



THIS IS A NEW PROJECT REFERRAL

DATE: 4/10/2019

TO: 1st District Legislative Assistant, Agricultural Commissioner, Assessor, Air Pollution Control Board (APCD), Building Division, Cal Fire/County Fire, Environmental Health, Public Works, Sheriff, Caltrans, U.S. Fish and Wildlife, Upper Salinas/Las Tablas Resource Conservation District, CA Fish and Wildlife, RWQCB, Williamson Act, AB52

FROM: Cassidy McSurdy (cmcsurdy@co.slo.ca.us or 805-788-2959)

PROJECT NUMBER & NAME: DRC2019-00053 GREENMILK LLC

PROJECT DESCRIPTION: Proposed Conditional Use Permit for cannabis cultivation, nursery, manufacturing and distribution transport-only to be located at 2685 Lynch Canyon Rd. Bradley, CA

APN(s): 080-021-005

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART I: IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- ☐ YES (Please go on to PART II.)
- ☐ NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II: ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- ☐ YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- ☐ NO (Please go on to PART III.)

PART III: INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone



GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- ☐ Emergency Permit ☐ Tree Permit ☐ Minor Use Permit
☐ Conditional Use Permit/Development Plan ☐ Plot Plan
☐ Curb, Gutter & Sidewalk Waiver ☐ Other ☐ Site Plan
☐ Surface Mining/Reclamation Plan ☐ Zoning Clearance
☐ Amendment to approved land use permit ☐ Variance

Department Use Only
Do Not Mark
(Staff Apply Label Here)

APPLICANT INFORMATION Check box for contact

person assigned to this project

☐ Landowner Name Greenmilk LLC Daytime Phone 310 880-2155
 Mailing Address c/o Tom BRUNDEN 612 Canyon Ct SL Zip Code 93401
 Email Address: ADIVISON@DIRKTONSLA.COM

☐ Applicant Name Same Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

☐ Agent Name Tom BRUNDEN Daytime Phone 805 544-4011
 Mailing Address 612 Canyon Ct SL Zip Code 93401
 Email Address: Tom@CHILLACKGROUP.COM

PROPERTY INFORMATION

Total Size of Site: 167.3 Assessor Parcel Number(s): 080 021-005

Legal Description: AL

Address of the project (if known): _____

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: _____

Describe current uses, existing structures, and other improvements and vegetation on the property:

Cannabis

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Cannabis

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature _____ Date _____

FOR STAFF USE ONLY



LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: ☒ Commercial ☐ Industrial ☐ Residential ☐ Recreational ☐ Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: Wendy Way / Interlake Road

Surrounding parcel ownership: Do you own adjacent property? ☐ Yes ☒ No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: AG/RL South: AG
East: AG West: AG/RL

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 87,226 sq. feet _____% Landscaping: _____ sq. feet _____%
Paving: 22,040 sq. feet _____% Other (specify) _____
Total area of all paving and structures: 109,266 ☒ sq. feet ☐ acres
Total area of grading or removal of ground cover: 127,000 ☒ sq. feet ☐ acres
Number of parking spaces proposed: 67 Height of tallest structure: 22'6"
Number of trees to be removed: _____ Type: _____
Setbacks: Front _____ Right _____ Left _____ Back _____

Proposed water source: ☐ On-site well ☒ Shared well ☐ Other _____

☐ Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

Proposed sewage disposal: ☒ Individual on-site system ☐ Other _____

☐ Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? ☐ Yes ☐ No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire

For commercial/industrial projects answer the following:

Total outdoor use area: 15,000 ☒ sq. feet ☐ acres
Total floor area of all structures including upper stories: 87,226 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____
Total floor area of all structures including upper stories, but not garages and carports: _____ sf
Total of area of the lot(s) minus building footprint and parking spaces: _____ sf



File No _____

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Water Supply Information

1. What type of water supply is proposed?
☐ Individual well ☒ Shared well ☐ Community water system
2. What is the proposed use of the water?
☐ Residential ☒ Agricultural - Explain Cannabis Cultivation
☒ Commercial/Office - Explain Restrooms
☐ Industrial - Explain _____
3. What is the expected daily water demand associated with the project? 2100 GPD
4. How many service connections will be required? 1
5. Do operable water facilities exist on the site?
☒ Yes ☐ No If yes, please describe: New Well (shared)
6. Has there been a sustained yield test on proposed or existing wells?
☒ Yes ☐ No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? ☒ Yes ☐ No
Chemical? ☒ Yes ☐ No
Physical ☒ Yes ☐ No
Water analysis report submitted? ☒ Yes ☐ No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
☐ Well Driller's Letter ☒ Water Quality Analysis (☒ OK or ☐ Problems)
☐ Will Serve Letter ☒ Pump Test 4 Hours / 30 GPM
☐ Surrounding Well Logs ☐ Hydrologic Study ☐ Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
☒ Yes ☐ No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? 1600 feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
☐ Yes ☒ No
4. Has a piezometer test been completed?
☐ Yes ☒ No If 'Yes', please attach.
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
☐ Yes ☒ No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? ☐ Yes ☐ No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ GPD
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? ☐ Yes ☐ No

Solid Waste Information

1. What type of solid waste will be generated by the project?
☐ Domestic ☐ Industrial ☒ Agricultural ☐ Other, please explain? _____
2. Name of Solid Waste Disposal Company: San Miguel Garbage
3. Where is the waste disposal storage in relation to buildings? Exterior Dumpster
4. Does your project design include an area for collecting recyclable materials and/or composting materials?
☒ Yes ☐ No

Community Service Information

1. Name of School District: San Miguel JUSD
2. Location of nearest police station: SLO Sheriff North Station Templeton
3. Location of nearest fire station: Oak Shores Fire Station
4. Location of nearest public transit stop: N/A
5. Are services (grocery/other shopping) within walking distance (1/2 mile or closer) of the project?
☐ Yes ☒ No

Historic and Archeological Information

1. Please describe the historic use of the property: Cattle Grazing
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?
☒ Yes ☐ No
If yes, please describe: See Arch Report
3. Has an archaeological surface survey been done for the project site?
☒ Yes ☐ No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: 7 days/week Hours of Operation: 8-5
2. How many people will this project employ? 38
3. Will employees work in shifts? ☐ Yes ☒ No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, ~~odors~~, fumes, vapors)?
☒ Yes ☐ No If yes, please explain: _____
5. Will this project increase the noise level in the immediate vicinity?
☒ Yes ☐ No
If yes, please explain: Consistent with outdoor cannabis cultivation.
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail:
Recyclables: Plastic Bottles, Cardboard, etc...
7. Will hazardous products be used or stored on-site?
☒ Yes ☐ No
If yes, please describe in detail: See enclosed information
8. Has a traffic study been prepared? ☒ Yes ☐ No If yes, please attach a copy.
9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 38 Between 4:00 to 6:00 p.m. 38

3. Are you aware of any previous environmental determinations for all or portions of this property?

☐ Yes ☒ No

If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): State Cultivation and Distribution License

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned to the project)



COUNTY OF SAN LUIS OBISPO
DEPARTMENT OF PLANNING & BUILDING
CANNABIS APPLICATION SUPPLEMENT

PLN-2018
12/8/2017

The following information is required in addition to the Land Use Permit Application.

Cannabis Activities Proposed

- | | | |
|---|---|--|
| <input checked="" type="checkbox"/> Cultivation | <input checked="" type="checkbox"/> Nursery | <input checked="" type="checkbox"/> Manufacturing Facility |
| <input type="checkbox"/> Testing Facility | <input type="checkbox"/> Dispensary | <input checked="" type="checkbox"/> Distribution Facility |

For Cultivation and Nurseries ONLY

Approved Cooperative/Collective Registration number. *Note: If you do not hold an approved cooperative/collective registration, you cannot apply for cultivation until 2019.*

Approved registration number: CCM2016- 00257 and CCM 2016 - 00290

What is the applicant on the approved registration? *Note: The applicant name on the registration must match the applicant name on the land use permit.*

Name of applicant: Green Milk LLC

Are you planning on cultivating on the same site that a registration was approved for?

- ☒ Yes ☒ No

What type of State cultivation license are you seeking?

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Type 1 | <input checked="" type="checkbox"/> Type 2 | <input checked="" type="checkbox"/> Type 3 | <input checked="" type="checkbox"/> Type 4 |
| <input type="checkbox"/> Type 5 | <input type="checkbox"/> Microbusiness | <input checked="" type="checkbox"/> Indoor | <input type="checkbox"/> Outdoor |
| <input checked="" type="checkbox"/> Mixed-light | | | |

Designate the total square footage of your cultivation canopy area(s). This is not necessarily the maximum canopy size allowed by the tier of license for which you are applying, but the amount of canopy area you intend to produce. If you intend to have multiple canopy area locations, include only the total square footage of the total canopy.

Check one or more of the following that apply and attach a detailed diagram of your designated canopy area. Include specific dimensions, in feet and inches, in the diagram. If you have only a single canopy area, clearly indicate that. If you are designating multiple canopy areas, clearly identify the square footage and dimensions of each area and how it is separated from other canopy areas. Note that if you are designating multiple canopy areas you must separate each area by a physical boundary such as an interior wall. Vertically stacked canopy areas must be identified as such in the detailed diagram submitted by applicants.

I have designated the specific area and dimensions of my newly designated canopy area(s):

CANNABIS APPLICATION SUPPLEMENT

- ☒ On my floor plan submitted with the application
☐ On an additional document submitted with my application

Record your estimates of electrical usage in kilowatt-hours (kWh). To determine how many kWh a piece of equipment uses, take the following steps:

- Determine the wattage of the device by checking manufacturer specifications
- Multiply this number by the number of hours each month the device will be in use to determine watt-hours.
- Divide each month's watt-hours by 1,000 to determine kWh. Round to three decimal places.
- Repeat this for each piece of equipment and the total amounts for each month.
- Estimates should assume the business is in full production for each month.

Describe all sources of electrical power and the total annual kWh expected to be drawn from each. For example, if the operation uses on-site power generation from a source such as solar panels, document the amount of power you expect to use from that source in addition to any other sources.

Source or utility name	Expected kWh drawn annually
PG & E	513,384 kWh
Total Annual kWh:	513,384 kWh

Clearly identify the measurement unit you are using to estimate or report your water usage. If you are using multiple units, you may use additional columns to record that information. If you are using reclaimed water, identify that as a source. If you are utilizing more sources of water than may be included on this form, you may include that information on a separate page submitted with this application.

Estimate the total water used in the production of marijuana by month. If recording estimates for multiple sources, estimate these amounts separately.

Source	On site well		
Month and Year			
1	.30 (AF)		
2	.30		
3	.30		
4	.30		
5	.30		
6	.30		
7	.30		
8	.30		
9	.30		
10	.30		
11	.30		
12	.30		
Totals	3.6		

CANNABIS APPLICATION SUPPLEMENT

Do you plan on using pesticides?

☒ Yes ☐ No

List of pesticides anticipated to be used: _____

For Manufacturing ONLY

What type of State manufacturing license are you seeking? *Note: Volatile manufacturing is prohibited.*

☒ Type 6 ☐ Type 7 ☐ Type N ☐ Type P
☐ Microbusiness

What type of products do you plan on manufacturing?

☒ Oils ☐ Edibles ☐ Topicals ☐ Other _____

Will the facility be utilizing a closed-loop extraction system?

☒ Yes ☐ No

(If extracting) What types of extraction will you be performing?

☐ Butane ☐ Propane ☐ Hexane ☒ Carbon Dioxide
☒ Ethanol ☒ Mechanical ☐ None
☐ Other _____

For Distribution ONLY

What type of State distribution license are you seeking?

☒ Type 11 ☐ Type 11 – Transport Only

Will you be operating a storage-only business?

☐ Yes ☒ No

How many vehicles do you anticipate transporting/distributing product?

☒ 1-5 ☐ 6-10 ☐ 11+ ☐ N/A Storage Only/Other

CANNABIS APPLICATION SUPPLEMENT

For Dispensaries ONLY

What type of State dispensary license are you seeking? *Note: Dispensaries are not allowed to have storefronts open to the public.*

☒ Type 9 – non-storefront dispensary ☐ Type 10 ☐ Microbusiness

Will you be delivering to other jurisdictions?

☒ Yes ☐ No

How many vehicles do you anticipate delivering product?

☒ 1-5 ☐ 6-10 ☐ 11+ ☐ N/A Storage Only/Other

How many deliveries per day do you anticipate delivering product?

☐ <10 ☒ 11-50 ☐ 51-100 ☐ >100 ☐ N/A Storage Only/Other

LIST OF ALL PESTICIDES, FERTILIZERS AND ANY OTHER HAZARDOUS MATERIALS KEPT ON SITE

It is the intention for the greenhouse to be 100% organic. Fertilizers and Pesticides will be stored in a locked cabinet within the Facility. There will be a detailed safety manual for the employees on how to handle the chemicals per OSHA Standards

Hazardous Materials

1. The extraction will require the use of a non-volatile gas and ethanol.
 - a. 10-15 medical grade CO2 canisters onsite at any given time. This information is based off an Apeks Duplex 2000psi
 - b. 50-100 gallons of Ethanol
2. Until the interconnection process with PG&E for electrical service is complete the facility will be powered by a propane fueled generator
 - a. 2 – Propane Tanks (size TBD)

Pesticides, Herbicides (Types, quantities)

1. Identified below with 5-10 gallons of two or more of these onsite at any one time

Manufacturer	Common Name	Active Ingredient
Marrone Bio Innovations	Regalia	Extract of Reynoutria Sachalinensis
Bayer	Serenade	QT 713 strain of Bacillus Subtilis
Valent	Pyganic EC 5.0	Pyrethrins
Marrone Bio Innovations	Grandevo	Chromobacterium Subtsugae PRAA4-1
Marrone Bio Innovations	Venerate	Burkholderia spp. strain A396
Bionide	Sulphur	Sulfur
Pathogen Zero	Pathogen Zero	Citric Acid
BioSafe Systems	Zerotol 2.0	Hydrogen Dioxide, Peroxyacetic Acid
Food Grade	Food Grade Hydrogen Peroxide 32%	Hydrogen peroxide
Greenspire Global Inc.	Proacidic 2	Citric Acid

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Hazardous Materials

1. The extraction will require the use of a non-volatile gas and ethanol.
 - a. 10-15 medical grade CO2 canisters onsite at any given time. This information is based off an Apeks Duplex 2000psi
 - b. 50-100 gallons of Ethanol
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MEMORANDUM

Date: March 25th, 2019
To: Tom Zehnder, Wallace Group
From: Joe Fernandez and Michelle Matson, CCTC
Subject: **Interlake Road Cannabis Cultivation Facility Trip Generation – Lynch Canyon Road**

This memorandum summarizes the trip generation estimates and collision analysis for a proposed cannabis cultivation facility at 2685 Lynch Canyon Road (APN: 080-021-005) near Interlake Road in unincorporated San Luis Obispo County. The site is accessed from Lynch Canyon Road and the following uses are proposed:

- Indoor Cultivation: 40,572 square foot (SF) greenhouse and nursery.
- Office: 830.27 SF.
- Storage Room: 240 SF.
- Processing: 18,331.89 SF head house.

Note that a second cultivation site is proposed at the same address but on Wendy Way. Trip estimates for that site are discussed in a separate memorandum.

TRIP GENERATION ESTIMATE

The trip generation estimate was developed using the County's rates for cannabis land uses and the Institute of Transportation Engineers (ITE) *Trip Generation Manual* 10th Edition for the storage land use. Trip generation for the proposed project is shown in Table 1.

Table 1: Weekday Vehicle Trip Generation - Lynch Canyon						
Land Use	Size ¹		Daily	PM Peak Hour		
				In	Out	Total
Indoor Cultivation (Greenhouse + Nursery)	40,572	KSF	11	0	1	1
Office	0.830	KSF	6	0	1	1
Storage (Indoor) ²	0.240	KSF	0	0	0	0
Processing (Head House)	18,332	KSF	70	5	8	13
Total			87	5	10	15
NOTE: Trip generation does not include the outdoor storage area.						
1) KSF: Thousand Square Feet; AC: Acre						
2) ITE Land Use Code #150, Warehousing. Average rates used.						
Source: County of San Luis Obispo, 2018; CCTC, 2019.						

The project is expected to generate 87 vehicle trips per weekday, including 15 vehicle trips during the PM peak hour.

COLLISION ANALYSIS

Three years of collision records on Interlake Road between Wendy Way and Nacimiento Lake Drive from 2015-2017 were obtained from the Statewide Integrated Traffic Records System (SWITRS). Average Daily Traffic data for Interlake Road west of Nacimiento Lake Drive was obtained from the County and used in the collision rate calculation. The results are shown in Table 2.

Table 2: Collision Rate Summary			
Location	ADT ¹	Collisions ²	Collision Rate ³
Interlake Road (Wendy Way to Nacimiento Lake Drive)	926	6	0.88
1. Average daily traffic			
2. Based on SWITRS data from January 1, 2015 to December 31, 2017.			
3. Collisions per million vehicle miles			

There were six reported collisions during the three-year period, which results in a collision rate of 0.88. This is below the average collision rate for County roads of 1.15.

CONCLUSIONS

The project would have a minor trip generation rate, adding 15 PM peak hour trips to the adjacent roadway network. The project would not have a noticeable impact on area roadway operations. Additionally, the studied segment of Interlake Road has a collision rate below the average rate for County roads. No improvements are recommended.

Please let us know if you have any questions.



