1/32" = 1'-0"



 **WEST ISOMETRIC**
Scale: 1/32" = 1'-0"



 **SOUTH ISOMETRIC**
Scale: 1/32" = 1'-0"

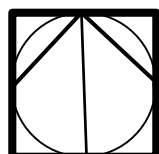


 **EAST ISOMETRIC**
Scale: 1/32" = 1'-0"



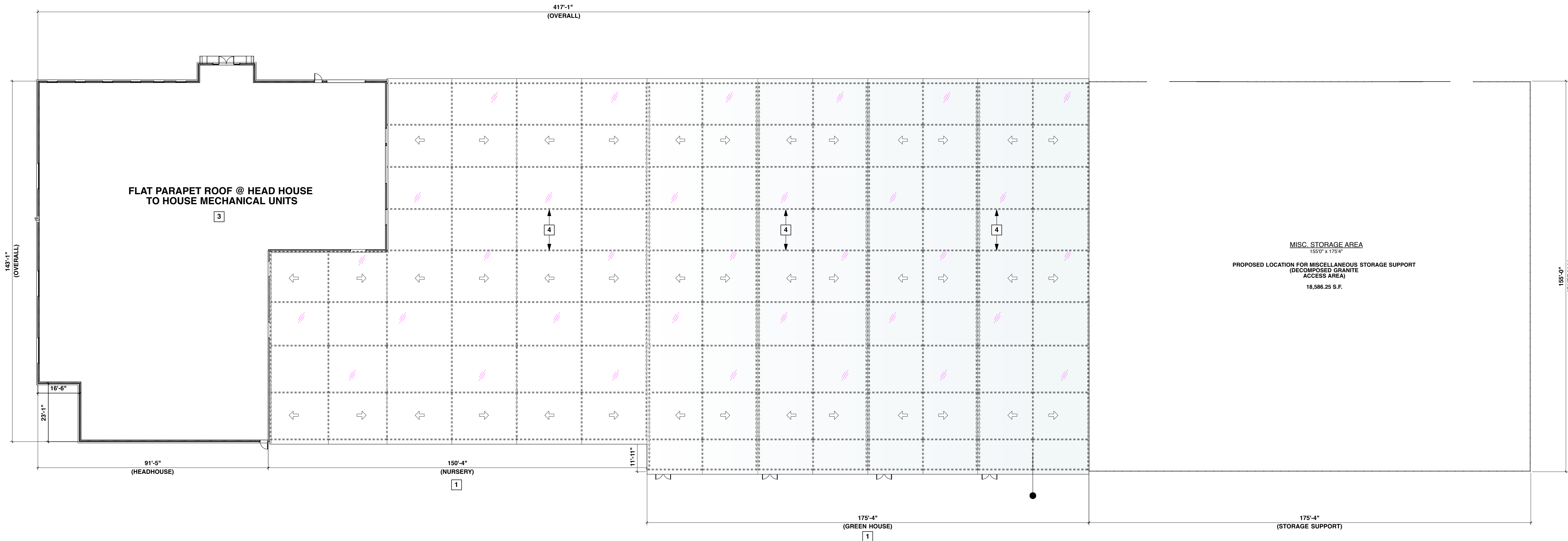
SCALE: 1" = 20'

[illegible]



ROOF PLAN

SCALE: 1" = 20'



NEXUS SYSTEM GREENHOUSE NOTES:

STRUCTURES/ COVERINGS:

STRUCTURES CONTAIN FABRICATED STEEL COMPONENTS WITH FACTORY WELDED TRUSSES AND PRE-DRILLED PURLINS FOR EASE OF CONSTRUCTION. CUSTOMIZED TRUSSED ROOF SYSTEM ARE DESIGNED BY NEXUS ENGINEERS TO MEET THE CITY OF GROVER BEACH MUNICIPAL BUILDING CODES AND THE CALIFORNIA BUILDING CODE.

LIGHT DEPRIVATION:

PROLONG PERIODS OF CONSISTENT DARKNESS ARE NATURE'S TRIGGER FOR MARIJUANA FLOWERING. TO INDUCE FLOWERING, PLANTS NEED TO BE PLACED UNDER 12 HOURS OF DARKNESS ALONG WITH 12 OF LIGHT EACH DAY. THIS PROCESS CAN BE MANAGED USING SIDE WALLS AND CURTAIN ALONG THE ROOF OF THE GREENHOUSE IN COMBINATION WITH LIGHT TRAP FILTERS ON VENTILATION EQUIPMENT.

THIS WILL ALSO CONTROL AND PREVENT LIGHT POLLUTION

LIGHTING:

GREENHOUSE CANNABIS PRODUCTION PROVIDES THE OPPORTUNITY TO CAPTURE AND UTILIZE NATURE'S SUNLIGHT. NATURAL LIGHT HELPS MAXIMIZE PLANT PRODUCTION AND DECREASE OPERATING COST DUE TO LESS SUPPLEMENTAL LIGHTING.

SUPPLEMENTAL LIGHT IS OFTEN NECESSARY ON LOW LIGHT DAYS. THESE LIGHTING SYSTEMS ENSURE CONSISTENT LIGHT LEVELS.

FOR MORE INFORMATION CONTACT NEXUS GREENHOUSE SYSTEMS

DAVE WEISENEL
PH: 303-450-8512
EMAIL: dave@nexuscorp.com
http://www.nexuscorp.com/

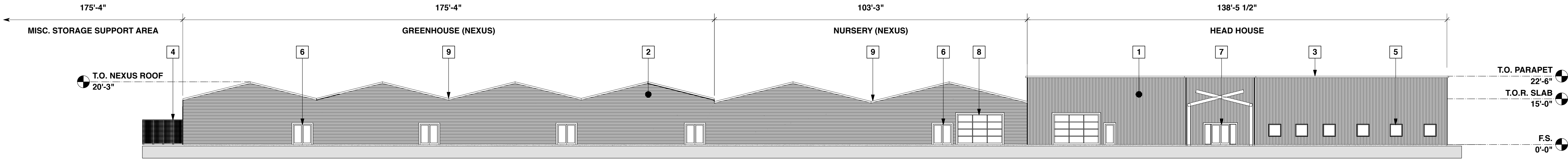


GENERAL ROOFING NOTES:

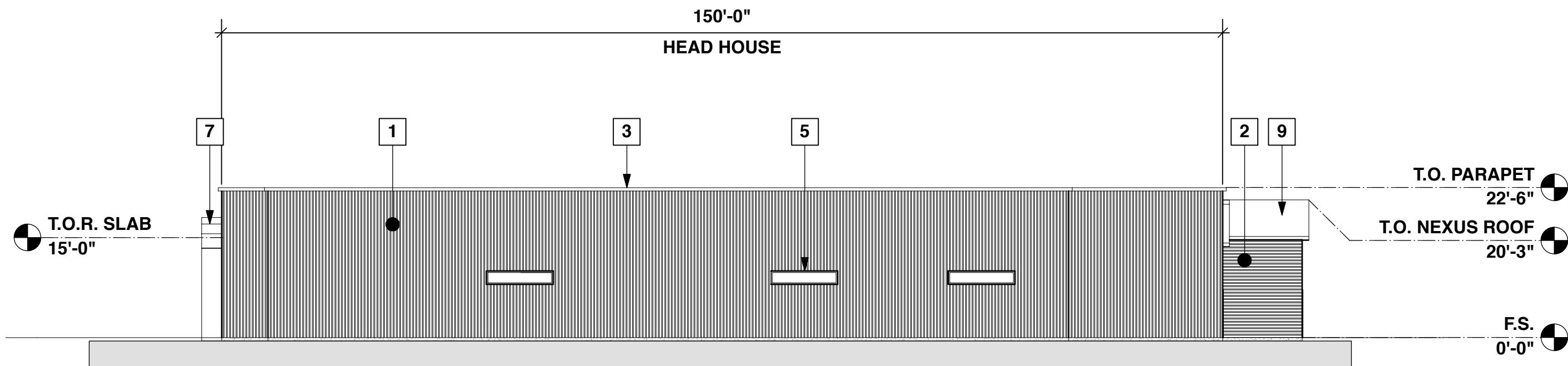
- ROOFING MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 15, 2016 C.B.C.
 - UNDERLAYMENT TYPE: REFER TO ROOF NOTE THIS SHEET
 - ROOFING: TYPE: REFER TO NOTE THIS SHEET
 - ROOF SLOPE: SLOPE: VARIES
- FLASH CRICKETS AND VALLEYS IN ACCORDANCE WITH 2016 C.B.C. SECTION 1503 AND 1507.
- FLASH AND COUNTER FLASH JUNCTIONS OF ROOFS AND VERTICAL SURFACES PER ROOFING MANUFACTURER'S RECOMMENDATIONS AND, WHEN OF METAL, SHALL NOT BE LESS THAN 26 GAGE CORROSION-RESISTANT METAL.
- FLASH ALL PLUMBING, MECHANICAL, AND ELECTRICAL ROOF PENETRATIONS.
- PROVIDE ATTIC CROSS VENTILATION AS FOLLOWS (C.B.C. SECTION 1203.2)
 - NET FREE VENTING AREA: 1/150 OF ATTIC AREA, OR 1/300 OF ATTIC AREA WHERE AT LEAST 50% OF REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC AT LEAST 3 FEET ABOVE THE EAVES AND THE REMAINING VENTILATION AREA IS PROVIDED BY EAVES VENTS
 - FOR ATTIC VENTILATION CALCULATIONS-REFER TO TABLES
- PROTECT ATTIC VENTS AGAINST ENTRANCE OF RAIN AND SNOW.
- ALL FLASHING AT VALLEYS SHALL BE 28 GAGE MIN. CORROSION-RESISTANT METAL.
- ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND THAT EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
- ROOF GUTTERS SHALL BE PROVIDED W/MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

ROOF REFERENCE NOTES:

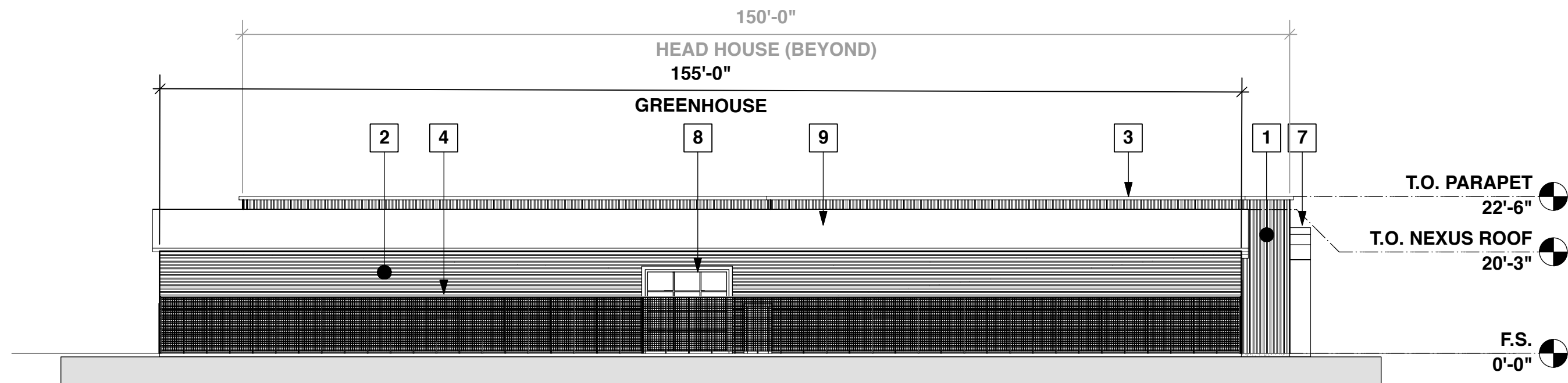
- CUSTOMIZED CONTROLLED ENVIRONMENT GREENHOUSE. FACTORY-WELDED ROOF TRUSS SYSTEM DESIGNED BY NEXUS ENGINEERS. SHALL MEET COUNTY AND CALIFORNIA BUILDINGS CODES
- LOW SLOPE ROOF TO HOUSE THE REQUIRED HVAC MECHANICAL EQUIPMENT- 2% MIN SLOPE TOWARD ROOF DRAIN
- PARAPET WALL AROUND HEAD HOUSE
- METAL STRUCTURAL TRUSS FRAMING



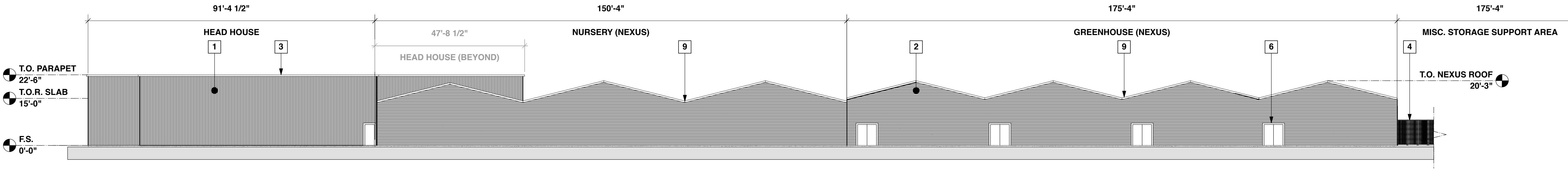
NORTH ELEVATION
Scale: 1/16" = 1'-0"



WEST ELEVATION
Scale: 1/16" = 1'-0"



EAST ELEVATION
Scale: 1/16" = 1'-0"