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Parcel Information

APN: 080-021-005

Assessee: BU HOUSES LLC

Care Of:

Address: PO BOX 2833 MALIBU
CA 90265

Description: T25S R9E PTN SEC 2

Site Address:
00000 LYNCH CANYON RD

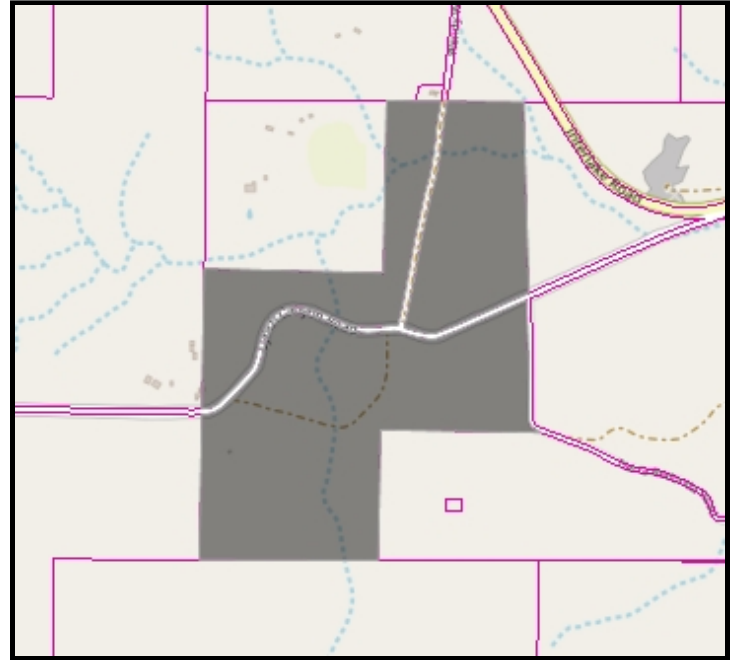
Tax Rate Area Code: 114024

Estimated Acres: 156.27

Community Code: NCNACI

Supervisor District: Supdist 1

Avg Percent Slope: 12



Selected Parcel

Land Use Information

Land Uses Combining Designations

AG	
	Sensitive Resource Area



Parcel location within San Luis Obispo County

Permit Information

Permit	Description	Application Date
DRC2018-00223	Land Use	11/30/2018 1:42:31 PM
PMT2011-00375	PMTR - Residential Permit	9/1/2011 2:08:52 PM

Clerk Recorder Documents

Clerk Document	Date	Document Type
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Parcel Summary Report

APN: 080-021-005

1977-R-C14252

03/28/1977

C

Interactive Data Viewer



Legend

- SLO County Parcels
- Roads**
 - CalTrans
 - Maintained by SLO CO
 - Private Maintenance
 - Federal or State Maintenance
- CZ Coastal Zone

-3,009.33 0 1,504.66 3,009.33 Feet 1: 18,056

WGS_1984_Web_Mercator_Auxiliary_Sphere
 © County of San Luis Obispo Planning and Building Department



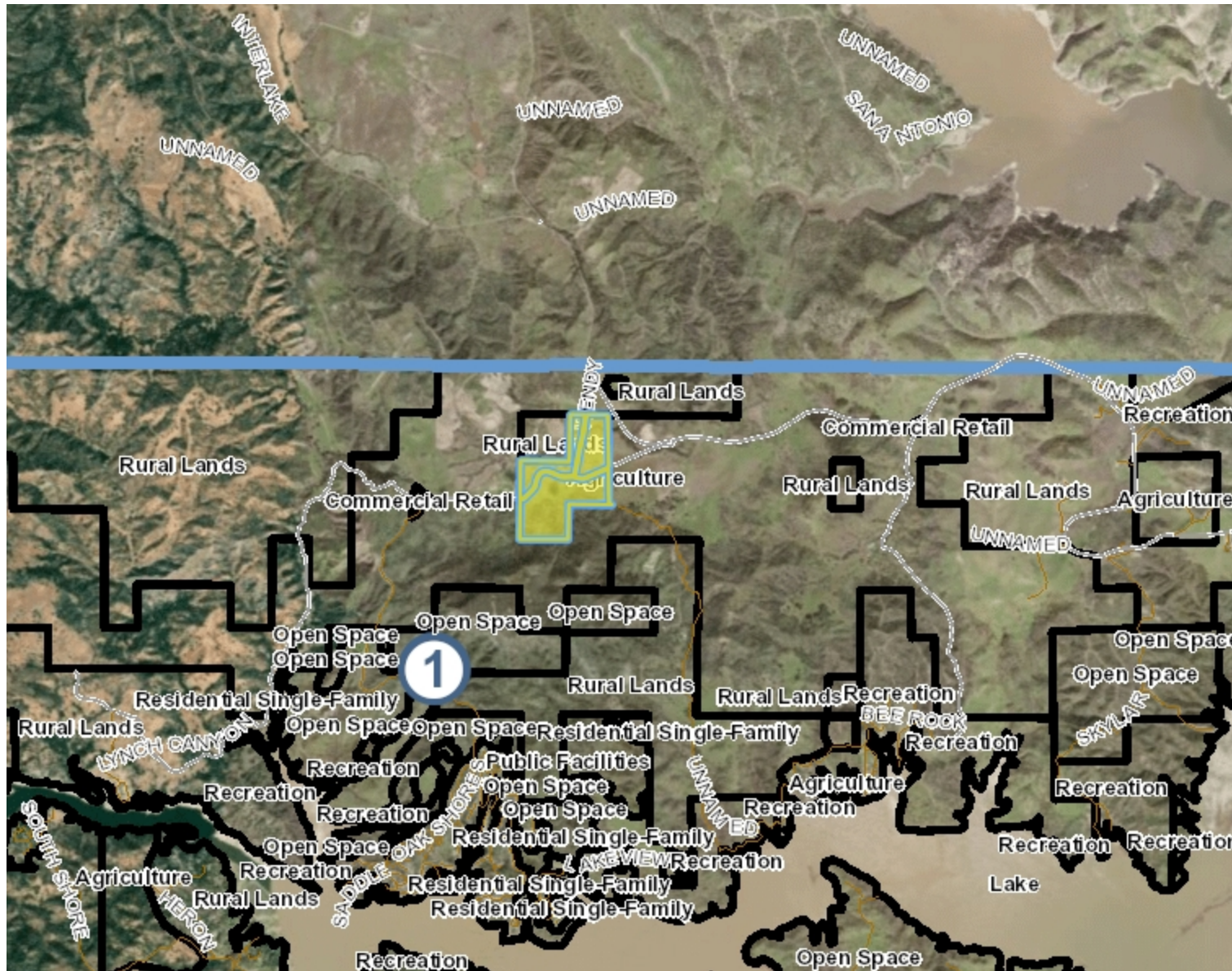
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Map for Reference Purposes Only







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Interactive Data Viewer








Legend

Roads

-  CalTrans
-  Maintained by SLO CO
-  Private Maintenance
-  Federal or State Maintenance

Community Advisory Groups

-  Community Advisory Group Boundary
-  Cayucos Citizens Advisory Council Subarea
-  Creston Advisory Body Sub Areas

-  Supervisor Districts
-  Land Use Outlines

-12,037.30 0 6,018.65 12,037.30 Feet 1: 72,224

WGS_1984_Web_Mercator_Auxiliary_Sphere
 © County of San Luis Obispo Planning and Building Department

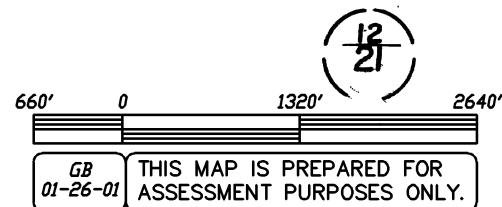


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 express or implied, that these data are accurate and reliable.

Map for Reference Purposes Only



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GREENMILK CANNABIS PRODUCTION & MANUFACTURING FACILITY

LOT 3

APN: 080-021-005

MAUCRSA DEFINITIONS

"CULTIVATION" MEANS ANY ACTIVITY INVOLVING THE PLANTING, GROWING, HARVESTING, DRYING, CURING, GRADING, OR TRIMMING OF CANNABIS.

CANNABIS CULTIVATION FACILITIES SHALL BE CONSISTENT WITH CBC, CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION FOR A FACTORY INDUSTRIAL, F-1, MODERATE-HAZARD OCCUPANCY. CBC § 306.2.

"MANUFACTURING" MEANS A LOCATION THAT PRODUCES, PREPARES, PROPAGATES, OR COMPOUNDS MANUFACTURED MEDICAL CANNABIS OR MEDICAL CANNABIS PRODUCTS, DIRECTLY OR INDIRECTLY, BY EXTRACTION METHODS, INDEPENDENTLY BY MEANS OF CHEMICAL SYNTHESIS, OR BY A COMBINATION OF EXTRACTION AND CHEMICAL SYNTHESIS, AND IS OWNED AND OPERATED BY A LICENSEE FOR THESE ACTIVITIES.

TYPE 6 (NON-VOLATILE) MANUFACTURING FACILITIES SHALL COMPLY WITH CBC, CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION FOR A FACTORY INDUSTRIAL, F-1, MODERATE-HAZARD OCCUPANCY. HIGH PRESSURE CO2 EXTRACTION MAY REQUIRE CLASSIFICATION AS A HIGH HAZARD H-2 OCCUPANCY BASED UPON SYSTEM PRESSURE AND/OR VOLUME. CBC § 306 AND 307.

TYPE 7 (VOLATILE) MANUFACTURING FACILITIES ARE TO MEET CBC, CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION FOR A FACTORY INDUSTRIAL, F-1, MODERATE-HAZARD OCCUPANCY, OR HIGH HAZARD GROUP H-2 BASED UPON THE MAXIMUM ALLOWED QUANTITIES (MAQ) OF HAZARDOUS, DANGEROUS, FLAMMABLE, OR COMBUSTIBLE MATERIALS USED AND/OR STORED IN THE FACILITY. CBC § 306 AND 307.

"NURSERY" MEANS A LICENSEE THAT PRODUCES ONLY CLONES, IMMATURE PLANTS, SEEDS, AND OTHER AGRICULTURAL PRODUCTS USED SPECIFICALLY FOR THE PLANTING, PROPAGATION, AND CULTIVATION OF MEDICAL CANNABIS.

"DISPENSARY" MEANS A FACILITY WHERE MEDICAL CANNABIS, MEDICAL CANNABIS PRODUCTS, OR DEVICES FOR THE USE OF MEDICAL CANNABIS OR MEDICAL CANNABIS PRODUCTS ARE OFFERED, EITHER INDIVIDUALLY OR IN ANY COMBINATION, FOR RETAIL SALE, INCLUDING AN ESTABLISHMENT THAT DELIVERS, PURSUANT TO EXPRESS AUTHORIZATION BY LOCAL ORDINANCE, MEDICAL CANNABIS AND MEDICAL CANNABIS PRODUCTS AS PART OF A RETAIL SALE.

CANNABIS RETAIL FACILITIES ARE TO MEET CBC, CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION FOR A MERCANTILE GROUP, M, OCCUPANCY. CBC § 309.1.

CANNABIS CONSUMPTION AREAS ASSOCIATED WITH RETAIL FACILITIES SHALL MEET CBC CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION A-2.

"DISTRIBUTION" MEANS THE PROCUREMENT, SALE, AND TRANSPORT OF MEDICAL CANNABIS AND MEDICAL CANNABIS PRODUCTS BETWEEN ENTITIES LICENSED.

DISTRIBUTOR FACILITIES ARE TO MEET CBC, CHAPTER 3 REQUIREMENTS BASED UPON USE AND OCCUPANCY CLASSIFICATION FOR A STORAGE GROUP, S, OCCUPANCY. CBC § 311.1.

FACILITIES THAT INCLUDE STORAGE AND DISTRIBUTION OF FOOD PRODUCTS IN NON-COMBUSTIBLE CONTAINERS SHALL BE CLASSIFIED IN OCCUPANCY GROUP S-2 "LOW HAZARD STORAGE". CBC § 311.3.

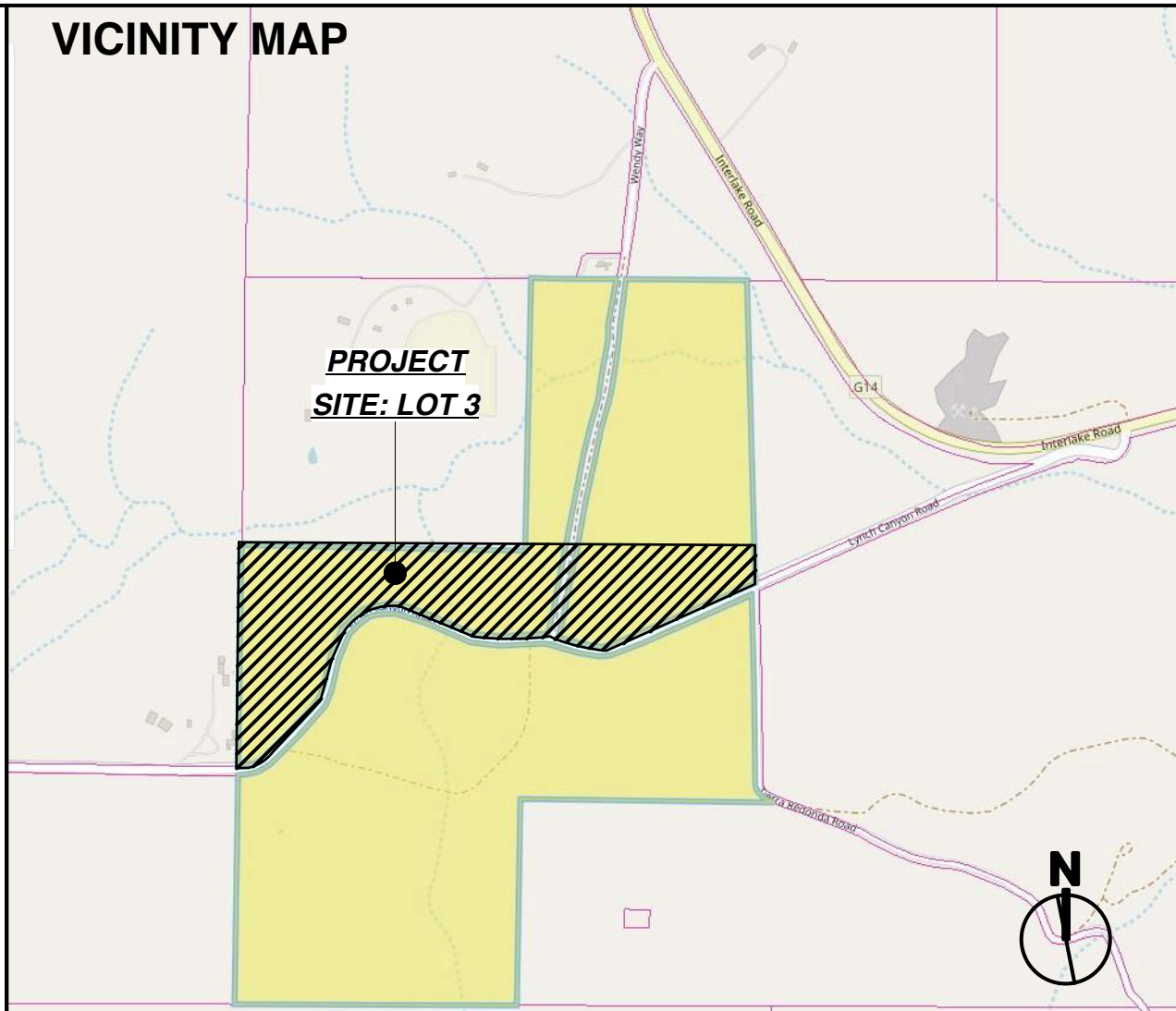
FACILITIES THAT INCLUDE STORAGE AND DISTRIBUTION OF ALL OTHER CANNABIS PACKAGED AND MANUFACTURED PRODUCTS SHALL BE CLASSIFIED IN OCCUPANCY GROUP S-1 "MODERATE HAZARD STORAGE". CBC § 311.2.

BUILDING MAINTENANCE & OPERATIONS

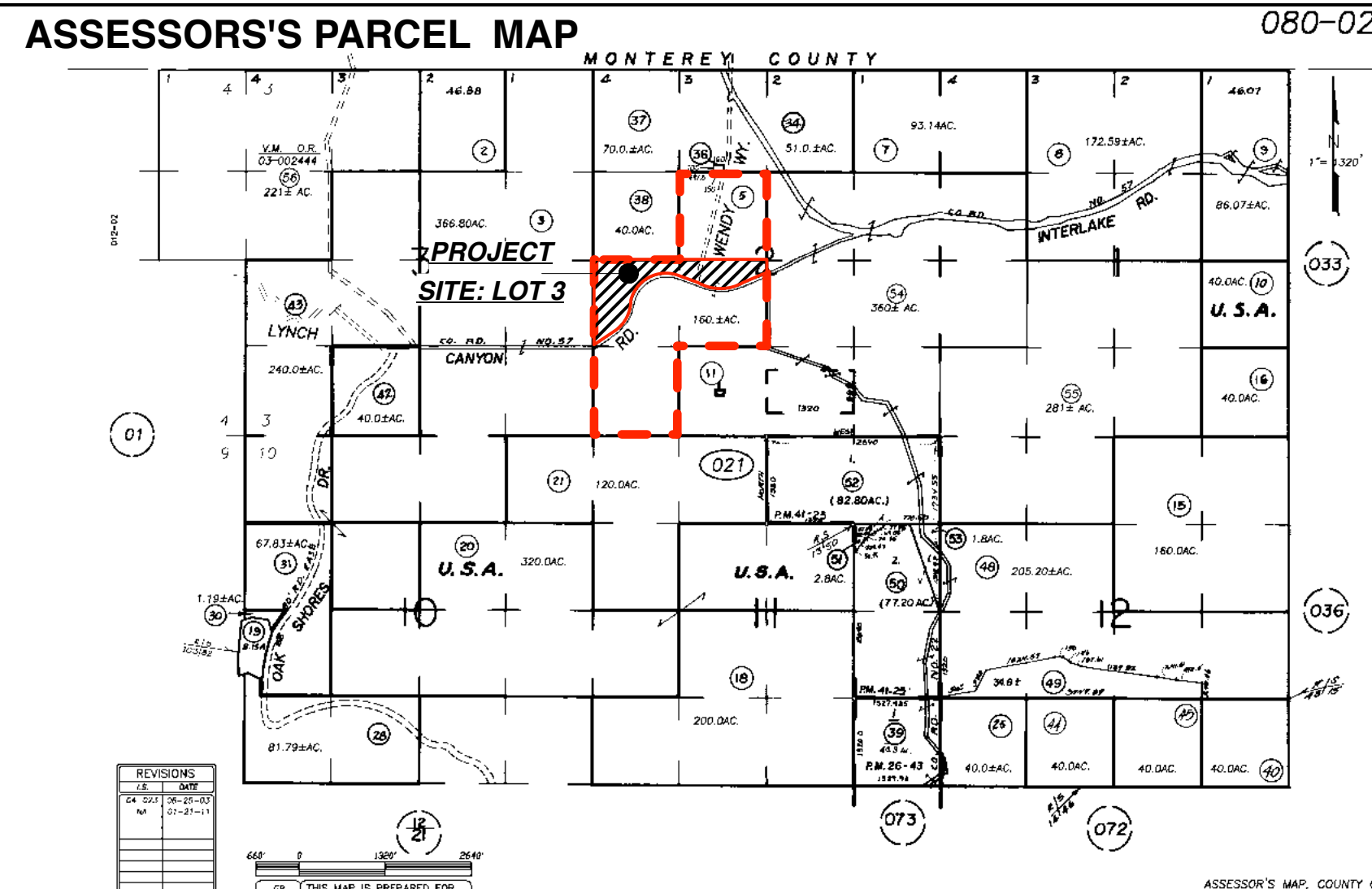
THE CONTRACTOR IS TO PROVIDE ALL MANUALS AND INSTRUCTIONS FOR THE OPERATION AND USE OF ALL NEW EQUIPMENT, APPLIANCES AND WARRANTY BASE MATERIALS AND APPLICATIONS. THIS IS TO BE PROVIDED IN A CONSOLIDATED, THREE RING BINDER PRIOR TO THE FINAL INSPECTION/ OCCUPANCY OF THE PROJECT. THESE PLANS IN NO WAY PROVIDE FOR, INSTRUCT, OR SCHEDULE, ANY REQUIRED MAINTENANCE, REPAIR, OR REPLACEMENT OF MATERIALS, EQUIPMENT, APPLIANCES, BUILT-INS, OR IMPROVEMENTS PER THESE PLANS. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OWNER.

THIS PROJECT DOES NOT ADDRESS ANY SHORT OR LONG TERM MAINTENANCE REQUIREMENTS FOR THE MATERIALS, FINISHES, AND/OR SURFACES SPECIFIED, DETAILED AND INDICATED IN THESE DRAWINGS AND SPECIFICATIONS. IT IS THE RESPONSIBILITY OF OTHERS TO EITHER PROVIDE THIS INFORMATION, OR PROVIDE THE NAMES AND RESOURCES FOR THIS ISSUE. FURTHERMORE, THESE PLANS HAVE NOT BEEN DEVELOPED TO ADDRESS ANY PRIORITY, OR DETERMINATION, OF ANY MAINTENANCE PROGRAM OR PROCESS, OTHER THAN THE INFORMATION SUPPLIED BY OTHERS, THE OWNER AND THEIR AGENTS

VICINITY MAP



ASSESSORS'S PARCEL MAP



FIRE DEPARTMENT/FIRE SUPPRESSION:

- ADDRESS NUMBERS WILL BE INSTALLED ON FRONT OF BUILDING OR MONUMENT SIGN, WITH NUMBERS A MINIMUM OF 5 INCHES, WITH 1/2 INCH STROKE, WITH A COLOR TO CONTRAST THE BACKGROUND. SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET TO THE SATISFACTION OF THE FIRE DEPARTMENT

-FIRE PROTECTION SYSTEMS SHALL BE UPDATED IN ACCORDANCE WITH THE CFC AND THE CBC. AN APPROVED NFPA13D SYSTEM WILL BE REQUIRED FOR EACH STRUCTURE. AT LEAST ONE PILOT HEAD IN THE ATTIC IS REQUIRED

-IGNITION RESISTANT CONSTRUCTION: ALL STRUCTURES SHALL BE DESIGNED PER CHAPTER 7A OF CBC IGNITION RESISTANT CONSTRUCTION STANDARDS AS MODIFIED BY THE CITY FIRE CODE.

- FIRE SAFETY DURING CONSTRUCTION: BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL BE IN ACCORDANCE WITH CHAPTER 14 OF THE CFC.

1. A NFPA 13 FIRE PROTECTION SYSTEM FOR EACH BUILDING SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT ADOPTED BUILDING AND FIRE CODES. PLANS SHALL BE SUBMITTED TO THE CITY OF GROVER BEACH AND FIVE CITIES FIRE AUTHORITY FOR REVIEW AND APPROVAL.

2. RISERS MUST HAVE A WATER FLOW ALARM WITH A DEDICATED ELECTRICAL CIRCUIT AND A LOCK ON DEVICE INSTALLED.

3. FIRE SPRINKLER RISER MUST BE INSTALLED INSIDE THE BUILDING IN A PROTECTIVE ENCLOSURE.

4. A MINIMUM WATER SERVICE LINES AND WATER METER SIZE MUST BE INSTALLED TO EACH BUILDING, CALCULATED AND APPROVED BY FIRE PROTECTION ENGINEER.

5. MAIN CONTROL VALVE MUST ONLY SHUT OFF DOMESTIC WATER SERVICE AND NOT THE FIRE WATER

6. 6.3.45 A WARNING SIGN, WITH A MINIMUM 1/4" LETTERS, SHALL BE AFFIXED ADJACENT TO THE MAIN SHUTOFF VALVE AND SHALL STATE THE FOLLOWING:

WARNING: THE WATER SYSTEM FOR THIS PROJECT SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS, AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN

7. A SMOKE ALARM SYSTEM MUST BE INSTALLED TO ALL HABITABLE AREAS AND BE ELECTRICALLY INTERCONNECTED WITH BATTERY BACK-UP.

PROJECT DIRECTORY

ARCHITECT
CRSA ARCHITECTURE
890 MONTEREY STREET, SUITE 'A'
SAN LUIS OBISPO, CA 93401
CONTACT: CRAIG SMITH
PH: 805-544-3380
FAX: 805-544-8825

OWNER/APPLICANT
GREENMILK, LLC
3806 CROSS CREEK ROAD, UNIT C
MALIBU, CA 90265
CONTACT: ROBERT GOLD
PH: 310-880-7155
EMAIL: ADVISOR@DIRECTORSLA.COM

CIVIL ENGINEER
WALLACE GROUP
612 CLARION COURT
SAN LUIS OBISPO, CA 93401
CONTACT: ROB MILLER OR TOM ZEHNDER
PH: 805-544-4011
FAX: 805-544-4284

STATEMENT OF COMPLIANCE

THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE COUNTY OF SAN LUIS OBISPO ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND IWE WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASES.

THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2016 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), AND CALIFORNIA ENERGY CODE (CEC).

FIRE SPRINKLER NOTE

APPROVED AUTOMATIC SPRINKLER SYSTEMS ARE REQUIRED AND SHALL BE PROVIDED IN THE NEW COMMERCIAL CANNABIS FACILITIES. REFER TO 2016 CFC 903.2 AND THE COUNTY'S FIRE SPRINKLER ORDINANCE

CODE COMPLIANCE

CODES: ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:

-2016 CALIFORNIA BUILDING CODE (CBC), BASED ON THE 2015 IBC
-2016 CALIFORNIA MECHANICAL CODE (CMC), BASED ON THE 2015 UMC
-2016 CALIFORNIA PLUMBING CODE (CPC), BASED ON THE 2015 UPC
-2016 CALIFORNIA ELECTRICAL CODE (CEC), BASED ON THE 2014 NEC
-2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
-2016 CALIFORNIA ENERGY CODE
-2016 CALIFORNIA FIRE CODE (CFC), BASED ON THE 2015 IFC
-2016 CALIFORNIA HEALTH AND SAFETY CODE (H&SC)
-NATIONAL FIRE PROTECTION ASSOCIATIONS STANDARDS (NFPA)
-MEDICAL AND ADULT USE CANNABIS REGULATION AND SAFETY ACT (MAUCRSA)

-PROJECT CONDITIONS OF APPROVAL

-COUNTY OF SAN LUIS OBISPO STANDARD CONDITIONS, MUNICIPAL CODES, AMENDMENTS AND SELECTED CODE REQUIREMENTS ON FILE AT THE COMMUNITY DEVELOPMENT DEPARTMENT, PLANNING AND BUILDING DIVISION
-ALL OTHER CODES AND ORDINANCES ADOPTED BY THE COUNTY OF SAN LUIS OBISPO HAVING JURISDICTION OVER THIS PROJECT

EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL CONSTRUCTION AND GROUND DISTURBING ACTIVITIES PER THE COUNTY OF SAN LUIS OBISPO STANDARDS.

EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.

CRSA ARCHITECTURE
CONTACT: CRAIG R. SMITH AIA, PRINCIPAL ARCHITECT
PH: 805-544-3380

NOTE: SUBJECT TO CHANGE AS PROJECT CONSTRUCTION PROGRESSES AND GENERAL CONTRACTOR TAKES ON RESPONSIBILITY

PROJECT DESCRIPTION: LOT 3

PROJECT STATISTICS

PROJECT ADDRESS: 2685 LYNCH CANYON ROAD, BRADLEY, CA 93426
APN: 080-021-005
ZONE: INDUSTRIAL (I)
TOTAL SIZE OF OVERALL SITE: 156.27 ACRES
SIZE OF LOT 4: ± 40 ACRES

BUILDING SUMMARY

USE: CANNABIS CULTIVATION, PRODUCTION, MANUFACTURING, AND INDOOR / OUTDOOR GROW FACILITY WITH SECURED MISC. STORAGE YARD
TYPE CONSTRUCTION: V-B
NUMBER OF STORIES: 1

DEVELOPMENT STANDARDS 2.40.040

GENERAL STATISTICS:

TOTAL SIZE OF OVERALL SITE: 156.27 ACRES
SIZE OF LOT 3: ± 40 ACRES

GREENMILK BUILDING AREAS: LOT 3

BUILDING I.D.	AREA (S.F.)	GROSS OR NET
"HEAD HOUSE" BAY		
SECURED ENTRY	308.13 S.F.	NET
OFFICE 1	452.24 S.F.	NET
OFFICE 2	377.38 S.F.	NET
BREAK ROOM	377.38 S.F.	NET
JANITOR CLOSET	117.80 S.F.	NET
RESTROOM/ LOCKER 1	380.06 S.F.	NET
RESTROOM/ LOCKER 2	380.06 S.F.	NET
INDOOR GROW 1	467.35 S.F.	NET
INDOOR GROW 2	467.35 S.F.	NET
STORAGE ROOM	240.00 S.F.	NET
MANUF. EXTRACT. LAB 1	938.15 S.F.	NET
MANUF. EXTRACT. LAB 2	938.15 S.F.	NET
TRIMMING	1,786.63 S.F.	NET
DRY ROOMS	4,508.55 S.F.	NET
VAULT	1,060.09 S.F.	NET
FERTIGATION	353.13 S.F.	NET
LOADING/UNLOADING OF SHIP	1,158.88 S.F.	NET
PACKING / LABELING	500.00 S.F.	NET
BATCH SAMPLING	300.00 S.F.	NET
MECHANICAL / ELECTRICAL	675.90 S.F.	NET
TOTAL	*16,027.23 S.F.	NET
LOADING/UNLOADING OF SHIP 2	775.94 S.F.	NET
"NURSERY" BAY		
NURSERY 1	7,126.84 S.F.	NET
CLONING	400.00 S.F.	NET
NURSERY 2	7,560.00 S.F.	NET
TOTAL	*14,686.84 S.F.	NET
"GREENHOUSE" BAY		
FLOWER 1	2,520.00 S.F.	NET
FLOWER 2	2,520.00 S.F.	NET
FLOWER 3	2,520.00 S.F.	NET
FLOWER 4	2,520.00 S.F.	NET
FLOWER 5	2,520.00 S.F.	NET
FLOWER 6	2,520.00 S.F.	NET
FLOWER 7	2,520.00 S.F.	NET
FLOWER 8	2,520.00 S.F.	NET
TOTAL	*20,160.00 S.F.	NET

(REFER TO NOTE BELOW)
"NOTE: 22,000 S.F. IS THE MAXIMUM ALLOWABLE NET AREA FOR CANOPY GROW WITHIN THE GREENHOUSE. APPROXIMATELY 10% (2,200 S.F.) OF AREA IS DEDICATED FOR ALLOWABLE CIRCULATION WITHIN THE SPACE. THEREFORE 24,200 S.F. (22,000 + 2,200) IS THE OVERALL NET AREA OF THE GREENHOUSE. 21,160.00 S.F. IS LESS THAN 24,200 S.F. AND THEREFORE COMPLIES

OVERALL GROSS BUILDING AREAS

HEAD HOUSE BAY	19,250.74 S.F.	GROSS
NURSERY BAY	17,388.00 S.F.	GROSS
GREENHOUSE BAY	23,184.00 S.F.	GROSS
PROPOSED MISCELLANEOUS STORAGE SUPPORT	17,388.00 S.F.	GROSS
PROPOSED OFFICE/WAREHOUSE EXPANSION	10,000.00 S.F.	GROSS

SHEET INDEX

TITLE
T-1.0 TITLE SHEET
T-1.2 ODOR CONTROL AND AIR HANDLING SYSTEMS FOR HEAD HOUSE
SITE- WALLACE GROUP
C1.1 SITE PRELIMINARY GRADING AND UTILITY PLAN
C1.2 SITE PRELIMINARY GRADING AND UTILITY PLAN
C1.3 SITE SECTIONS

ARCHITECTURAL
C-0.0 OVERALL SITE PLAN
C-0.2 SITE SIGNAGE
C-1.0 SITE PLAN WITH SITE CONSTRAINTS
C-2.0 SITE SECURITY PLAN
C-3.0 SITE SECURITY LIGHTING PLAN

A-0.0 DIMENSIONAL FLOOR PLAN
A-1.0 FIRST FLOOR PLAN
A-1.1 LICENSE FLOOR PLAN
A-7.0 ROOF PLAN
A-9.0 EXTERIOR ELEVATIONS
A-10.0 EXTERIOR ISOMETRIC RENDERINGS
A-10.1 EXTERIOR ISOMETRIC RENDERINGS

TOTAL: 17 PAGES

PROJECT DESCRIPTION OF DEVELOPMENT

THIS PROJECT CONSISTS OF A NEW CANNABIS PRODUCTION, MANUFACTURING, AND GROW FACILITY, AND SECURED MISC. STORAGE YARD.

THE PROJECT INCLUDES CONSTRUCTION OF A NEW WELL, WATER SYSTEM, SEPTIC SYSTEM, PAVING OF THE ENTRY DRIVEWAY AND PARKING AREA (INCLUDING ADA PARKING).

NEIGHBORHOOD COMPATIBILITY STATEMENT

NEIGHBORHOOD COMPATIBILITY FEATURES:

1. THE SCALE OF THE PROJECT IS IN BALANCE TO THE PROPOSED OPEN AND LARGE AREA ADJACENT SPACES. MOST OF WHICH ARE THE NATURAL LANDSCAPE. THE LOW PROFILE BUILDING MASSING WILL PROVIDE A MORE PROPORTIONATE SCALE TO THE OVERALL PROJECT.

2. DUE TO THE LEVEL AND DEGREE OF SET BACK DISTANCE, FROM THE ADJACENT NEIGHBORING SITES, A GREATER DEGREE OF PRIVACY IS PROVIDED AND EXPRESSED.

3. NO EXISTING VIEWS, VIEW SHEDS OR "LINES-OF-SIGHT" WILL BE BLOCKED OR MODIFIED.

4. ALL SITES WILL BE CONTAINED IN A SECURE, FENCED AND GUARDED AREA. THE PERIMETER CHAIN LINK FENCING WILL HAVE VINYL GREEN SLATES WITH TRANSITIONAL, NATURAL LANDSCAPING TO INTEGRATE INTO THE NATURAL ADJACENT LANDSCAPING.

5. THE OPERATION WILL NOT PRODUCE ANY SIGNIFICANT OR UNACCEPTABLE NOISE, ODOR, OR NIGHT TIME LIGHTING. ODOR CONTROL MITIGATION WILL BE INCORPORATED INTO THE EXISTING TERRAIN. EXTERIOR LIGHTING WILL UTILIZE CONFORMING "DARK SKY" TYPE LIGHT FIXTURES (DOWNWARD, NON-GLARE, SHIELDED AND ENERGY EFFICIENT). THE OVERALL INTENT IS TO BE AS "NATURAL" WITH AN INTO THE PROPERTY. THE OVERALL SITE PLANNING, BUILDING PLACEMENT AND DESIGN, LOW IMPACT DEVELOPMENT AND PROPOSED OPERATIONAL METHODS IS TO INTEGRATE AND BLEND INTO THE EXISTING TERRAIN CONSISTENT WITH OTHER TYPE GREENHOUSE USES.

Odor Control and Air Handling Systems FOR HEAD HOUSE

The proposed HVAC system will provide internal pressurized air conditioning, complete dehumidification, temperature control and extensive air filtration odor control. The system utilizes a dynamic polarized media air-cleaning component installed on the air intake side. This works with an activated carbon matrix system installed in the duct system on the air exhaust side of the HVAC system. Dynamic air cleaners are used due to their ability to remove harmful spores and bacteria. This type system is best suited for the required odor removal, affect a high plant yield and quality, and lessen the overall maintenance of the system.

The dynamic air cleaner system offers low static pressure resistance compared to passive filters, which, in turn, are more energy efficient. The specific type of dynamic system will be a dynamic V8 and ACM system, for high efficient order removal. The advantage is primarily due to the ability to eliminate the traditional pellet-based carbon systems and improved upon the resistance to airflow for lower energy consumption. Additionally, the ACM systems due not shed carbon dust therefore no additional filtration is required downstream to further restrict airflow. Most importantly, for agricultural operation, the ceramic carbon does not absorb moisture to load prematurely in humid conditions making it more efficient.

This system will be employed in the interior cultivation and manufacturing areas of the facility. The system will be monitored for air-quality with a consistent maintenance program to insure efficiency and air quality are kept at an acceptable and compliant level of operation.

Additionally, smaller type units, or carbon filtered wall exhaust/supply fans may also be used to compliment the main system and to provide full ventilation treatment and conditioning through out the building. These smaller type units utilize an absorbent carbon filter for odor removal and energy efficiency.

The facility will employ complimentary passive systems to work in conjunction with the air handling equipment. Specifically, entry vestibules with redundant type ingress and egress areas will be utilized. This will eliminate infiltration problems and provide a backup barrier to residual air handling and odor prevention.

Lighting

The cultivation lighting will be high efficiency (95%), EL lamp type, microprocessor controlled with a electronic safety circuit. It maintains a very low heat dissipation rating and is a reflector type fixture for maximum light distribution. This will be the main type lighting for the grow areas.

Solar Photovoltaic System

An alternative and supplementary type energy producing solar photovoltaic system is proposed to off-set the total, overall power demands of the cultivation equipment, lighting and air-handling systems. This system will incorporate a majority of the existing flat roof area. It will be rated at 167,650 kW DC utilizing a type REC290TP2 solar module panel. This high efficiency type panel will be angled to maximize the solar gain with a master DC power converter for the AC power conversion. This alternative type system will reduce the required and provided secondary utility power input significantly. It will also contribute to the energy commissioning of the rated facility upon completion of the project and occupancy of the building for building code compliance.



CAF-900 SERIES
CARBON FILTERED WALL EXHAUST OR SUPPLY FAN.

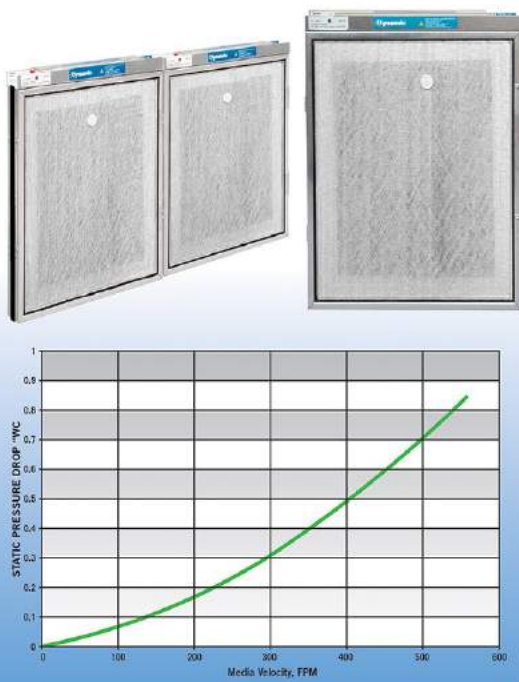


Pictured: Size 20", Single Carbon Filter Fan.

Model #	Size	Capacity	Horsepower	Filter Size	No. Filters	Rough In	Weight
CAF-812	12"	350 CFM	1/2	16"X16"X1"	1	17"X17"	120#
1/2Carbon		3450 RPM					
CAF-200	20"	4000 CFM	2	24"X24"X2"	1	25"X25"	195#
2-Carbon		1725 RPM					
CAF-942	42"	8000 CFM	3	24"X24"X2"	4	49"X49"	400#
3-Carbon		1140 RPM					

Adjustable Pitch Type Cast Aluminum Propellers (Non-Sparking)
-Direct Driven
-Explosion Proof and Non-Explosion Proof Models.
-3 Sizes (12", 20" and 42")
-Single Phase or 3-Phase Motors. (3-Phase Only for Size 42").
-Exhaust or Supply Configurations
-Fan & Shutter Mounting Box (Powder Coated)
-Removable Filter Box. Filter Box Bolts to Fan Assembly.
-Fan Guard (OSHA Approved)
-Aluminum Automatic Discharge Shutter (Non-Motorized).
-Absorbent carbon filter(s) for fume and odor removal. Fully disposable; no refilling necessary.
Filter offers medium-efficiency particulate filtration. Granular activated carbon provides more odor-removal capacity than carbon-impregnated pleated air filters or rolls.
High Quality - Industrial Grade
Made in the USA

WWW.CARLBUSHCOMPANY.COM



2" TANDEMS

For ease of installation in units with multiple filters, "tandems" Panels are available. These connect together mechanically and electrically and allow one row of Air Cleaners to have a single electrical connection point. The frames of each panel in this row are joined together so that all may be removed together. Neoprene foam strips are used on the mating faces of the Air Cleaners to block the flow of air between panels.