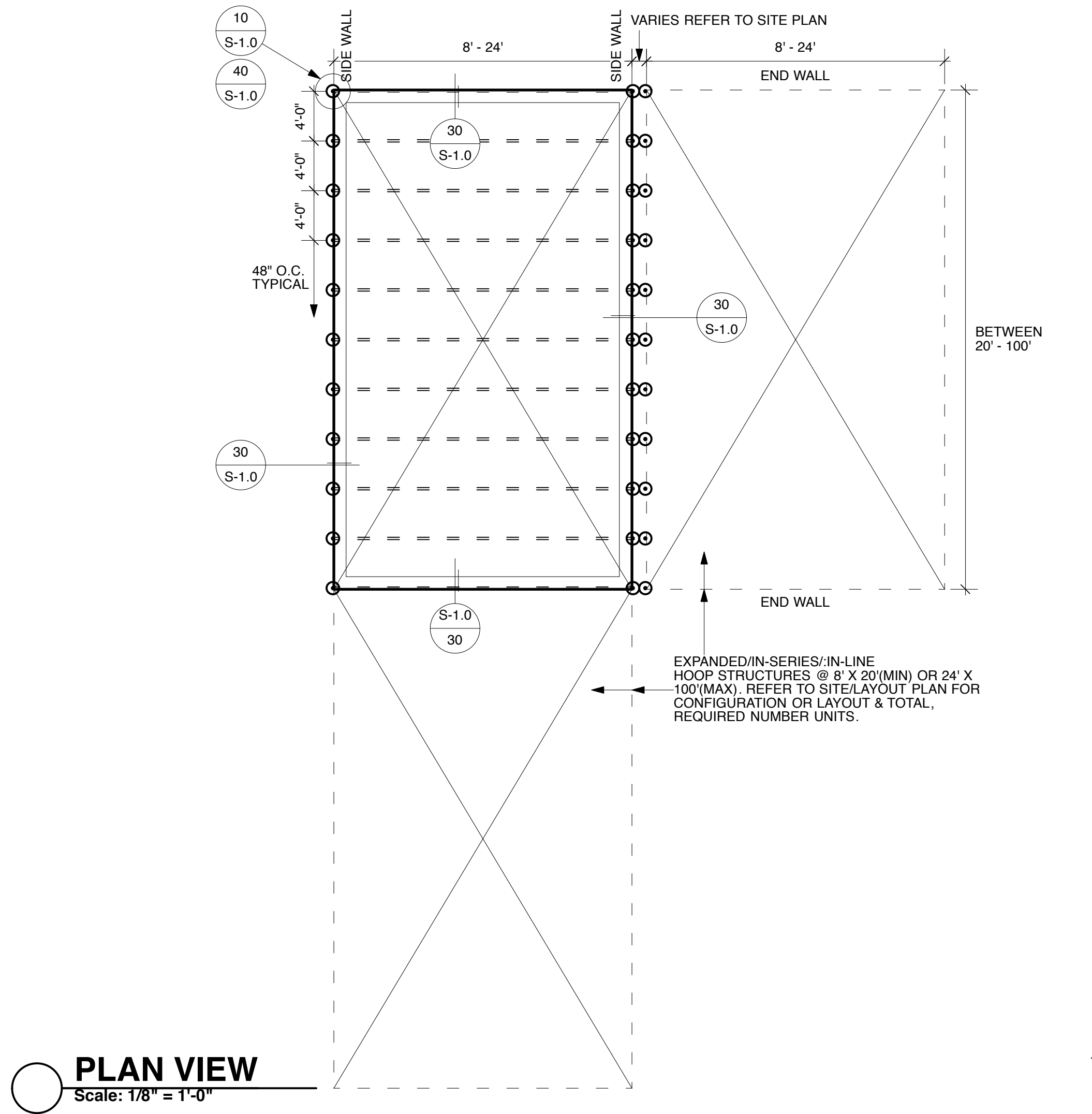
SOUTH ELEVATION
Scale: 1/16" = 1'-0"

ELEVATION GENERAL NOTES:

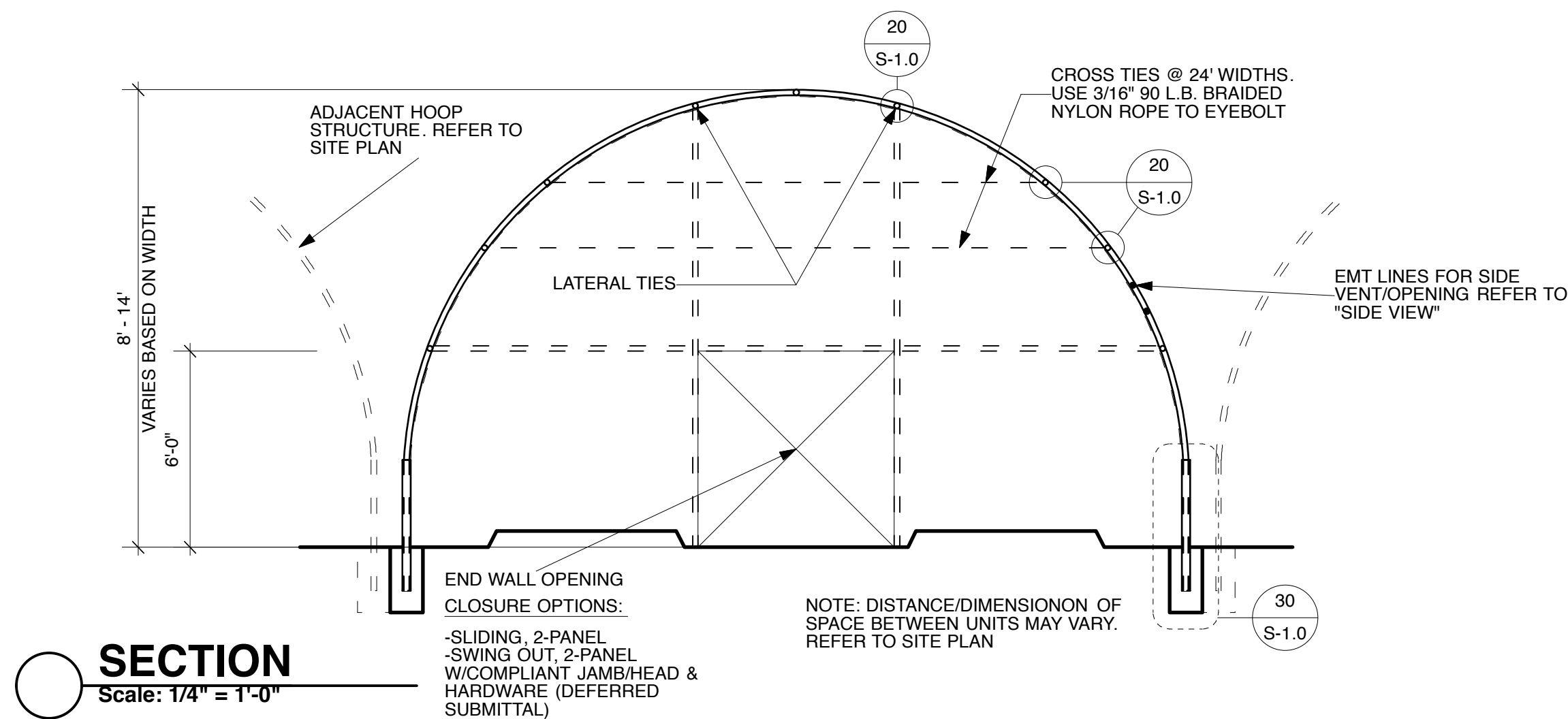
1. EXTERIOR FINISHES AND COLOR SHALL BE VERIFIED WITH THE OWNER PRIOR TO APPLICATION, WHETHER SPECIFIED ON THE PLANS OR NOT.
2. FLASHING: PROVIDE FLASHING AND COUNTER- FLASHING PER C.B.C. 1503.2.1 AT CHIMNEYS, PARAPETS, BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, ROOF TO WALL INTERSECTIONS, AND ANY OTHER VERTICAL TO HORIZONTAL INTERSECTIONS. TO PROVIDE A WEATHER AND WATER TIGHT JOB. FLASHING AND COUNTER-FLASHING SHALL BE MIN. 26 GA. GALV. METAL. PAINT ALL GALV. METAL MATERIAL TO MATCH ADJACENT MATERIAL (I.E AT ROOF PENETRATIONS, LOUVERS, ETC.)
3. A WEEP SCREED SHALL BE INSTALLED AT THE BASE OF ALL EXTERIOR PLASTER WALLS TO ALLOW TRAPPED MOISTURE TO ESCAPE. SCREED SHALL BE MIN. 26 GALV. METAL WITH 3.5 IN. MOUNTING FLANGE. SCREED SHALL BE MIN. 4 INCHES ABOVE EARTH AND A MIN. 2 IN. ABOVE PAVING
4. PROVIDE TWO LAYERS OF GRADE D PAPER BEHIND EXTERIOR PLASTER (WHERE IT OCCURS OVER PLYWOOD SHEAR PANELS) AS A WEATHER RESISTIVE BARRIER.
5. PROVIDE TWO LAYERS OF GRADE D BUILDING PAPER BEHIND WOOD SIDING AS A WEATHER RESISTIVE BARRIER.
6. ALL EXTERIOR SIDING SHALL BE MIN. 3/8" UNLESS OVER SHEATHING. ALL SIDING JOINTS SHALL BE CENTERED OVER FRAMING MEMBERS WITH CONTINUOUS WOOD BATTS OR JOINTS SHALL BE WATERPROOFED. NAIL ALL SIDING WITH GALV. NAILS
7. GUTTER AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS U.N.O
8. ADDRESS NUMBERS, MIN. 6" HIGH ON A CONTRASTING BACKGROUND SHALL BE POSTED ON THE BUILDING, PLAINLY VISIBLE FROM THE STREET FRONTING THE BUILDING. NUMBERS SHALL BE LARGER IF REQUIRED BY THE BUILDING DEPARTMENT. REFER TO ELEVATION FOR LOCATION AND SIZE.
9. ALL LIGHTING FIXTURES SHALL BE SHIELDED SO THAT NEITHER THE LAMP OR THE RELATED REFLECTOR INTERIOR SURFACE IS VISIBLE AND SO THAT NO LIGHT SHINES INTO THE BACKYARDS OF ADJACENT PROPERTIES. ALL LIGHTING POLES, FIXTURES, AND HOODS SHALL BE DARK COLORED.
1. CORRUGATED VERTICAL METAL PANELS- INSTALL PER MANUF. SPEC.
2. CORRUGATED HORIZONTAL METAL PANELS- INSTALL PER MANUF. SPEC.
3. PARAPET AROUND HEAD HOUSE
4. INDICATES ±8'-0" HIGH CHAIN LINK SECURITY FENCE AROUND THE PERIMETER OF STORAGE AREA
5. WINDOW PER PLAN
6. EMERGENCY EXIT ONLY DOOR PER PLAN
7. MAIN ENTRANCE DOOR PER PLAN
8. OVERHEAD DELIVERY DOOR PER PLAN
9. CUSTOMIZED CONTROLLED ENVIRONMENT GREENHOUSE,FACTORY-WELDED ROOF TRUSS SYSTEM DESIGNED BY NEXUS ENGINEERS. SHALL MEET SLO COUNTY AND CBC- REFER TO SHEET A-7.0 FOR MORE INFORMATION

ELEVATION REFERENCE NOTES:

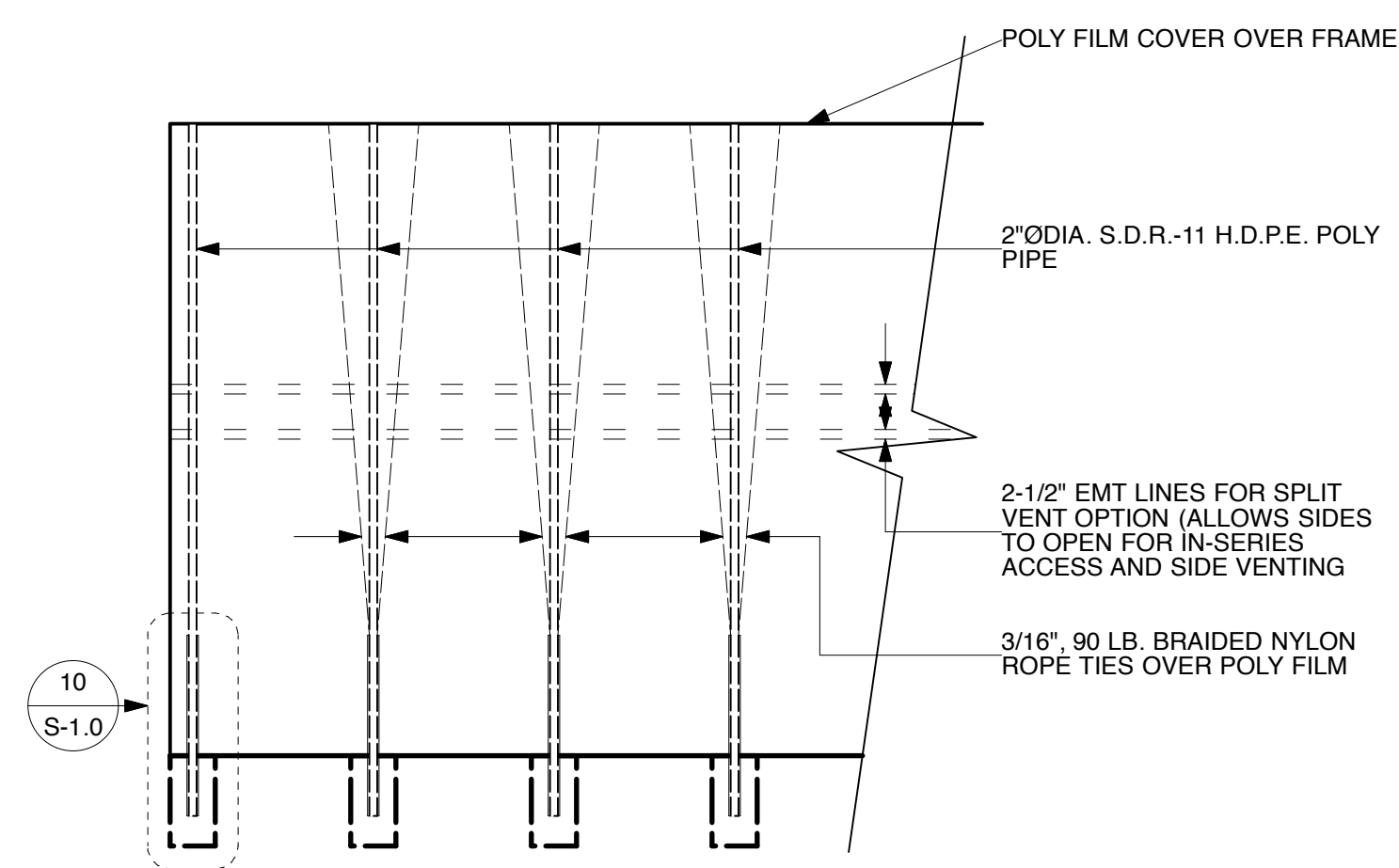
CONSTRUCTION WASTE MANAGEMENT PLAN
CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4 DIVISION 4.4 PER 2016 CRC
CODE COMPLIANCE
CODES: ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES: -2016 CALIFORNIA BUILDING CODE (CBC), BASED ON THE 2015 IBC -2016 CALIFORNIA RESIDENTIAL CODE (CRC), BASED ON THE 2015 IRC -2016 CALIFORNIA MECHANICAL CODE (CMC), BASED ON THE 2015 UMC -2016 CALIFORNIA PLUMBING CODE (CPC), BASED ON THE 2015 UPC -2016 CALIFORNIA ELECTRICAL CODE (CEC), BASED ON THE 2014 NEC -2016 CALIFORNIA GREEN BUILDING STANDARDS CODE -2016 CALIFORNIA ENERGY CODE -2016 CALIFORNIA RESIDENTIAL ENERGY STANDARDS -2016 CALIFORNIA GREEN BUILDING CODE (CGBC) -2016 CALIFORNIA FIRE CODE (CFC), BASED ON THE 2015 IFC -NFPA NATIONAL FIRE CODES -PROJECT CONDITIONS OF APPROVAL -COUNTY OF SAN LUIS OBISPO STANDARD CONIDITIONS, AMENDMENTS AND SELECTED CODE REQUIREMENTS ON FILE AT THE COMMUNITY DEVELOPMENT DEPARTMENT, PLANNING AND BUILDING DIVISION -ALL OTHER CODES AND ORDINANCES ADOPTED BY THE COUNTY OF SAN LUIS OBISPO AGENCIES HAVING JURISDICTION OVER THIS PROJECT
STATEMENT OF COMPLIANCE
THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE COUNTY OF SAN LUIS OBISPO ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND I/WE WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASES.
THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2016 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), AND CALIFORNIA ENERGY CODE (CEC).
EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES
EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL CONSTRUCTION AND GROUND DISTURBING ACTIVITIES PER THE COUNTY OF SAN LUIS OBISPO STANDARDS.
EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.
NOTE: SUBJECT TO CHANGE AS PROJECT CONSTRUCTION PROGRESSES AND GENERAL CONTRACTOR TAKES ON RESPONSIBILITY



PLAN VIEW
Scale: 1/8" = 1'-0"

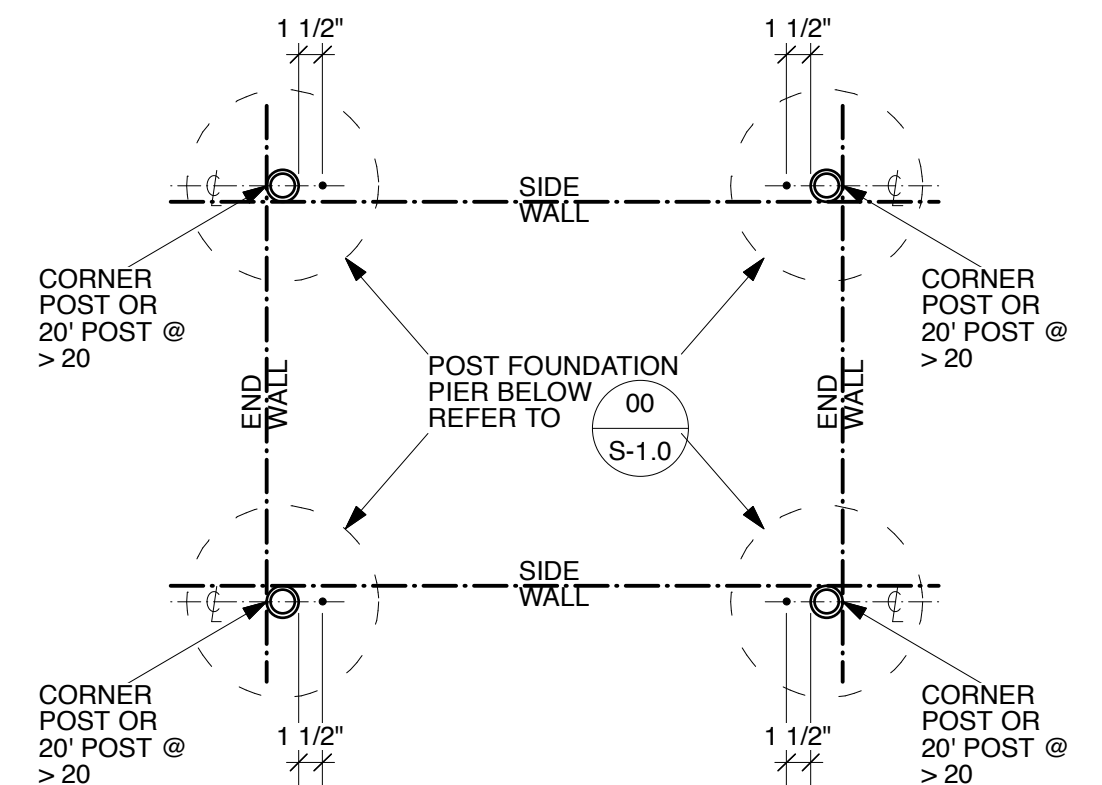


SECTION
Scale: 1/4" = 1'-0"