PERFORMANCE DATA

Electrical Input:	24 VAC
Powerhead Output Voltage:	7 VV (DC)
Power Consumption:	2.8 Watts
Powerhead (V/Hz/Amper) Data:	3 VA
Output Generation:	None
Clean Static Pressure* @ 300 cfm:	.32 w.g.

* Final pressure drops is a function of the equipment. Typical 300" static pressure is for static pressure @ 300 cfm.

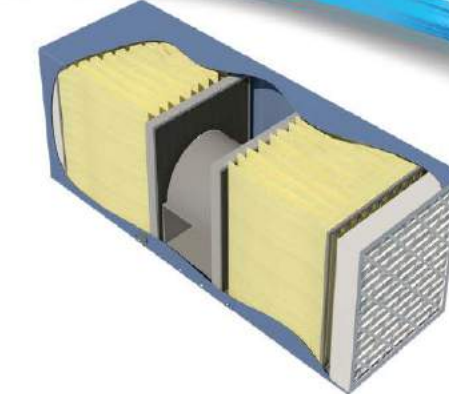
P2000

Diagram showing the tandem installation of two 2" panels, with dimensions and labels for the motor, filter, and frame.

2" PANEL
AIR CLEANERS

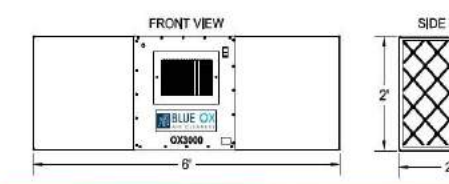
High Efficiency Filtration and Odor Removal
for Applications with 2" Filter Racks

- Polarized Media Electronic Air Cleaners bring powerful air cleaning to RTUs and applications with 2" filter racks
- Captures ultrafine particles, VOCs and odors
- Can help implement the IAQ procedure of ASHRAE Standard 62 to possibly reduce outdoor air
- Longer life than disposable or passive electrostatic filters
- Operates on less than 2VAC of 24VAC
- Typically wired to unit control transformer
- Available in any size up to 20" x 40"
- Compatible with Sterile Sweep™ UVC Systems
- Limited 5 year warranty includes electronics
- Tested to meet CSA Standard C22.2 No. 187-M19986 and UL Standard 867



The BLUE OX3000 has been engineered with a 16 - gauge Cold-Rolled steel cabinet. Finished in a Polyester Powder Coating Paint. The OX3000 air cleaning system has a number of distinct advantages over conventionally designed units. Featuring a "T" pattern airflow unit with inlets on both ends and exhaust in the middle, a dual set of micro-glass fiber disposable filters provide more filter area and allow the unit to operate with considerably less static pressure. The lower airflow - to - filter ratio provides higher efficiency and longer life. Additional filter and cabinet options available including silencers. The OX3000-CF Model also includes two 2" thick Carbon After Filters for mild odor control. A Three Year Warranty included on all parts besides filters.

Unit Specifications		Motor Specifications	
Air Flow Max	2600 CFM	Motor Type	Direct Drive
Shp Weight	260 lbs.	H.P.	1/4 H.P. @ 60Hz
Hang Weight	180 lbs.	Volts	115V or 230 V/5 VAC
Dimensions	24"W x 24"H x 72"L	Amps	10.2 at 115V
Finish	Blue, Brown, Black	Watts	850 Watts
Grid/Louver	4-Way Adjustable Noise Level		62 dBA's @ 1'



info@aircleaningspecialists.com
Blue Ox is a Product of Air Cleaning Specialists, Inc.

OX3000-CF Unit

2600 CFM Media Filtration System
1/4 H.P. Direct Drive Fan

OX3000-CF Accessories

Included Filters

- 24" x 24" x 4" - 35% Pleated Fiber Pre-Filters
- 24" x 24" x 22" - 85% 8 Pocket Bag Filters
- 24" x 24" x 2" - 9 lb. Carbon After Filters

Optional Filters

- 24" x 24" x 4" - Aluminum Mesh Pre-Filters Washable and Reusable - Replaces Pleated
- 24" x 24" x 22" - 85% 8 Pocket Bag Filters Replaces 85% Bag Filters
- 24" x 24" x 22" - Oil Mist 8 Pocket Bag Filters For Oil Mist Applications - 65% or 95%

Cabinet Options

- Silencer with Louver Reduces sound 8-9 decibels
- Silencer with Grille Reduces sound by 10-12 decibels
- Magnahelic Pressure Gauge Indicates when to change filters
- Ultraviolet Light Bar Catalyst Kills airborne bacteria, mold and viruses
- Ey-Bolts (4) Factory installed Mounting Bolts
- Eye-Bolt Mounting Kit Includes Eye Bolts, Chain and Q-Links
- Dual L Bracket Underside brackets for Wall Mounting
- Strut Channel Underside strut for Ceiling Mounting
- Drain Plug Oil / Mist application drain via Hose Barb
- Other options including different Motor Voltage available

(866) 455-2135
BlueOxAirCleaners.com

NOTE:

ODOR CONTROL AND AIR HANDLING SYSTEMS TO BE DESIGNED AND LOCATED IN THE GREEN HOUSE AND NURSERY SHALL BE A DEFERRED SUBMITTAL FROM AGRATECH GREENHOUSE MANUFACTURERS



CIVIL AND TRANSPORTATION ENGINEERING
CONSTRUCTION MANAGEMENT
LANDSCAPE ARCHITECTURE
MECHANICAL ENGINEERING
PLANNING
PUBLIC WORKS ADMINISTRATION
SURVEYING / GIS SOLUTIONS
WATER RESOURCES

DATE SIGNED _____

These plans and specifications, and the ideas and designs incorporated herein, are instruments of service prepared for the construction of work shown hereon and shall not be used in whole or in part for any other project without written authority of Wallace Group, a California Corporation.

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JOB #: 1484-01

DESIGNERS: CD

DRAWN BY: CD

DATE: 03-29-2019

DRAWING NO.

C1.1

1 OF 3

This topographic map illustrates a proposed development across four lots, labeled Lot 1, Lot 2, Lot 3, and Lot 4. The map features contour lines indicating elevation, with Lot 1 and Lot 2 generally at higher elevations (1200-1300 feet) than Lot 3 and Lot 4 (1100-1200 feet).

Proposed Infrastructure and Features:

- Well No. 2:** A proposed well location is marked in Lot 4, with a corresponding well supply line extending southward.
- Water Storage and Distribution:** A 50,000 GALLON WATER STORAGE TANK is located in Lot 3. A FIRE PUMP HOUSE and LPG TANKS are situated in Lot 2, near the intersection of Wendy Way and Lynch Canyon Road.
- Sewer System:** A PROPOSED 8" SANITARY SEWER FORCE MAIN (SSFM) BY OTHERS runs along the boundary between Lot 1 and Lot 3, and continues through Lot 2.
- Effluent Treatment:** A PROPOSED COUNTY EFFLUENT SPRAY FIELDS BY OTHERS is located in Lot 4, adjacent to a PROPOSED EASEMENT and a FUTURE POND EXPORT BY OTHERS.
- Other Features:** A LEACH FIELD is shown in Lot 2, and a LID Basin is located in Lot 4. A CREEK RIPARIAN area is identified in Lot 3.

Access and Easements:

- Wendy Way:** A road running north-south, providing access to Lot 4 and the central infrastructure.
- Lynch Canyon Road:** A road running east-west, bordering Lot 2 to the south.
- Proposed Easement:** A 70' wide easement is shown in Lot 4, adjacent to the effluent spray fields.

Topographic Details:

- Contour Lines:** Elevation contours are shown at 10-foot intervals, ranging from 1160 to 1300 feet.
- Wet Land:** A small area of wet land is identified in Lot 1, near the SSFM line.
- Spot Elevation:** A spot elevation of 1182.88 is noted near the water storage tank.













(Based on finish grade.)

Cut: 8,570± Cu.Yd.
Fill: 19,600± Cu.Yd.
Net: 11,100± Cu.Yd. Import (From Future Pond)

Max. height cut: 9±'
Max height fill: 10.5 ±'

1. No shrinkage was considered in calculation.
2. Quantities estimated shown in this plan are to be used for permit purposes only. It is the responsibility of the contractor to estimate quantities for the purposes of construction & bidding.
3. Total disturbed Area: 4.5 ± Acres
4. Slopes of fill surfaces to not exceed (2:1) 2 horizontal to 1 vertical
5. Excess material shall be placed immediately to the South of the proposed structure as shown.
6. Protect all existing survey monuments in place.
7. Shrinkage, consolidation and subsidence factors and losses due clearing and demolition operations are not included. Estimated earthwork quantities are based on the approximate difference between existing grades and proposed grades, as indicated on the plans, and should vary according to these factors and losses.

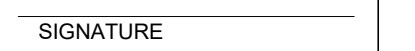
LEGEND

	FIRE		WATER WELL
	WL		DROP INLET
	SS		CURB INLET
	SD		FIRE HYDRANT
	TREE TO BE REMOVED		
	POWER POLE		
	FIRE HYDRANT		
	FIRE DEPARTMENT CONNECTION		



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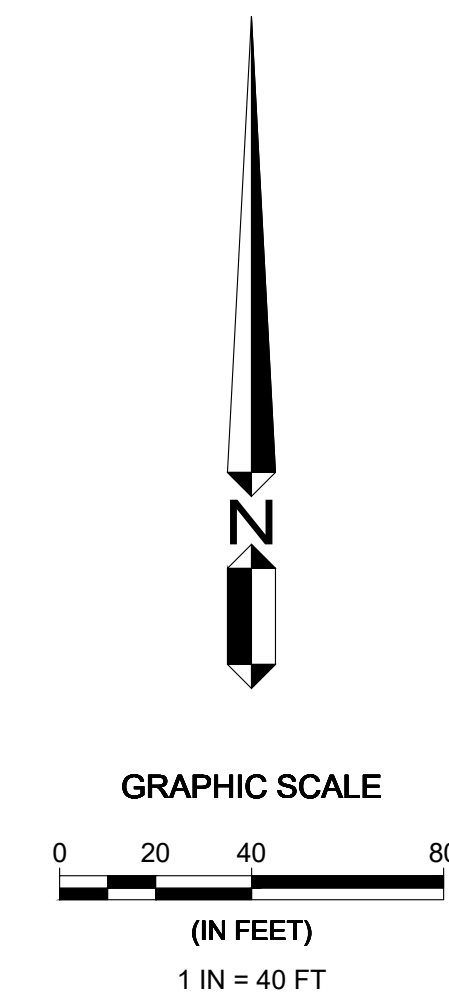
512 CLARION COURT
SAN LUIS OBISPO, CA 93401
T 805 544-4011 F 805 544-4294
www.wallacegroup.us



DATE SIGNED _____

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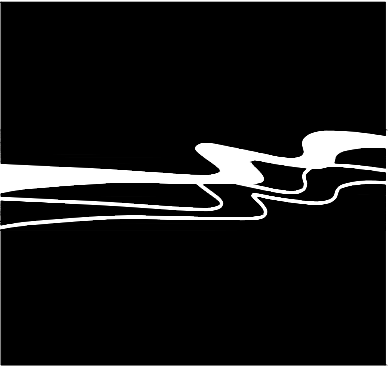
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	FIRE LINE		WATER WELL
	WATER LINE		DROP INLET
	SEWER LINE		CURB INLET
	STORM DRAIN		FIRE HYDRANT
	TREE TO BE REMOVED		
PP	POWER POLE		
FH	FIRE HYDRANT		
FDC	FIRE DEPARTMENT CONNECTION		

Green MILK
APN 080-021-008 FUTURE LOT 3
Preliminary Grading and Utility Plan

B #: 1484-01
 SIGNERS: CD
 DRAWN BY: CD
 DATE: 03-29-2019
 DRAWING NO.
 C1.2
 OF 3



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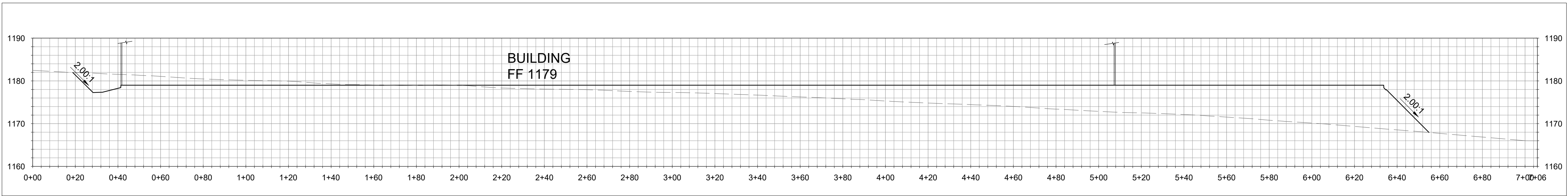


SIGNATURE

DATE SIGNED

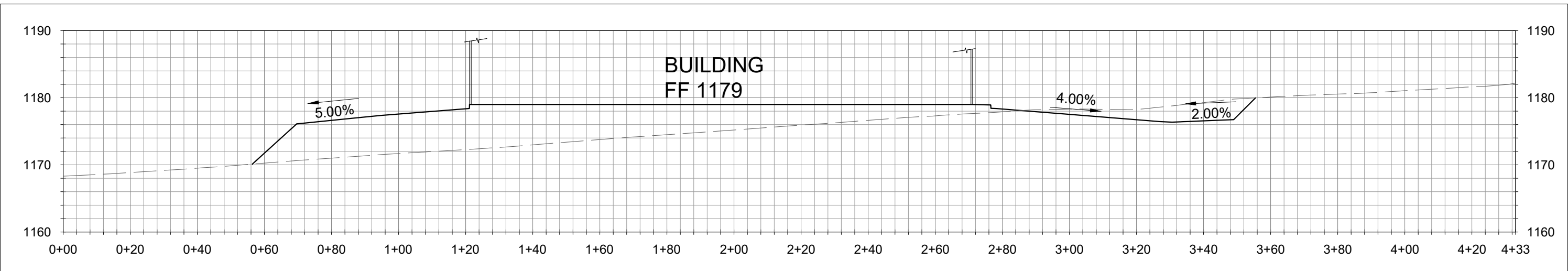
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1 SITE SECTION

Scale: 1"= 30'

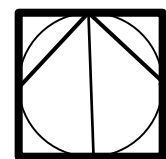
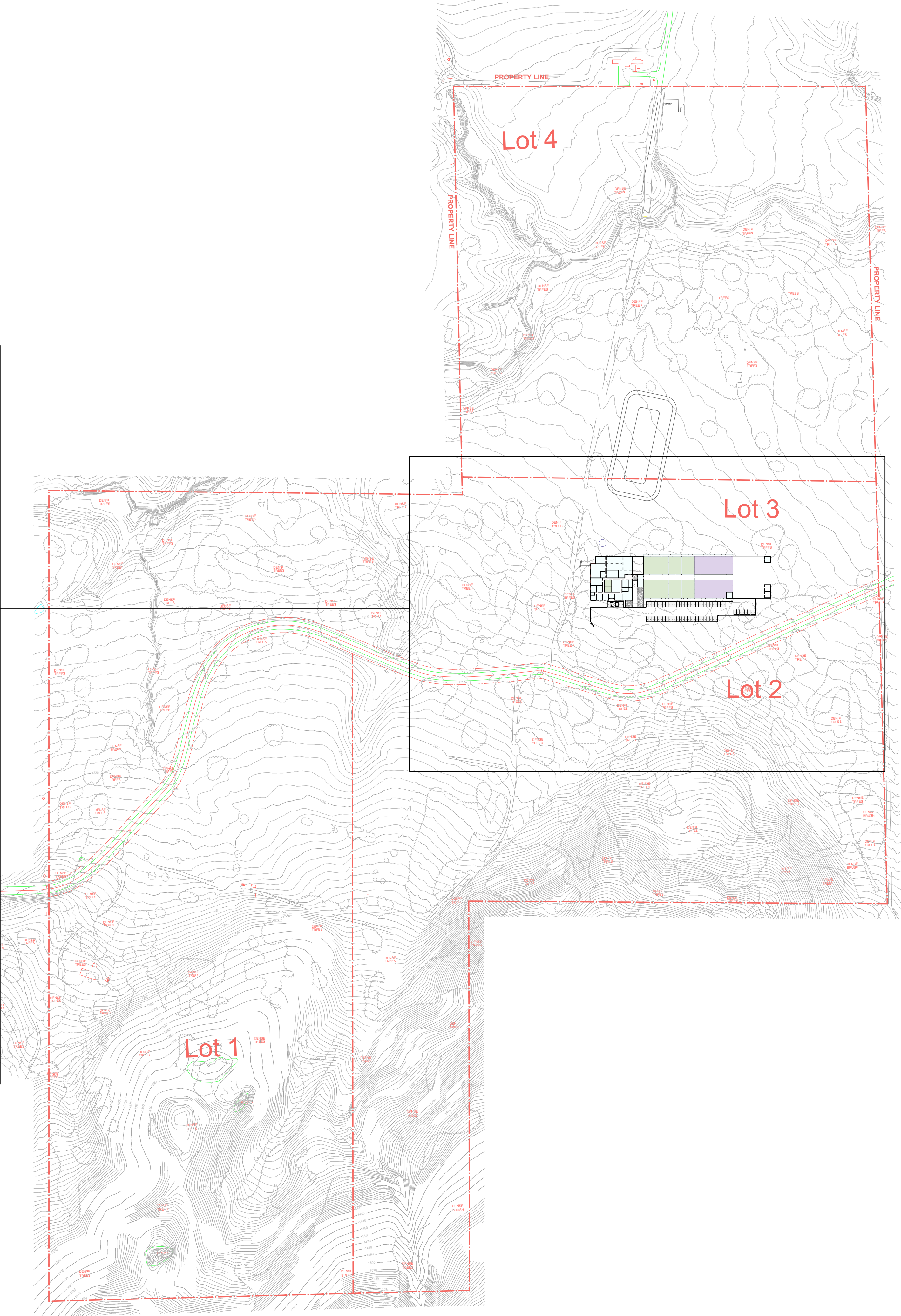
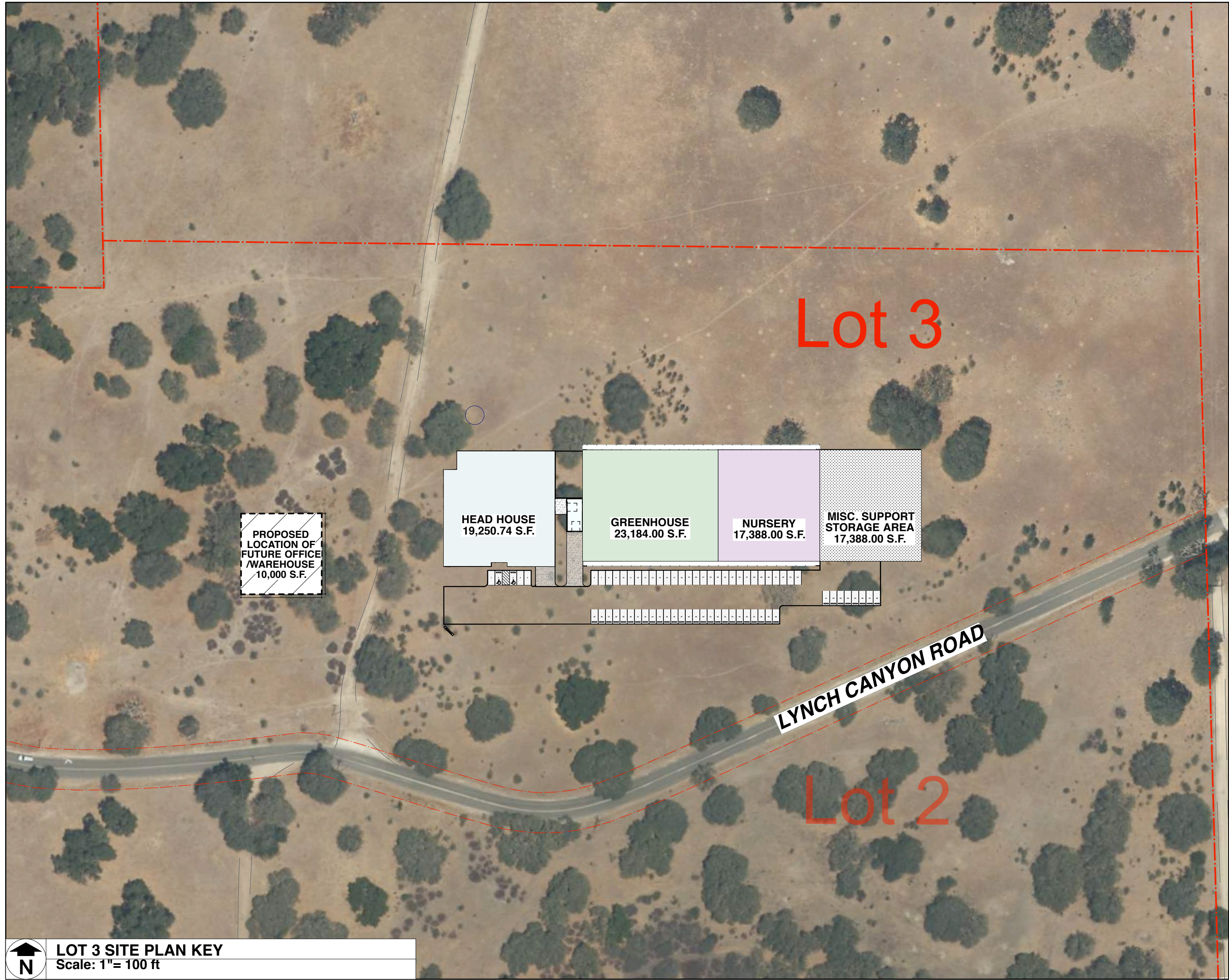


2 SITE SECTION

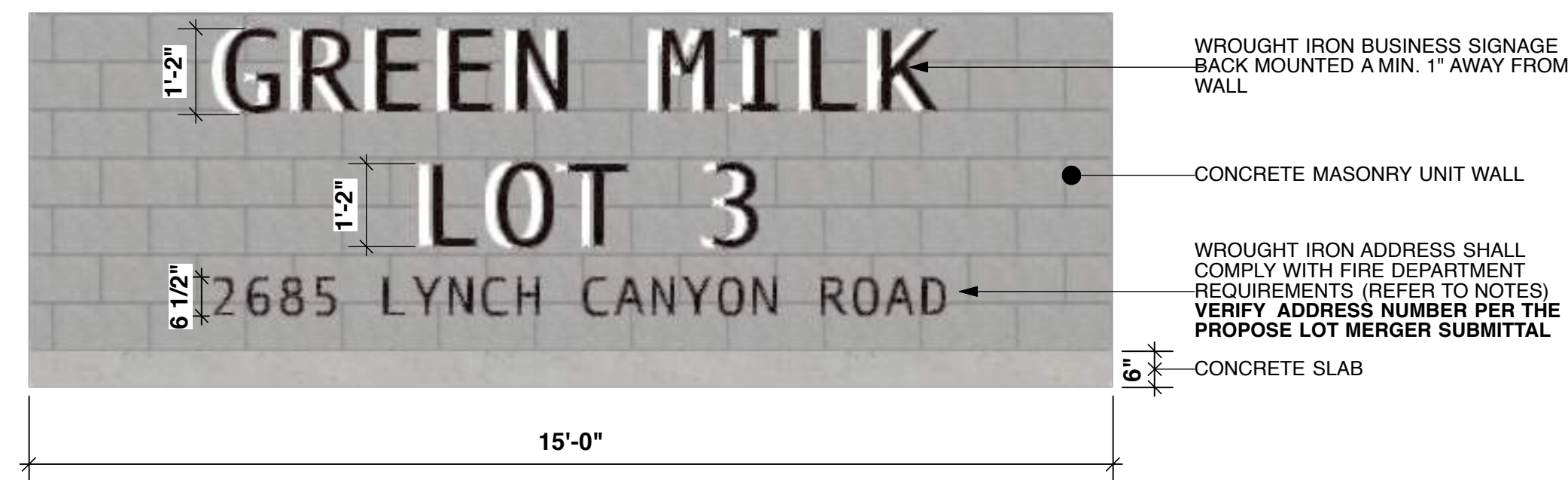
Scale: 1"= 30'

Green Milk
APN 080-021-008 FUTURE LOT 3
Site Sections

JOB #: 1484-01
DESIGNERS: CD
DRAWN BY: CD
DATE: 03-29-2019
DRAWING NO.
C1.3
3 OF 3

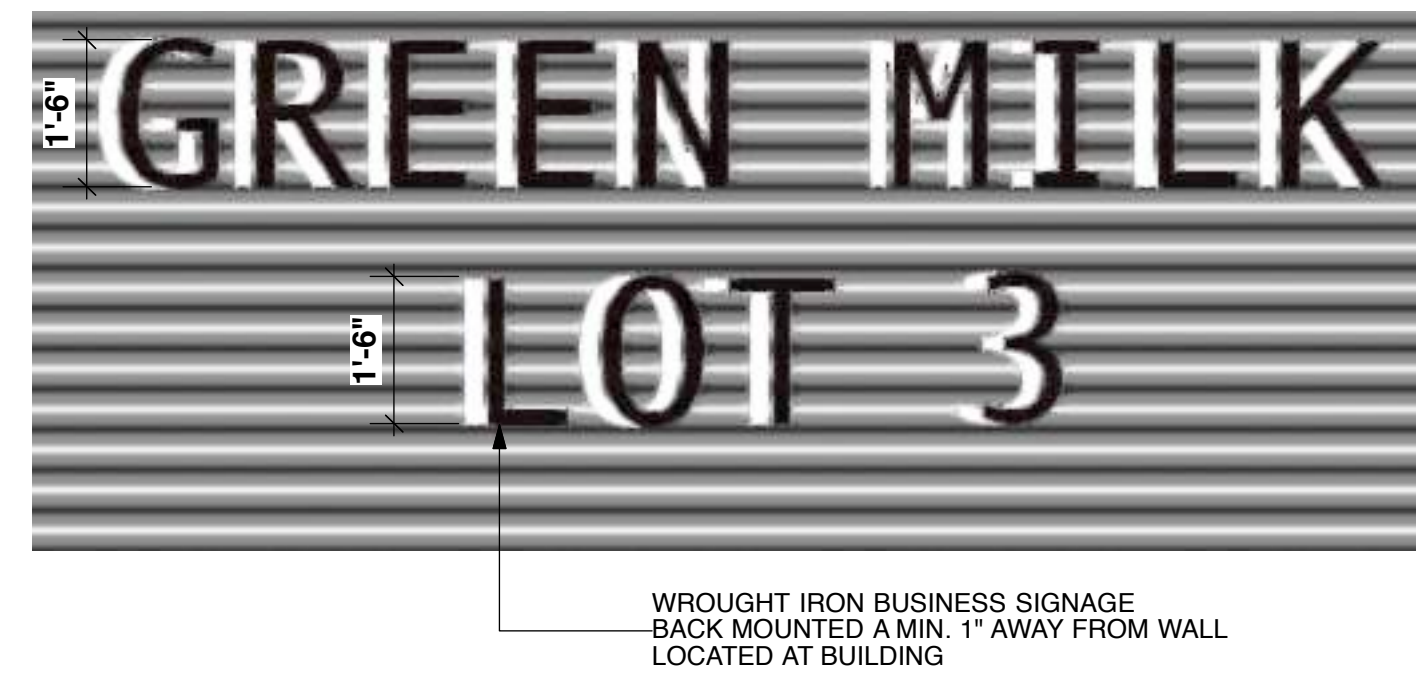


OVERALL SITE PLAN
SCALE: 1" = 200'



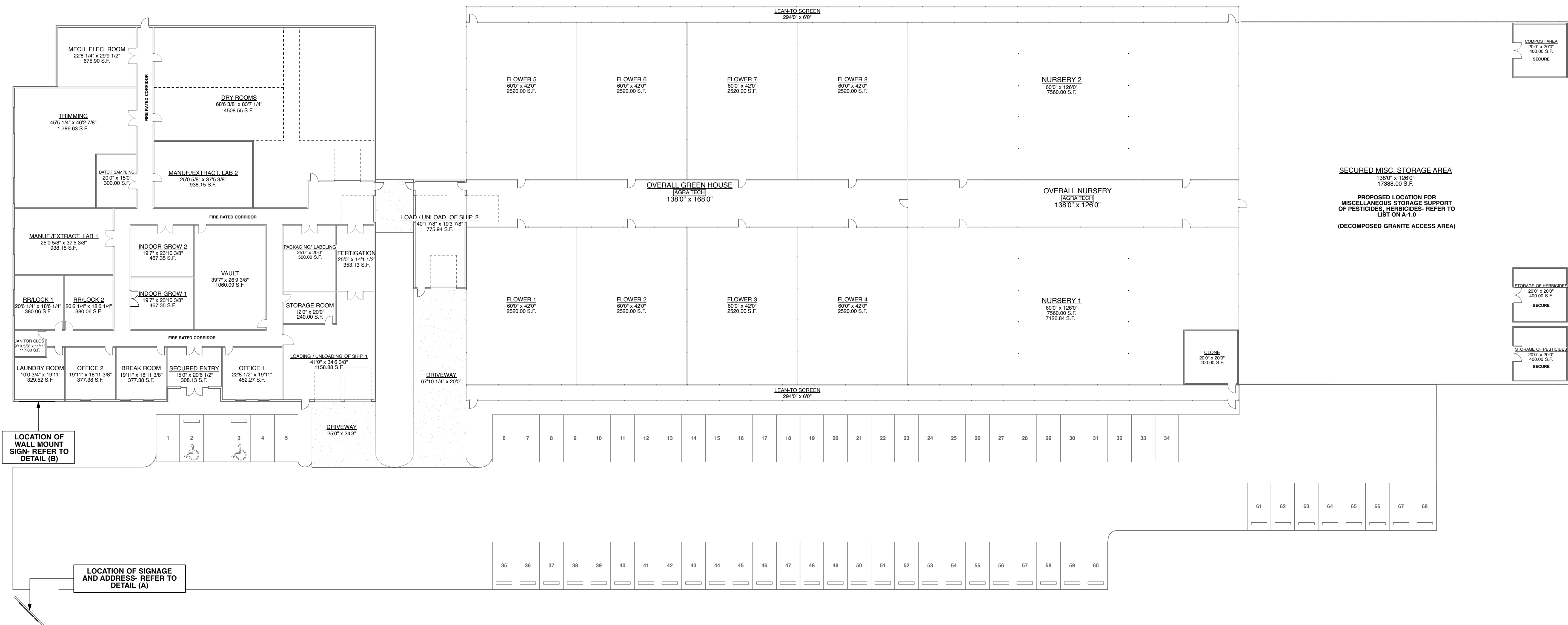
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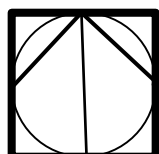
A



WALL MOUNT SIGNAGE

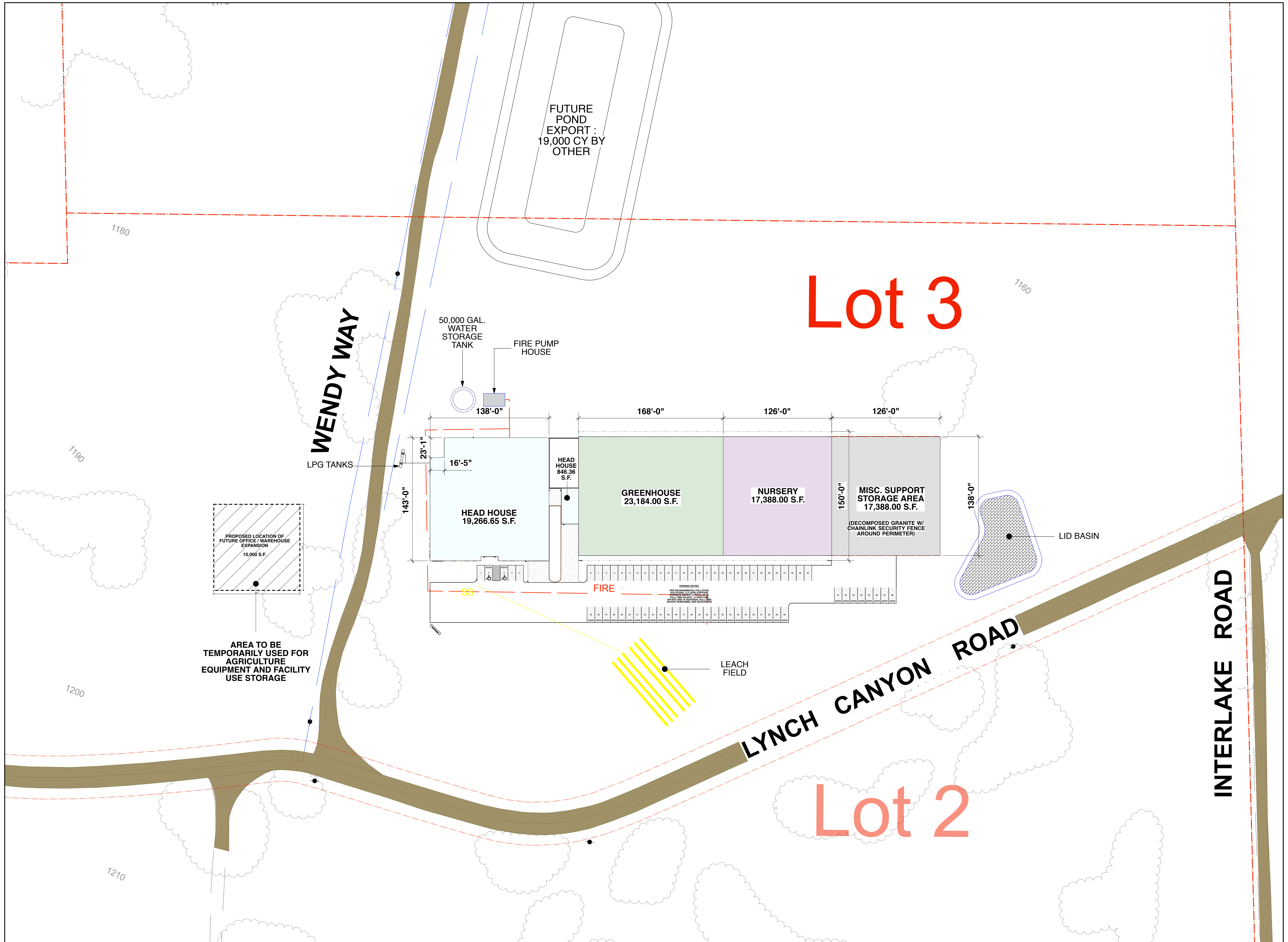
B





SITE PLAN WITH SITE CONSTRAINTS

SCALE: 1" = 50'



ACCESS CONTROL SYSTEM CM SECURITY DESIGN NOTES: REFER TO SUPPORTING DOCUMENTS

THIS ELECTRONIC SECURITY SYSTEM IS DESIGNED TO INTEGRATE VIDEO SURVEILLANCE, ACCESS CONTROL AND AN INTRUSION DETECTION SYSTEM WITH PANIC BUTTONS THAT WILL BE MONITORED BY AN ACCREDITED 3RD PARTY MONITORING COMPANY. ALL CAMERAS WILL BE STATE OF THE ART HIGH DEFINITION AND CAPABLE OF ALLOWING FACIAL RECOGNITION.

1. ALL CAMERAS ARE EQUIPPED WITH MOTION DETECTION AND WILL HAVE DAY/NIGHT TECHNOLOGY FOR LOW LIGHT CONDITIONS AND CAPABLE OF IDENTIFYING ACTIVITY AT NIGHT OR IN UNLIT ROOMS. EXTERNAL VIDEO SURVEILLANCE WILL COVER ALL AREAS OF POSSIBLE INGRESS AND EGRESS. INTERNAL VIDEO SURVEILLANCE WILL COVER ALL INTERIOR AREAS. THE SECURITY VIDEO SURVEILLANCE DESIGN WILL COVER ALL AREAS WHERE CANNABIS IS PRESENT OR HANDLED, INCLUDING ALL POINT-OF-SALE LOCATIONS, AND ALL MEANS OF ACCESS TO SUCH AREAS. VIDEO SURVEILLANCE WILL COVER EXTERNAL AND INTERNAL AREAS 24/7. ELECTRICAL BACKUP WILL BE PROVIDED BY AN UNINTERRUPTED POWER SUPPLY UNIT SUFFICIENT TO SUPPLY A MINIMUM OF 48 HOURS OF BACKUP POWER TO THE CAMERAS AND COMPUTERS. THE VIDEO SURVEILLANCE SYSTEM WILL HAVE REMOTE LIVE VIDEO FEED CAPABILITY AND ON-SITE VIDEO RECORDING STORAGE RETENTION OF (90) DAYS REQUIRING AN ESTIMATED 192TB. A FAILURE NOTIFICATION SYSTEM WILL PROVIDE BOTH AUDIBLE AND VISIBLE NOTIFICATIONS OF ANY FAILURE IN THE ELECTRONIC MONITORING SYSTEM. THE RECORDINGS OF THE MONITORING WILL BE MAINTAINED FOR A PERIOD OF NOT LESS THAN (90) DAYS AND WILL BE MADE AVAILABLE AND ACCESSIBLE TO AUTHORIZED AUTHORITIES. THE VIDEO RECORDINGS WILL BE MADE AVAILABLE IMMEDIATELY UPON REQUEST FOR REVIEW AND COPIES WILL BE FORMATTED TO BE ADMISSIBLE IN COURT.