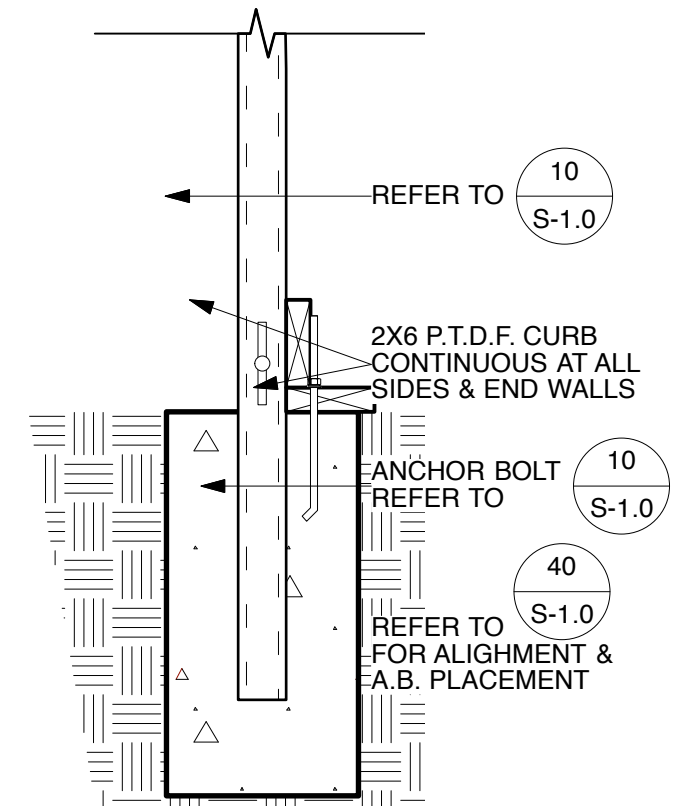
SIDE VIEW

1/4" 50



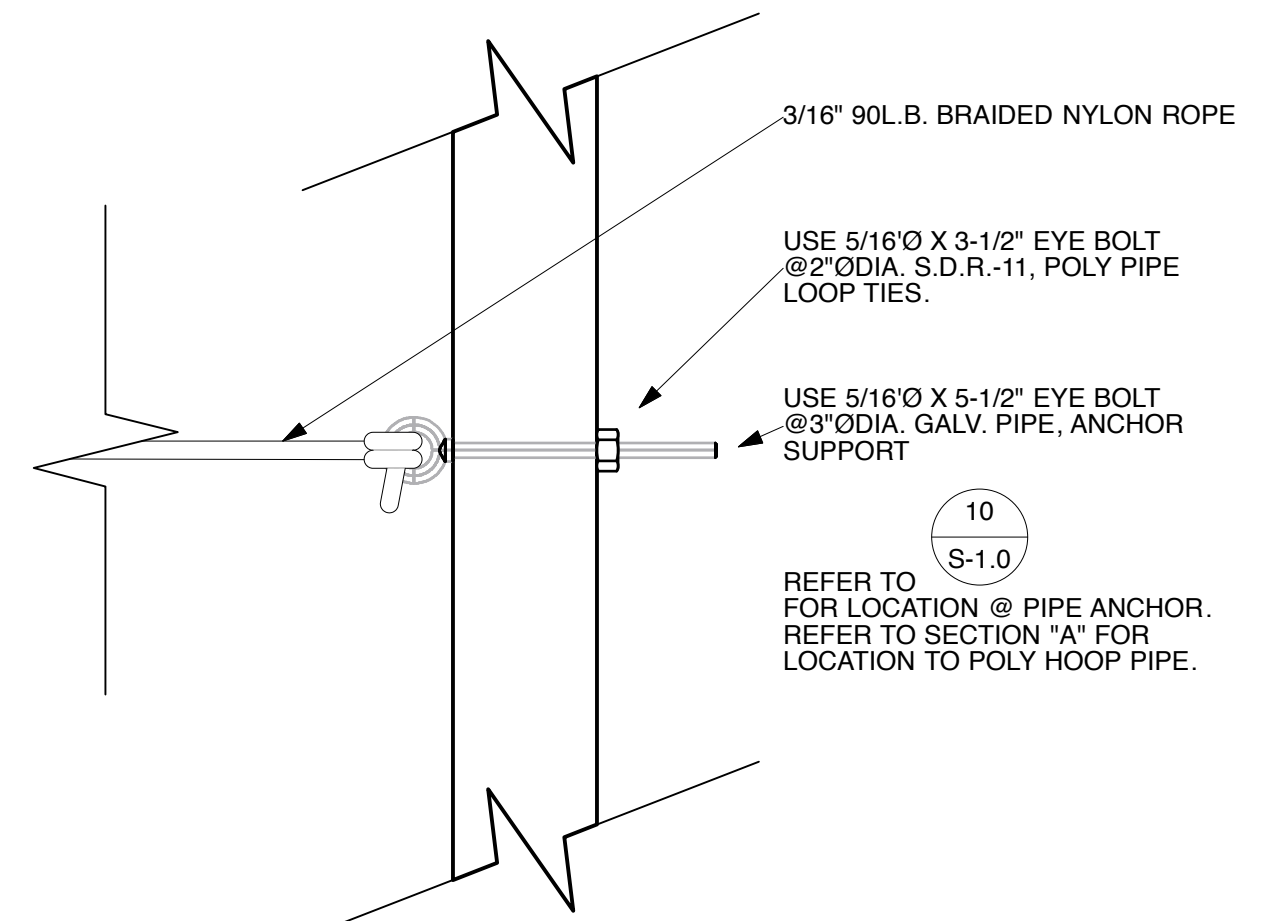
FOUNDATION PIERS

40



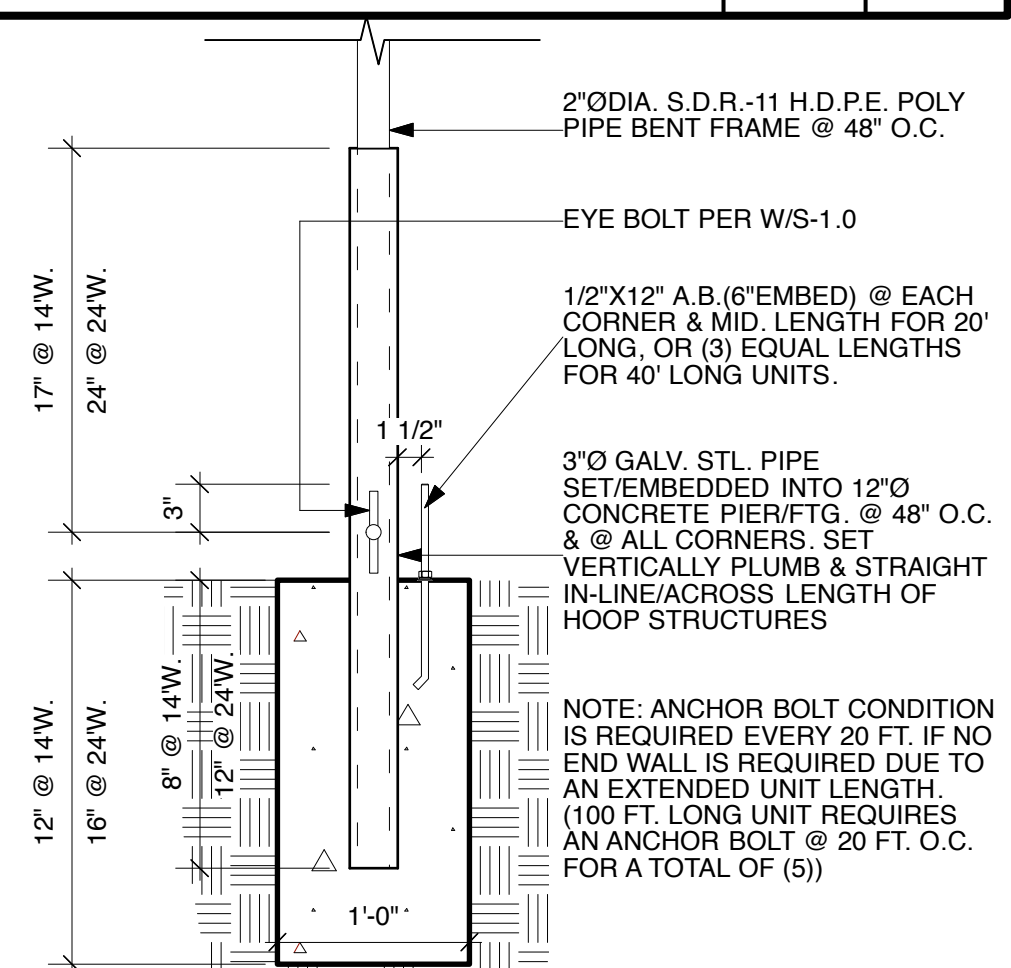
REDWOOD CURB

1" 30



EYE BOLT

20



FOOTING

1" 10

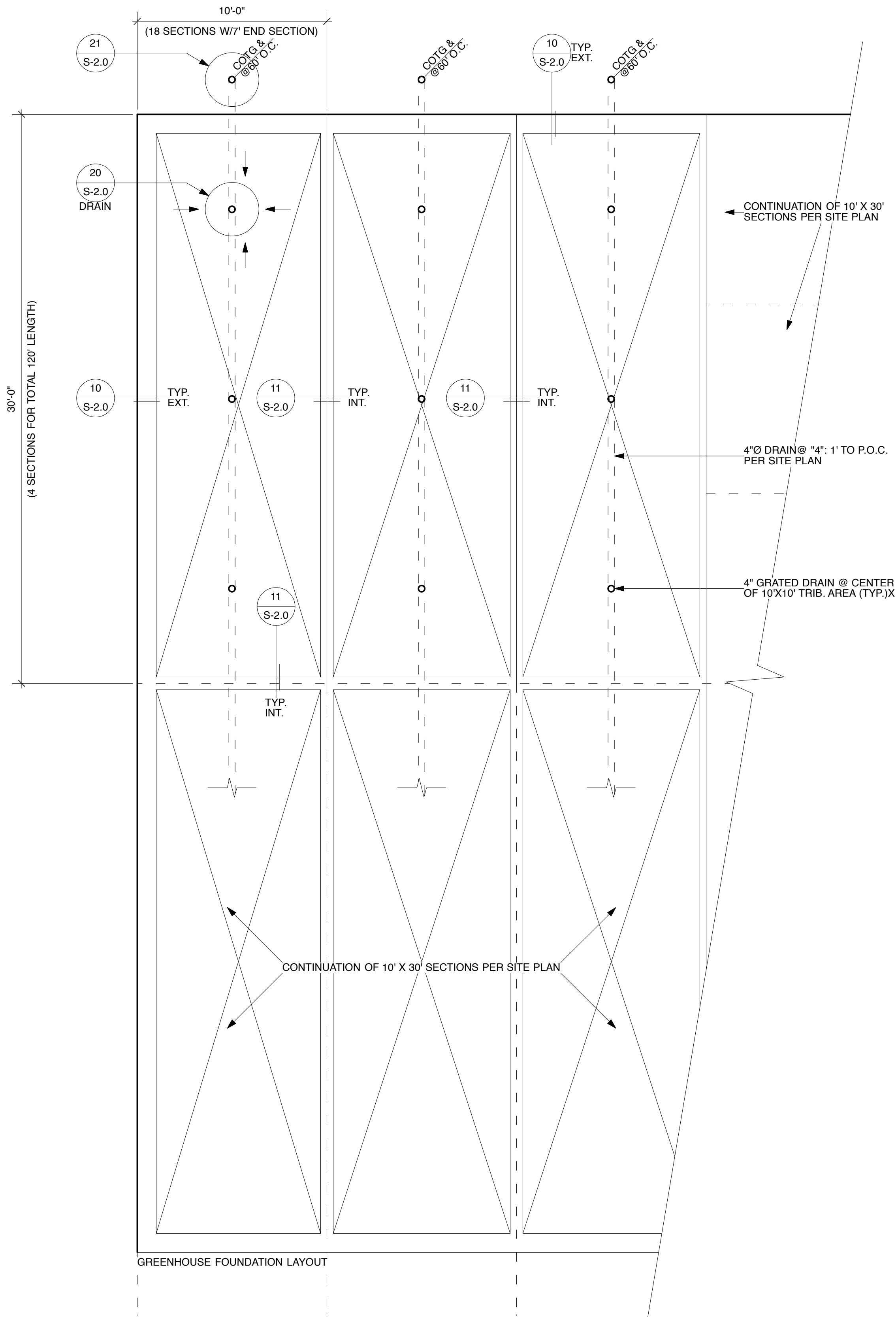
NOTE: THIS PLAN IS FOR THE CONSTRUCTION OF CONCRETE SLAB-ON-GRADE FOUNDATIONS TO BE USED IN CONJUNCTION WITH A PRE-MANUFACTURED & PRE-FABRICATED GREENHOUSE ENCLOSURE. THE SPECIFIC TYPE, MANUFACTURER & SPECIFICATIONS ARE TO BE REVIEWED AND VERIFIED FOR COMPLIANCE TO THE PROPOSED FOUNDATION SUPPORT DESIGN PRIOR TO PURCHASE & CONSTRUCTION OF SAID FOUNDATIONS, RELATED FOOTINGS, PAD/GRADING PREPARATION, ETC.