2. ACCESS CONTROL SYSTEM DEVICES MOVEMENT WITHIN EACH AREA OF THE FACILITY WILL BE TIGHTLY CONTROLLED. ALL MAIN ACCESS DOORS AND DOORS TO THE CULTIVATION AND DISTRIBUTION AREAS WILL REQUIRE CARD READERS WITH KEYPADS. CARD READER DOORS SHALL BE MONITORED BY A DPDT BALANCED MAGNETIC SWITCHES. THESE CONTACTS WILL ALLOW THE DOOR TO BE MONITORED BY BOTH THE ACCESS CONTROL SYSTEM AND THE INTRUSION SYSTEM FROM A SINGLE BALANCED MAGNETIC SWITCH. SINGLE DOORS WILL REQUIRE (1) BALANCED MAGNETIC SWITCH. DOUBLE DOORS WILL REQUIRE (2) BALANCED MAGNETIC SWITCHES TERMINATED IN SERIES TO BE MONITORED AS ONE POINT FOR BOTH SYSTEMS. THE DOOR WILL ALSO BE EQUIPPED WITH A REQUEST TO EXIT BY MOTION DETECTION OR REQUEST TO EXIT INTEGRAL TO THE DOOR HARDWARE. IN THE EVENT REQUEST TO EXITS BY MOTION ARE USED, THEY SHALL BE MASKED AND AIMED IN SUCH A MANNER THAT IT WILL NOT CAUSE A FALSE BYPASS OF THE BALANCED MAGNETIC SWITCH. ALL LOCKING HARDWARE LEADING INTO THE BUILDING AND SECURE AREAS SHALL BE FAIL SECURE. (THE LOCKSETS WILL REQUIRE POWER TO UNLOCK). IN THE EVENT OF A POWER LOSS OR FAILURE OF THE SYSTEM, THE DOOR WILL REMAIN SECURE. FREE EGRESS WILL ALWAYS BE ALLOWED. ALL PERIMETER DOORS SHALL BE MONITORED AND WILL ALARM AT THE ACCESS CONTROL WORKSTATION TO PROVIDE AN IMMEDIATE NOTIFICATION OF A BREACH BY TEXT MESSAGE OR AUDIBLE ALARM.

3. CREDENTIALS AND ACCESS LEVELS ONLY PERMITTED EMPLOYEES WILL BE ALLOWED INTO RESPECTIVE AREAS OF THE FACILITY IN WHICH THEIR ACCESS LEVELS ARE ASSIGNED. ALL CARD READER EQUIPPED DOORS WILL REQUIRE THE EMPLOYEE OR RESPECTIVE PERSONNEL TO PRESENT THE PROPER CREDENTIAL AND ENTER THEIR UNIQUE PIN CODE TO GAIN ACCESS. IF AN EMPLOYEE WAS TO LOSE A CARD, IT SHALL BE REPORTED IMMEDIATELY TO THE SECURITY MANAGER. THE CARD SHALL BE DEACTIVATED FROM THE SYSTEM AND THE EMPLOYEE WILL BE PROVIDED A NEW CREDENTIAL WITH A NEW UNIQUE PIN CODE. THE MAIN PURPOSE OF DUAL AUTHENTICATION, IS TO PREVENT AN INDIVIDUAL FROM GAINING ACCESS TO AREAS IF A CREDENTIAL IS LOST OR STOLEN. ALL ACCESS LEVELS SHALL BE CREATED UNIQUE, NAMED LOGICALLY, AND SHALL NOT SHARE COMMON ACCESS AREAS WITH RESTRICTED ACCESS AREAS. PROXIMITY CARDS SHALL NOT BE USED AS TECHNOLOGY HAS SURPASSED THE CREDENTIAL AND CAN EASILY BE COPIED.

4. ACCESS CONTROL BADGING SYSTEM SECURITY PERSONNEL ISSUING BADGES SHALL BE EQUIPPED WITH A BADGE PRINTER. EACH EMPLOYEE WILL HAVE THEIR PICTURE TAKEN BEHIND A BLUE BACK DROP. EACH BADGE WILL REQUIRE A UNIQUE TEMPLATE CREATED FOR THE PREMISES. CREDENTIALS SHALL NOT BE HANDED OUT WITHOUT THE PROPER BADGE TEMPLATE AND PORTRAIT OF THE EMPLOYEE.

5. INTERCOM SYSTEM AN AUDIO VIDEO INTERCOM SYSTEM SHALL BE INSTALLED AT THE MAIN ENTRY POINT OF THE BUILDING. IF AN INDIVIDUAL HAS LOST OR HAD A CARD STOLEN, THEY SHALL SPEAK TO THE RECEPTIONIST THROUGH THE DOOR STATION. THE RECEPTIONIST WILL BE ABLE TO IDENTIFY THE PERSON THROUGH THE ACCESS CONTROL SYSTEM AND ALLOW ACCESS THROUGH THE INTERCOM BY RELAY FROM THE MASTER STATION. THIS POINT WILL BE MONITORED TO STATUS CHANGE SO THAT EACH EVENT WILL BE RECORDED AND CAN BE PULLED FOR FUTURE REFERENCE. CAMERA CALL UP CAN ALSO BE PROVIDED TO ALLOW SECURITY PERSONNEL TO SEE THAT AN INDIVIDUAL WAS LET IN BY THE INTERCOM. THE INTERCOM DOOR RELEASE WILL TERMINATE TO THE ACCESS CONTROL SYSTEM TO ALLOW FOR THE CAMERA CALL UP.

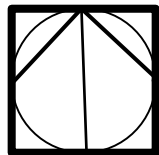
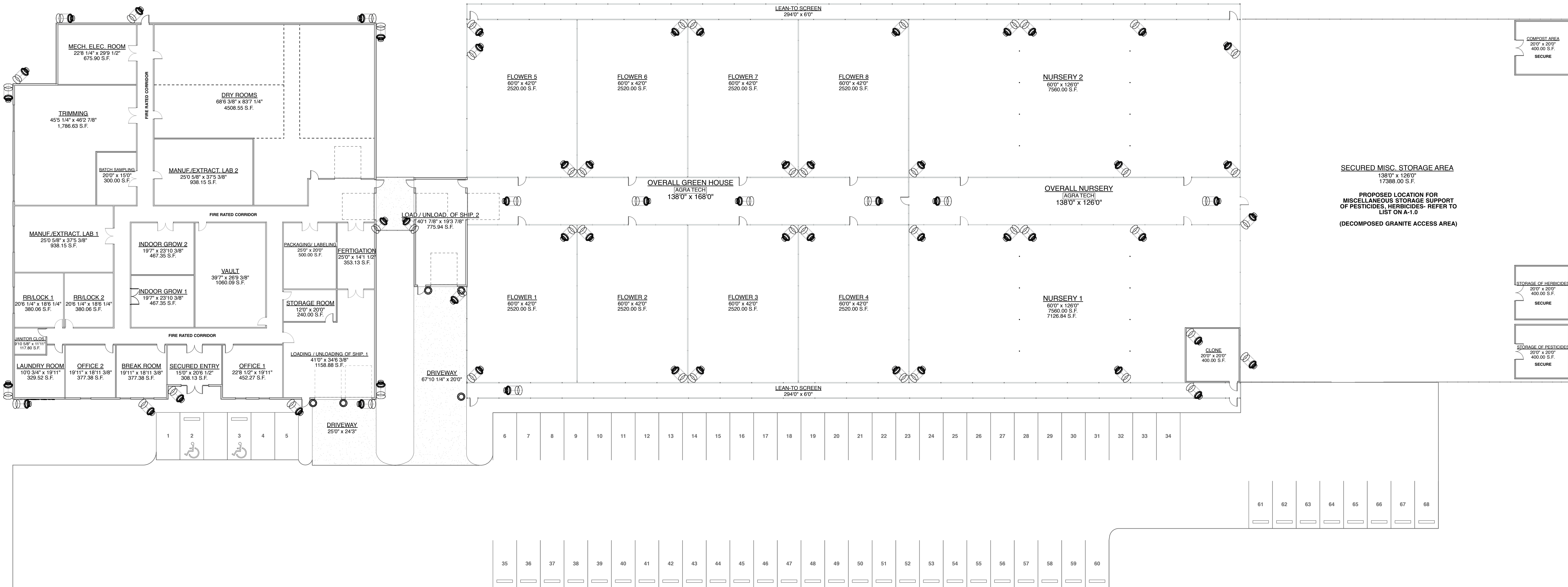
SITE SECURITY NOTES:

1. SECURITY CAMERAS WILL BE MOUNTED TO THE EXTERIOR FACE OF THE BUILDING. SHALL BE LOCATED AT ALL ENTRIES, EXITS AND DELIVERY AREAS. VERIFY LOCATION WITH A LICENSED SECURITY CONSULTANT.
2. THERE WILL BE A SECURITY OFFICER ON DUTY AT THE SITE DURING BUSINESS HOURS.
3. VEHICULAR SECURITY GATES WILL REMAIN OPEN DURING BUSINESS HOURS AND CLOSED AT NIGHT. ADJACENT TO THE VEHICULAR GATES ARE MAIN GATES. A KNOX BOX WILL BE PLACED AT EACH MAIN GATE FOR USE BY THE POLICE DEPARTMENT AND/OR FIRE DEPARTMENT.
4. ALL DELIVERIES WILL OCCUR WITHIN THE ENCLOSED FACILITY OF THE BUILDING. DELIVERY VEHICLES WILL NOT BLOCK VEHICULAR CIRCULATION DURING BUSINESS HOURS.
5. VEHICULAR RESISTANT BOLLARDS SHALL BE INSTALLED IN FRONT OF MAIN ENTRIES.
6. ALL WINDOWS AND DOORS AT MAIN LEVEL WILL BE SECURED AND IMPACT RESISTANT. METAL SECURITY GRILLES AND/ OR ARMOR RESISTANT/BULLET RESISTANT GLASS SHALL BE INSTALLED IN STOREFRONT FRAMES AND ENTRANCE DOORS.
7. ROLL-UP STEEL DOORS FOR DELIVERY TO BE IMPACT RESISTANT.

SECURITY LEGEND:

- ⦿ EXTERIOR SECURITY CAMERA
- 42" HIGH, 5"Ø STEEL BOLT-DOWN BOLLARD TO BE LOCATED AT DELIVERY AREAS- REFER TO C-5.0 FOR SPECIFICATION

NOTE:
FOR SECURITY SYSTEM
NARRATIVE AND OVERALL
CAMERA LOCATIONS REFER
TO CM SECURITY DESIGN
CONSULTANT'S SUPPORTING
DOCUMENTS



SITE SECURITY PLAN

SCALE: 1" = 50'



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GREENMILK (LOT 3)
APN: 080-021-005
2885 LYNCH CANYON ROAD,
BRADLEY, CA 93426
SAN LUIS OBISPO COUNTY, CA

GREENMILK, LLC
3806 CROSS CREEK RD.
UNIT C,
MALIBU, CA 90265
PH: 310-880-7155

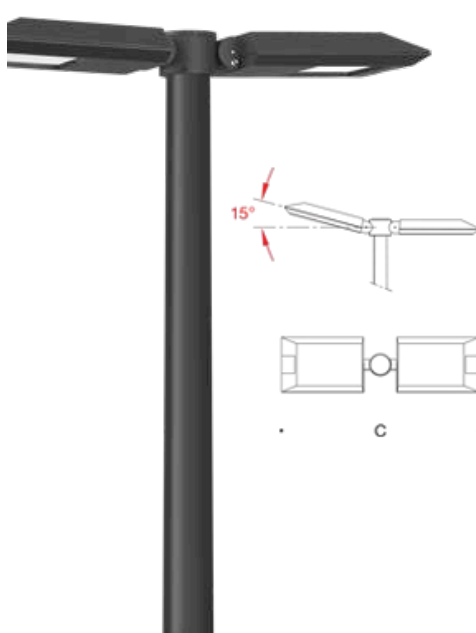
SITE SECURITY PLAN
LOT 3

28 MAR 2019
LAND USE PERMIT SUBMITTAL

01841

C-2.0

LOT 3
Referral - Page 31 of 39



LED AREA/ROADWAY POLE TOP AND DAVIT ARM LUMINAIRES (#99-528)

Designed for the illumination of parking areas and roadways featuring full cut-off light distribution.

Hinged door assembly with tool less latch entry for easy maintenance. Enclosed optic system using a reflector of pure anodized aluminum with clear tempered glass diffuser.

Integral 120V - 277V electronic LED driver, 0-10V dimming.

*CSA certified to U.S. and Canadian standards.

Protection class: IP66

Finish: Standard BEGA colors.

Lamp

	A	B	C
(2) 33.6W LED	10"	2-3/8"	32"

TAPERED ROUND POLE WITH CAST ROUND HINGED BASE

Pole with four galvanized steel anchor bolts and cast round two piece base cover.

Finish: Standard BEGA colors.

Description

	A	B	C
Tapered round 17' 8" pole	3"	5"	12-5/8"

TWIN LED LIGHTS/POLE

INSTALL PER BEGA SPECIFICATIONS

N.T.S.

EL-4



LED BOLLARD - UNSHIELDED WITH GUARD - 180° (#84-025)

Designed for effective lighting of landscapes, pathways, and open spaces featuring one sided light distribution.

Bollards with diffused 180° light distribution and safety guard constructed of extruded and die-cast aluminum. Three-ply opal glass with screw neck.

Integral 120V - 277V electronic LED driver, 0-10V dimming.

LED color temperature available in 2700K, 3000K, 3500K, or 4000K. See individual specification sheet to specify.

NRTL listed to North American Standards.

Protection class: IP65

Finish: Standard BEGA colors.

Lamp

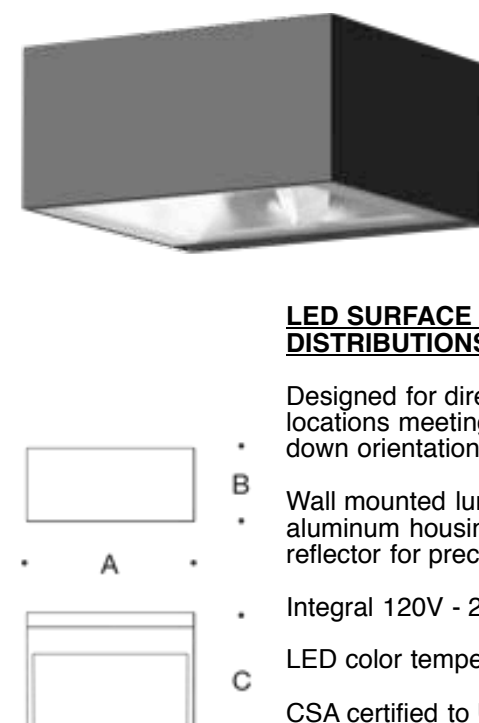
	A	B
8.2W LED	5-1/8"	35-3/4"

LED BOLLARD

INSTALL PER BEGA SPECIFICATIONS

N.T.S.

EL-3



LED SURFACE WALL WITH DIRECTED LIGHT IN MULTIPLE DISTRIBUTIONS (#33-386)

Designed for direct/indirect lighting effects for interior and exterior locations meeting fully shielded LEED Zone-1 requirements in the down orientation. Can also be mounted in the upward orientation.

Wall mounted luminaires with fully shielded light source. Die-cast aluminum housing. Tempered safety glass with anodized aluminum reflector for precision optics.

Integral 120V - 277V electronic LED driver, 0-10V dimming.

LED color temperature is 3000K (for 4000K add suffix K4).

CSA certified to U.S. and Canadian standards.

Protection class: IP65

Finish: Standard BEGA colors.

Lamp

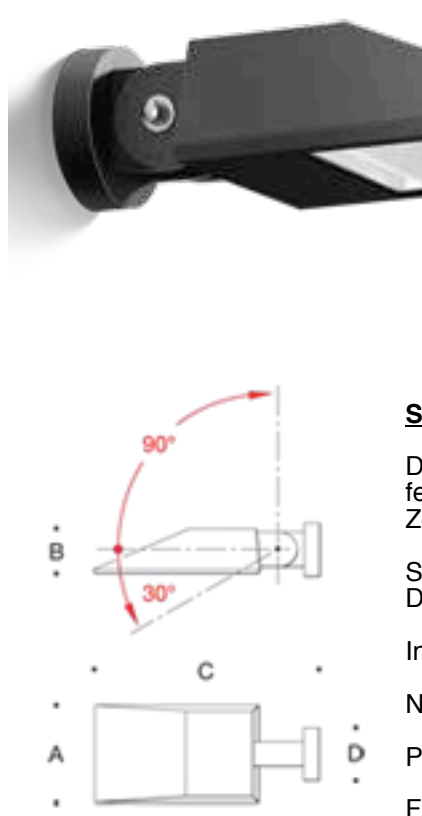
	A	B	C
26.6W LED	12-1/2"	5"	8-5/8"

LED WALL WASHER

INSTALL PER BEGA SPECIFICATIONS ON SHEET C-5.0

N.T.S.

EL-2



SURFACE WALL WITH SHIELDED LIGHT SOURCE (#24-816)

Designed for down or up lighting for interior and exterior locations featuring forward throw floodlighting distribution. Meets LEED Zone-1 fully shielded requirements in straight-down position.

Surface mounted luminaires with adjustable lamp enclosure. Die-cast aluminum construction with clear tempered glass.

Integral 120V - 277V electronic LED driver, 0-10V dimming.

NRTL listed to North American Standards.

Protection class: IP65

Finish: Standard BEGA colors.

Lamp

	A	B	C
55.3W LED	8-7/8"	4"	19-1/4"

LED WALL MOUNT

INSTALL PER MANUF. SPECIFICATIONS

N.T.S.

EL-1

EXTERIOR LIGHTING GENERAL NOTES:


- ALL EXTERIOR LIGHTING FIXTURES SHALL BE OF A LOW INTENSITY, LOW GLARE DESIGN AND SHALL BE SHIELDED WITH FULL CUT-OFF DESIGN AND DIRECTED DOWNWARD SO THAT NEITHER THE LAMP NOR THE RELATED REFLECTOR INTERIOR SURFACE IS VISIBLE FROM ANY LOCATION OFF OF THE PROJECT SITE IN ORDER TO PREVENT SPILL OVER ONTO ADJACENT LOTS UNDER SEPARATE OWNERSHIP.
- NO EXTERIOR LIGHTING SHALL BE INSTALLED OR OPERATED IN A MANNER THAT WOULD THROW LIGHT, EITHER REFLECTED OR DIRECTLY, IN AN UPWARD DIRECTION.
- REDUCE THE LEVEL OF OF THE PARKING LOT LIGHTS TO THE MINIMUM STANDARD ALLOWED BY BUILDING CODE AFTER 10:00 P.M. DURING NORMAL OPERATIONS
- POLE MOUNTED LIGHTING SHALL ONLY BE USED TEMPORARILY FOR SPECIAL EVENTS AND SEASONAL AGRICULTURE ACTIVITIES.
- PARKING LOT LIGHTING SHALL BE PROVIDED AT ALL STEPS AND RAMPS. FIXTURES SHALL BE MOUNTED ON LOW POLES, LOCATED AWAY FROM POTENTIAL VEHICLE IMPACT.
- CUT OFF LIGHTING SHALL BE USED TO ILLUMINATE REAR PARKING, LOADING/UNLOADING AREAS AND OTHER OUTDOOR STORAGE OR WORK AREAS.

TEMPORARY LIGHTING NOTES:

SEE BUILDING'S TEMPORARY LIGHTING FOR AGRICULTURAL SITES AND HARVESTING CROPS GUIDE DATED JUNE, 25, 2018 (FORM BLD-2029). ALL LIGHTING SHALL BE POWERED BY A PORTABLE GENERATOR OR PERMITTED ELECTRICAL SERVICE. THE LIGHTING SHALL NOT BE SUPPORTED BY ANY BUILDING OR STRUCTURE AND SHALL NOT BE USED FOR GROWING PLANTS OR MODIFYING THE ENVIRONMENT OF A BUILDING, STRUCTURE, OR CULTIVATION AREA.


THE LIGHTING MAY BE STATIONARY FOR A PERIOD NOT TO EXCEED TWO WEEKS AND MAY NOT BE USED ON THE PROPERTY FOR MORE THAN 90 CUMULATIVE DAYS IN A CALENDAR YEAR. ALL LIGHTING SHALL COMPLY WITH TITLE 22 SECTION 22.10.060.

EXTERIOR LIGHTING KEY:



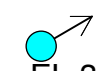
EL-1

LED SURFACE WALL MOUNT WITH SHIELDED LIGHT SOURCE



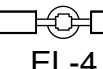
EL-2

LED WALL WASHER WITH SYMMETRICAL, ASYMMETRICAL OR WIDE SPREAD LIGHT DISTRIBUTION. HEIGHT SHALL VARY DEPENDING ON LOCATION ON WALL.



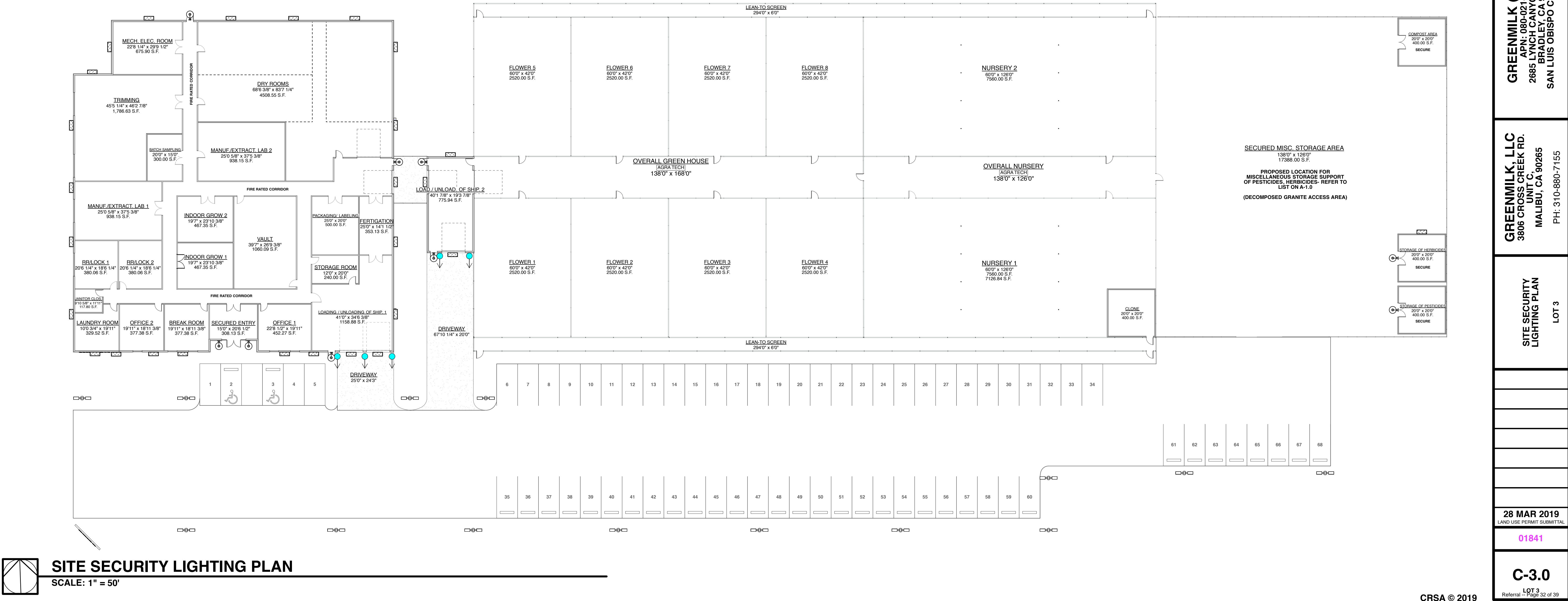
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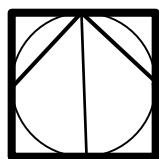
LED BOLLARD-UNSHIELDED WITH GUARD 180°



EL-4

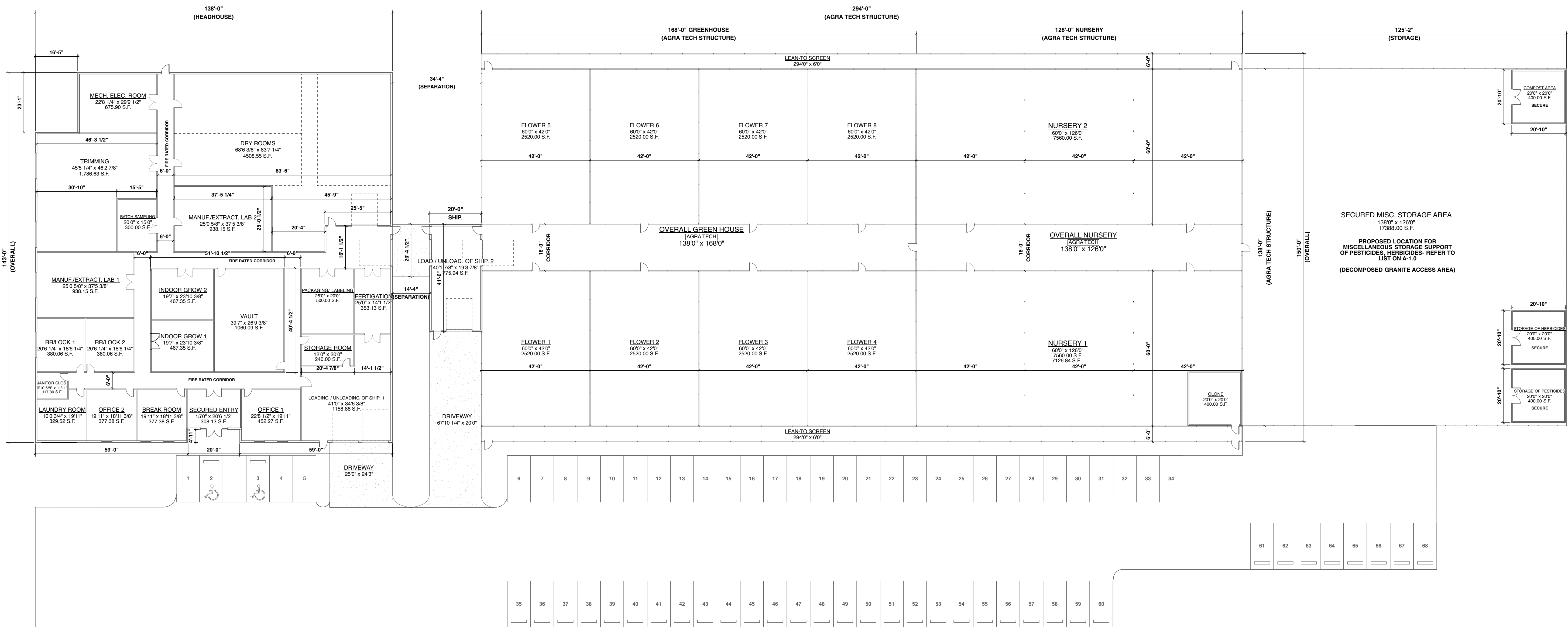
TWIN LED- ROADWAY LUMINAIRES WITH ASYMMETRICAL WIDE SPREAD LIGHT DISTRIBUTION (ZERO UPLIGHT PRODUCED, DARK SKY COMPLIANT).





DIMENSIONAL FLOOR PLAN

SCALE: 1" = 20'



GREENMILK BUILDING AREAS: LOT 3

BUILDING I.D.	AREA (S.F.)	GROSS OR NET
"HEAD HOUSE" BAY		
SECURED ENTRY	308.13 S.F.	NET
OFFICE 1	452.24 S.F.	NET
OFFICE 2	377.38 S.F.	NET
BREAK ROOM	377.38 S.F.	NET
JANITOR CLOSET	117.80 S.F.	NET
RESTROOM/LOCKER 1	380.06 S.F.	NET
RESTROOM/LOCKER 2	380.06 S.F.	NET
INDOOR GROW 1	467.35 S.F.	NET
INDOOR GROW 2	467.35 S.F.	NET
STORAGE ROOM	240.00 S.F.	NET
MANUF./EXTRACT. LAB 1	938.15 S.F.	NET
MANUF./EXTRACT. LAB 2	938.15 S.F.	NET
TRIMMING	1,786.63 S.F.	NET
DRY ROOMS	4,508.55 S.F.	NET
VAULT	1,060.09 S.F.	NET
FERTIGATION	353.13 S.F.	NET
LOADING/UNLOADING OF SHIP	1,158.88 S.F.	NET
PACKING/LABELING	500.00 S.F.	NET
BATCH SAMPLING	300.00 S.F.	NET
MECHANICAL / ELECTRICAL	675.90 S.F.	NET
TOTAL	*16,027.23 S.F.	NET
LOADING/UNLOADING OF SHIP 2	775.94 S.F.	NET
"NURSERY" BAY		
NURSERY 1	7,126.84 S.F.	NET
CLONING	400.00 S.F.	NET
NURSERY 2	7,560.00 S.F.	NET
TOTAL	*14,686.84 S.F.	NET
"GREENHOUSE" BAY		
FLOWER 1	2,520.00 S.F.	NET
FLOWER 2	2,520.00 S.F.	NET
FLOWER 3	2,520.00 S.F.	NET
FLOWER 4	2,520.00 S.F.	NET
FLOWER 5	2,520.00 S.F.	NET
FLOWER 6	2,520.00 S.F.	NET
FLOWER 7	2,520.00 S.F.	NET
FLOWER 8	2,520.00 S.F.	NET
TOTAL	*20,160.00 S.F.	NET
(REFER TO NOTE BELOW)		
*NOTE: 22,000 S.F. IS THE MAXIMUM ALLOWABLE NET AREA FOR CANOPY GROW WITHIN THE GREENHOUSE. APPROXIMATELY 10% (2,200 S.F.) OF AREA IS DEDICATED FOR ALLOWABLE CIRCULATION WITHIN THE SPACE. THEREFORE 24,200 S.F. (22,000 + 2,200) IS THE OVERALL NET AREA OF THE GREENHOUSE. 21,160.00 S.F. IS LESS THAN 24,200 S.F. AND THEREFORE COMPLIES		
OVERALL GROSS BUILDING AREAS		
HEAD HOUSE BAY	19,250.74 S.F.	GROSS
NURSERY BAY	17,388.00 S.F.	GROSS
GREENHOUSE BAY	23,184.00 S.F.	GROSS
PROPOSED MISCELLANEOUS STORAGE SUPPORT	17,388.00 S.F.	GROSS
PROPOSED OFFICE/WAREHOUSE EXPANSION	10,000.00 S.F.	GROSS

GREENMILK PARKING REQUIREMENT BY SLO COUNTY LAND USE

BUILDING I.D.	AREA (S.F.)	GROSS OR NET	LAND USE	PARKING LOAD FACTOR	PARKING SPACES REQUIRED
"HEAD HOUSE" BAY					
SECURED ENTRY	308.13 S.F.	NET	MANUF./PROCESS (i)	1 SPACE / 500 S.F.	1 SPACES
OFFICE 1	452.24 S.F.	NET	MANUF./PROCESS (i)	1 SPACE / 500 S.F.	1 SPACES
OFFICE 2	377.38 S.F.	NET	MANUF./PROCESS (i)	1 SPACE / 500 S.F.	1 SPACES
BREAK ROOM	377.38 S.F.	NET	MANUF./PROCESS (i)	1 SPACE / 500 S.F.	1 SPACES
JANITOR CLOSET	117.80 S.F.	NET	MANUF./PROCESS (ii)	1 SPACE / 1,000 S.F.	0 SPACES
RESTROOM/LOCKER 1	380.06 S.F.	NET	N/A	N/A	N/A
RESTROOM/LOCKER 2	380.06 S.F.	NET	N/A	N/A	N/A
INDOOR GROW 1	467.35 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	0 SPACES
INDOOR GROW 2	467.35 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	0 SPACES
STORAGE ROOM	240.00 S.F.	NET	MANUF./PROCESS (ii)	1 SPACE / 1,000 S.F.	0 SPACES
MANUF./EXTRACT. LAB 1	938.15 S.F.	NET	MANUF./PROCESS (i)	1 SPACE / 500 S.F.	2 SPACES
MANUF./EXTRACT. LAB 2	938.15 S.F.	NET	MANUF./PROCESS (i)	1 SPACE / 500 S.F.	2 SPACES
TRIMMING	1,786.63 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	2 SPACES
DRY ROOMS	4,508.94 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	5 SPACES
VAULT	1,060.09 S.F.	NET	MANUF./PROCESS (ii)	1 SPACE / 1,000 S.F.	1 SPACES
FERTIGATION	353.13 S.F.	NET	MANUF./PROCESS (ii)	1 SPACE / 1,000 S.F.	0 SPACES
LOADING/UNLOADING OF SHIP	1,158.88 S.F.	NET	MANUF./PROCESS (ii)	1 SPACE / 1,000 S.F.	1 SPACES
PACKING/LABELING	500.00 S.F.	NET	MANUF./PROCESS (ii)	1 SPACE / 1,000 S.F.	1 SPACES
BATCH SAMPLING	300.00 S.F.	NET	MANUF./PROCESS (ii)	1 SPACE / 1,000 S.F.	0 SPACES
MECHANICAL / ELECTRICAL	675.90 S.F.	NET	N/A	N/A	N/A
LOADING/UNLOADING OF SHIP 2	775.94 S.F.	NET	MANUF./PROCESS (ii)	1 SPACE / 1,000 S.F.	1 SPACES
"NURSERY" BAY					
NURSERY 1	7,126.84 S.F.	NET	AG PROCESSING	1 SPACE / 500 S.F.	14 SPACES
CLONING	400.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	0 SPACES
NURSERY 2	7,560.00 S.F.	NET	AG PROCESSING	1 SPACE / 500 S.F.	15 SPACES
"GREENHOUSE" BAY					
FLOWER 1	2,520.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 2	2,520.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 3	2,520.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 4	2,520.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 5	2,520.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 6	2,520.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 7	2,520.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
FLOWER 8	2,520.00 S.F.	NET	AG PROCESSING	1 SPACE / 1,000 S.F.	3 SPACES
MISCELLANEOUS STORAGE SUPPORT AREA					
	17,388.00 S.F.	GROSS	MANUF./PROCESS (iv)	1 SPACE / 5,000 S.F.	3 SPACES
TOTAL REQUIRED:					68 SPACES
TOTAL PROPOSED:					68 SPACES

LIST OF ALL PESTICIDES, FERTILIZERS AND ANY OTHER HAZARDOUS MATERIALS KEPT ON SITE @ MISC. STORAGE AREA

It is the intention for the greenhouse to be 100% organic. Fertilizers and Pesticides will be stored in a locked cabinet within the facility. There will be a detailed safety manual for the employees on how to handle the chemicals per OSHA Standards

Hazardous Materials

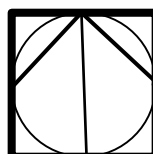
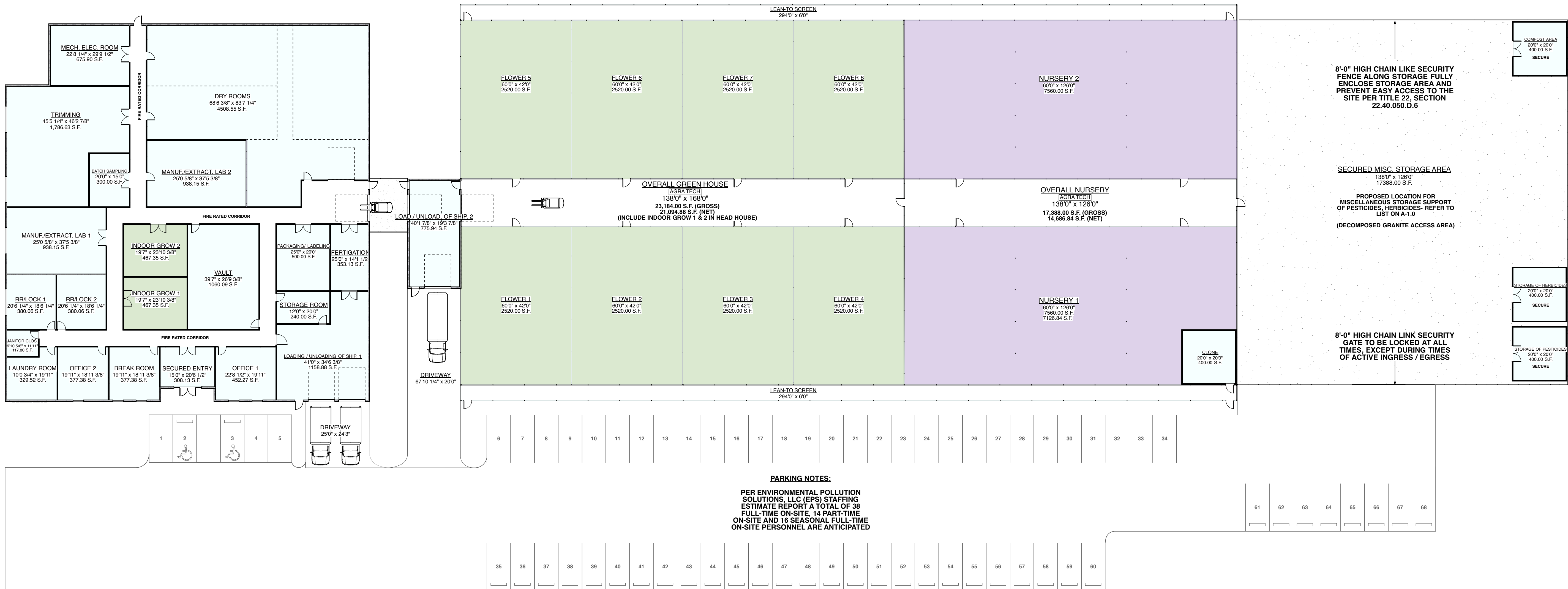
- The extraction will require the use of a non-volatile gas and ethanol.
 - 10-15 medical grade CO2 canisters onsite at any given time. This information is based off an Apeks Duplex 2000psi
 - 50-100 gallons of Ethanol
- Until the interconnection process with PG&E for electrical service is complete the facility will be powered by a propane fueled generator
 - 2 -- Propane Tanks (size TBD)

Pesticides, Herbicides (Types, quantities)

- Identified below with 5-10 gallons of two or more of these onsite at any one time

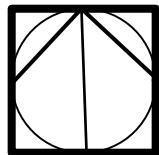
Manufacturer	Common Name	Active Ingredient
Marrone Bio Innovations	Regalia	Extract of Reynoutria Sachalinensis
Bayer	Serenade	QT 713 strain of Bacillus Subtilis
Valent	Pyganic EC 5.0	Pyrethrins
Marrone Bio Innovations	Grandevo	Chromobacterium Subtsugae PRAA4-1
Bionide	Sulphur	Burkholderia spp. strain A396
Pathogen Zero	Pathogen Zero	Citric Acid
BioSafe Systems	Zerotol 2.0	Hydrogen Dioxide, Peroxyacetic Acid
Food Grade	Food Grade Hydrogen Peroxide 32%	Hydrogen peroxide
Greenspire Global Inc.	Proacidic 2	Citric Acid

NOTE: HERBICIDES, PESTICIDES AND FERTILIZERS SHALL BE PROPERLY LABELED, STORED AND APPLIED TO AVOID AND PREVENT CONTAMINATION THROUGH EROSION, LEAKAGE, OR INADVERTENT DAMAGE FROM RODENTS, PESTS OR WILDLIFE. PER SAN LUIS OBISPO COUNTY CODE: TITLE 22.40.060.D.9