21

20

11

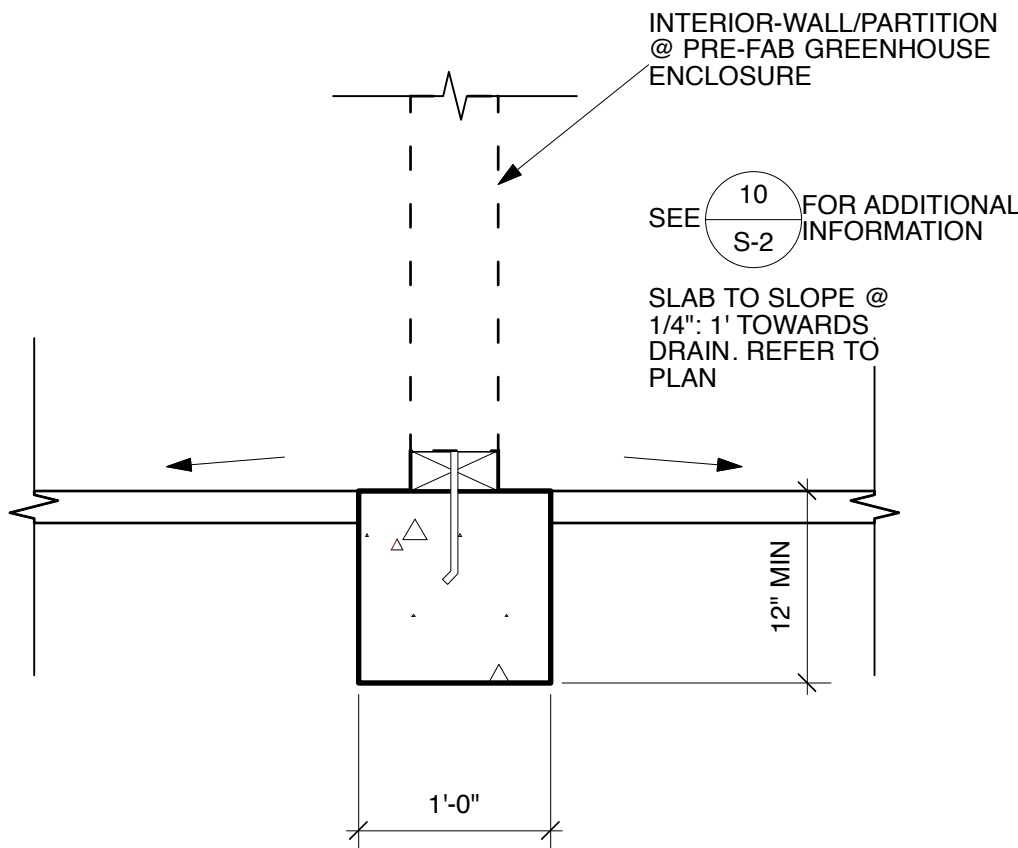
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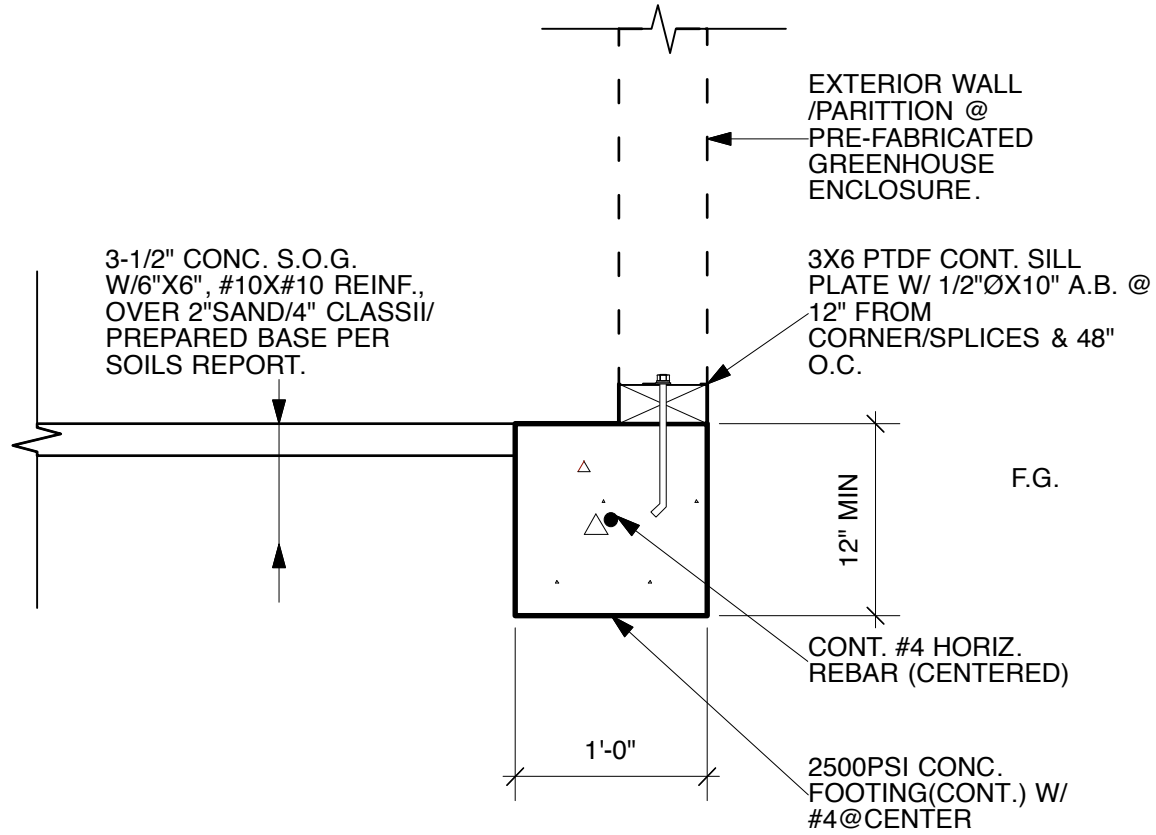
1 **PLAN VIEW**
Scale: 1/4" = 1'-0"

NOTE: REFER TO THE SPECIFIC/DEVELOPED SITE PLAN FOR COMPLETE CONFIGURATION & LAYOUT

NOTE: THIS PLAN IS FOR THE CONSTRUCTION OF CONCRETE SLAB-ON-GRADE FOUNDATIONS TO BE USED IN CONJUNCTION WITH A PRE-MANUFACTURED & PRE-FABRICATED GREENHOUSE ENCLOSURE. THE SPECIFIC TYPE, MANUFACTURER & SPECIFICATIONS ARE TO BE REVIEWED AND VERIFIED FOR COMPLIANCE TO THE PROPOSED FOUNDATION SUPPORT DESIGN PRIOR TO PURCHASE & CONSTRUCTION OF SAID FOUNDATIONS, RELATED FOOTINGS, PAD/GRADING PREPARATION, ETC.



INTERIOR FOOTING 1" 11



EXTERIOR FOOTING 1" 10