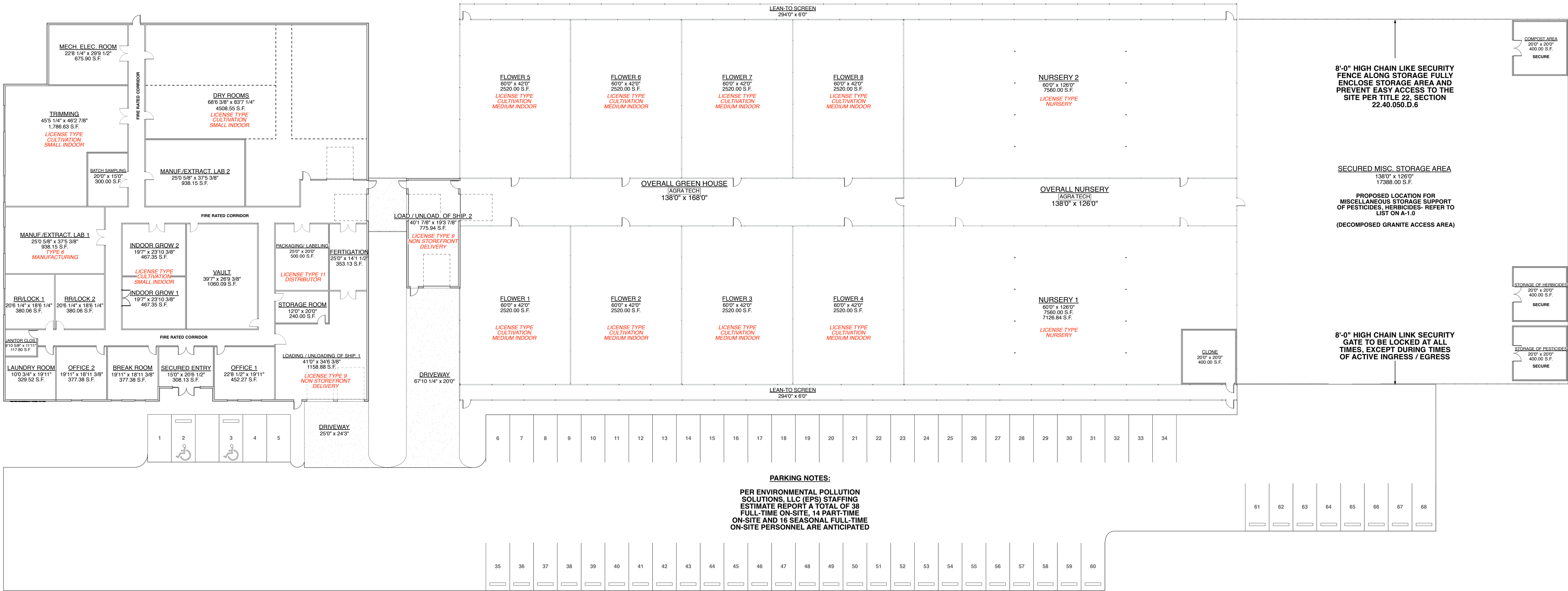
FIRST FLOOR PLAN

SCALE: 1" = 20'



LICENSE FLOOR PLAN

SCALE: 1" = 20'



PARKING NOTES:
PER ENVIRONMENTAL POLLUTION SOLUTIONS, LLC (EPS) STAFFING ESTIMATE REPORT A TOTAL OF 38 FULL-TIME ON-SITE, 14 PART-TIME ON-SITE AND 16 SEASONAL FULL-TIME ON-SITE PERSONNEL ARE ANTICIPATED



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GREENMILK (LOT 3)
APN: 080-021-005
2885 LYNCH CANYON ROAD,
BRADLEY, CA 93426
SAN LUIS OBISPO COUNTY, CA

GREENMILK, LLC
3806 CROSS CREEK RD.
UNIT C,
MALIBU, CA 90265
PH: 310-860-7155

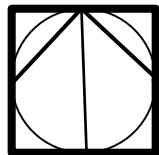
LICENSE FLOOR PLAN

LOT 3

28 MAR 2019
LAND USE PERMIT SUBMITTAL

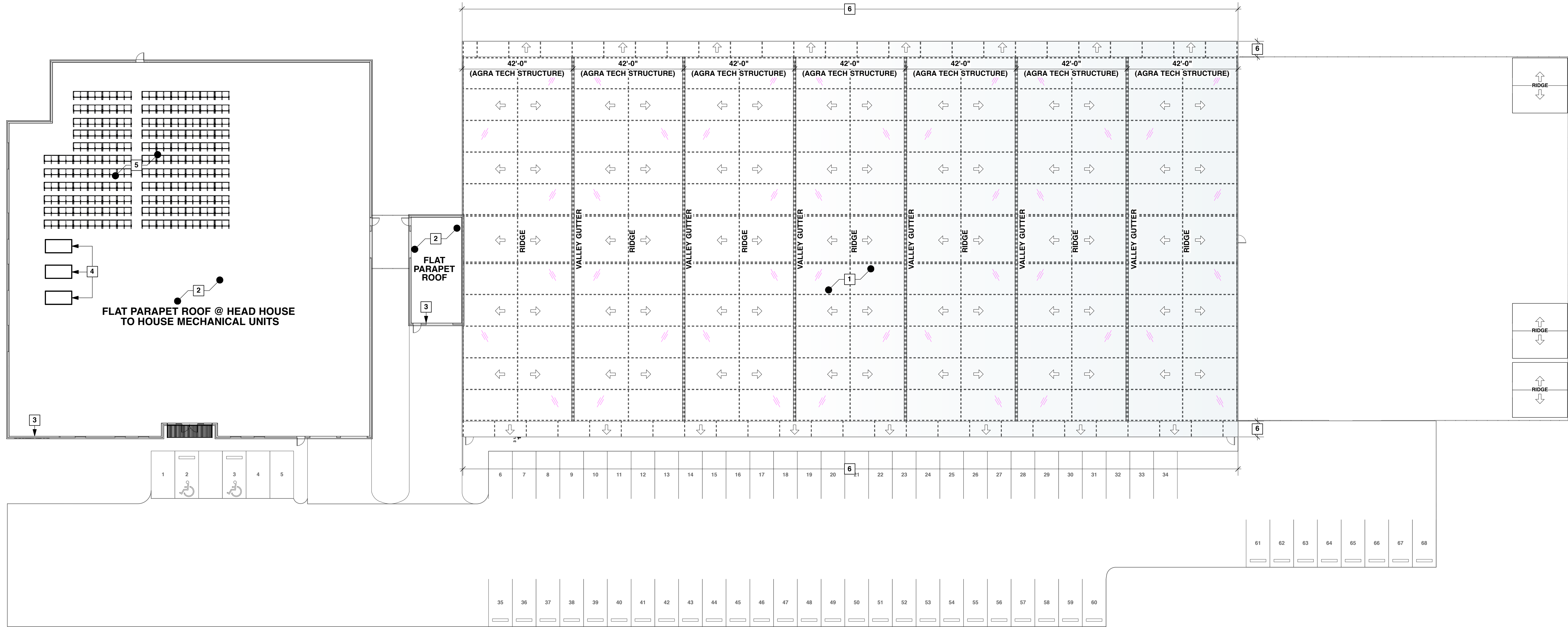
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A-1.1
Lot 3
Referral - Page 35 of 39



ROOF PLAN

SCALE: 1" = 20'

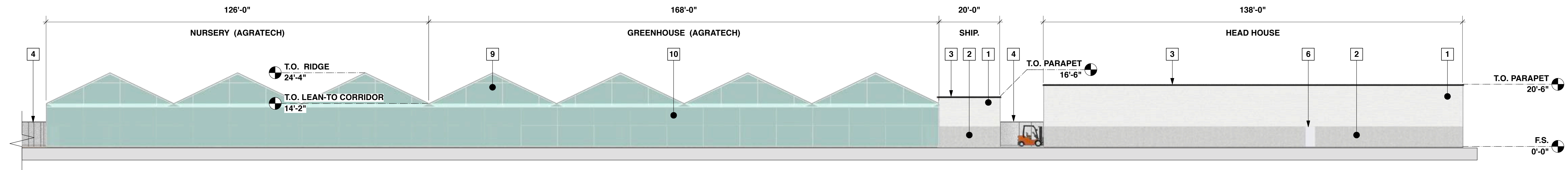


GENERAL ROOFING NOTES:

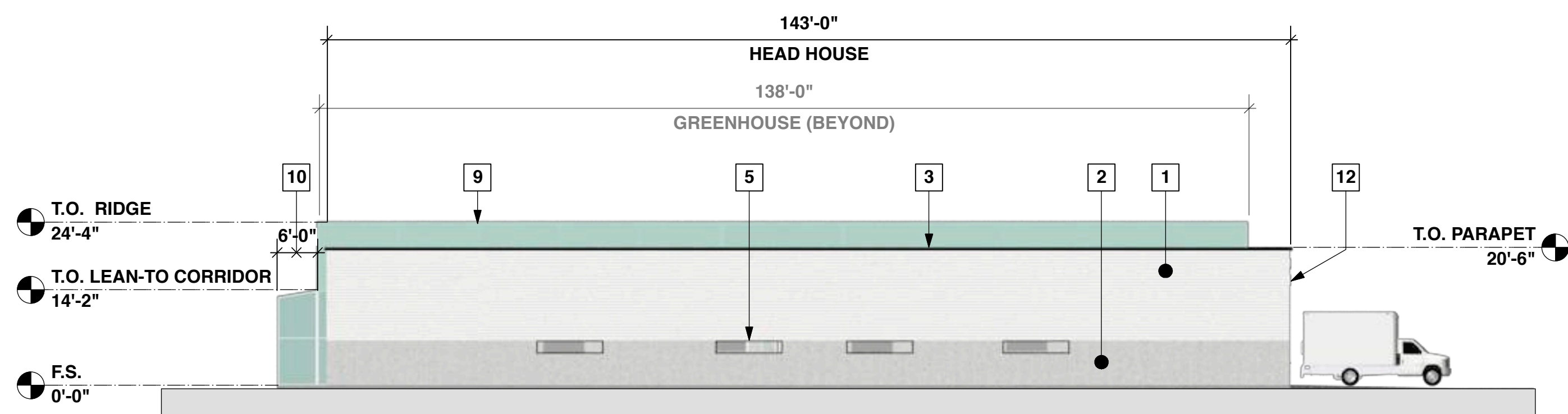
- ROOFING MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 15, 2016 C.B.C.
 - UNDERLAYMENT TYPE: T.B.D.
 - ROOFING: TYPE: T.B.D.
 - ROOF SLOPE: SLOPE: VARIES
- FLASH CRICKETS AND VALLEYS IN ACCORDANCE WITH 2016 C.B.C. SECTION 1503 AND 1507.
- FLASH AND COUNTER FLASH JUNCTIONS OF ROOFS AND VERTICAL SURFACES PER ROOFING MANUFACTURER'S RECOMMENDATIONS AND, WHEN OF METAL, SHALL NOT BE LESS THAN 26 GAGE CORROSION-RESISTANT METAL.
- FLASH ALL PLUMBING, MECHANICAL, AND ELECTRICAL ROOF PENETRATIONS.
- PROVIDE ATTIC CROSS VENTILATION AS FOLLOWS (C.B.C. SECTION 1203.2)
 - NET FREE VENTING AREA: 1/150 OF ATTIC AREA, OR 1/300 OF ATTIC AREA WHERE AT LEAST 50% OF REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC AT LEAST 3 FEET ABOVE THE EAVES AND THE REMAINING VENTILATION AREA IS PROVIDED BY EAVES VENTS
 - FOR ATTIC VENTILATION CALCULATIONS-REFER TO TABLES
- PROTECT ATTIC VENTS AGAINST ENTRANCE OF RAIN AND SNOW.
- ALL FLASHING AT VALLEYS SHALL BE 28 GAGE MIN. CORROSION-RESISTANT METAL.
- ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND THAT EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
- ROOF GUTTERS SHALL BE PROVIDED W/ MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

ROOF REFERENCE NOTES:

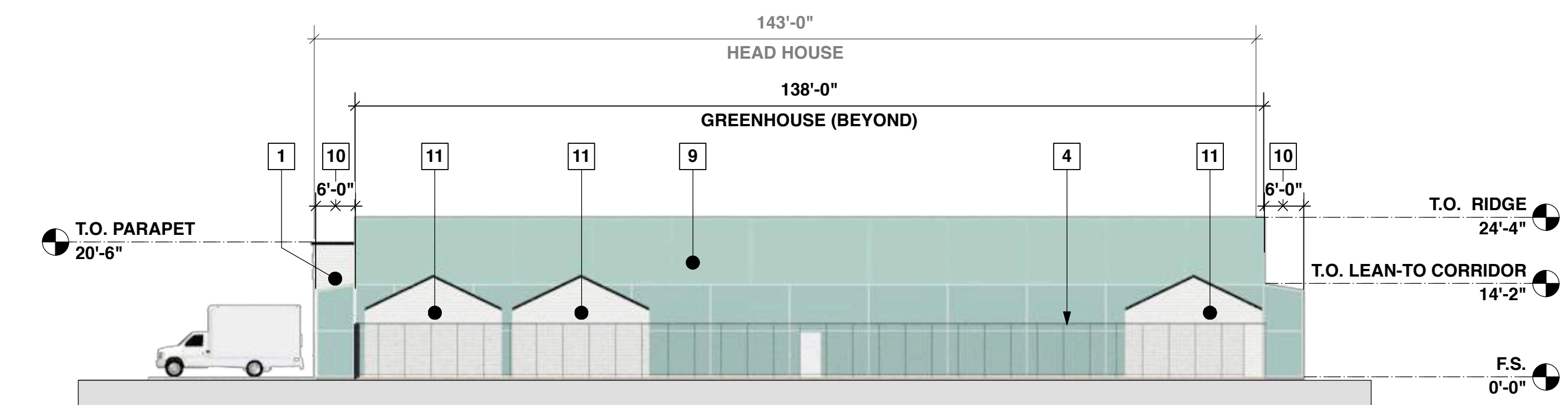
- CUSTOMIZED CONTROLLED ENVIRONMENT GREENHOUSE / NURSERY . FACTORY-WELDED ROOF TRUSS SYSTEM MANUFACTURED BY AGRATECH. SHALL MEET SLO COUNTY AND CBC. REFER TO AGRATECH'S PLANS WITHIN THIS SUBMITTAL SET FOR MORE INFORMATION
- LOW SLOPE ROOF TO HOUSE THE REQUIRED HVAC AND MECHANICAL EQUIPMENT- 2% MIN SLOPE TOWARD ROOF DRAIN
- PARAPET WALL AROUND PERIMETER OF LOW SLOPE ROOF TO BLOCK VIEW OF HVAC AND MECHANICAL EQUIPMENT FROM ANY PUBLIC RIGHT-OF WAY
- SELF CONTAINED AIR-SOURCE HEAT PUMPS. REFER TO MECHANICAL SCHEDULES FOR DETAILS
- PROPOSED LOCATION OF SOLAR PANELS ARRAYS FOR ON-SITE RENEWABLE ENERGY. LOCATE ARRAYS A MIN OF 5'-0" AWAY FROM ROOF PARAPET. REFER TO GRRG-1 RATED COOL ROOF WITH SOLAR REFLECTANCE OF 0.75 AND SOLAR EMISSIVITY OF 0.85
- LEAN-TO SCREEN WITH SHED ROOF TO HOUSE AND PROTECT VENTS FROM OUTDOOR POLLUTION. SHALL BE THE LENGTH OF THE AGRATECH STRUCTURE



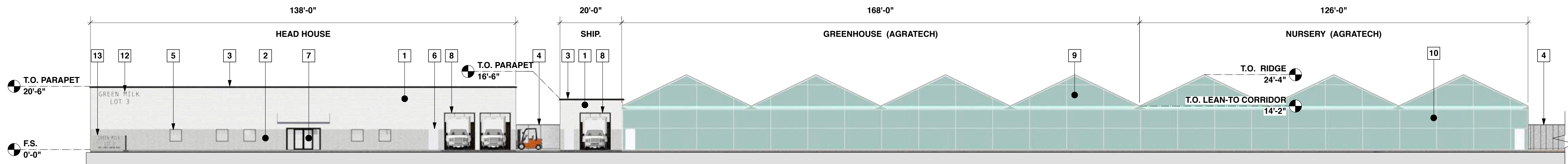
NORTH ELEVATION
Scale: 1/16" = 1'-0"



WEST ELEVATION
Scale: 1/16" = 1'-0"



EAST ELEVATION
Scale: 1/16" = 1'-0"



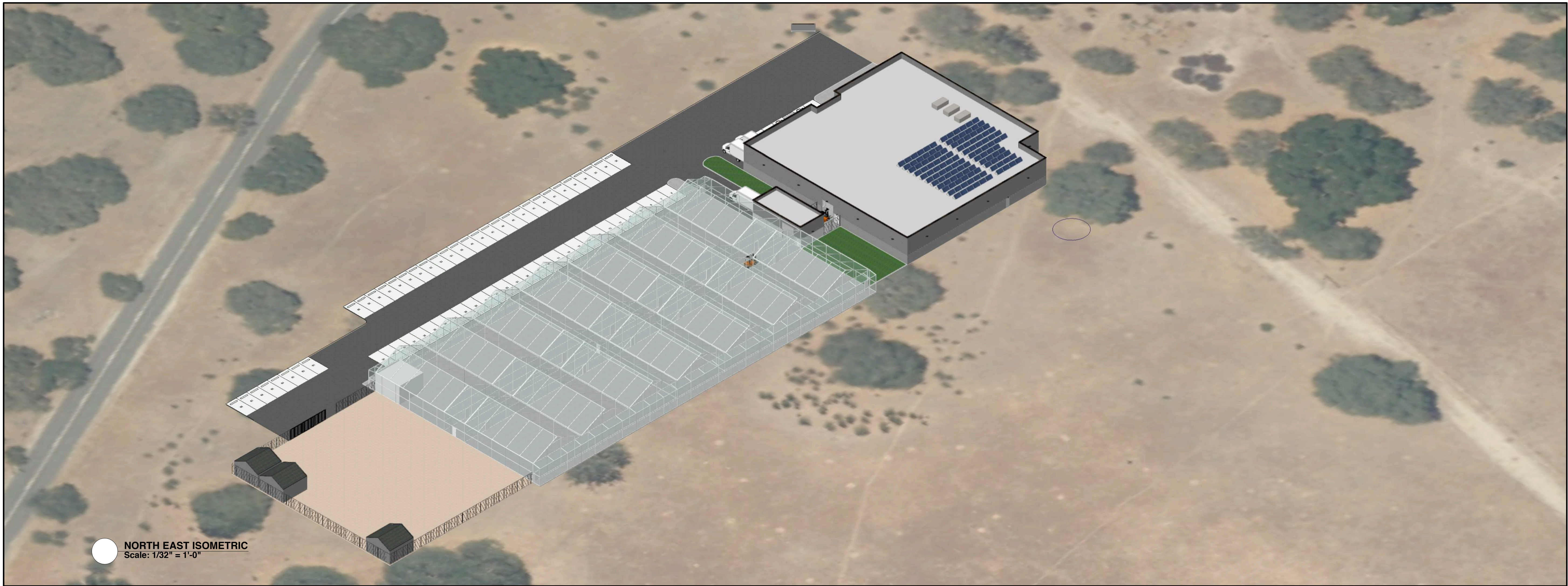
SOUTH ELEVATION
Scale: 1/16" = 1'-0"

ELEVATION GENERAL NOTES:

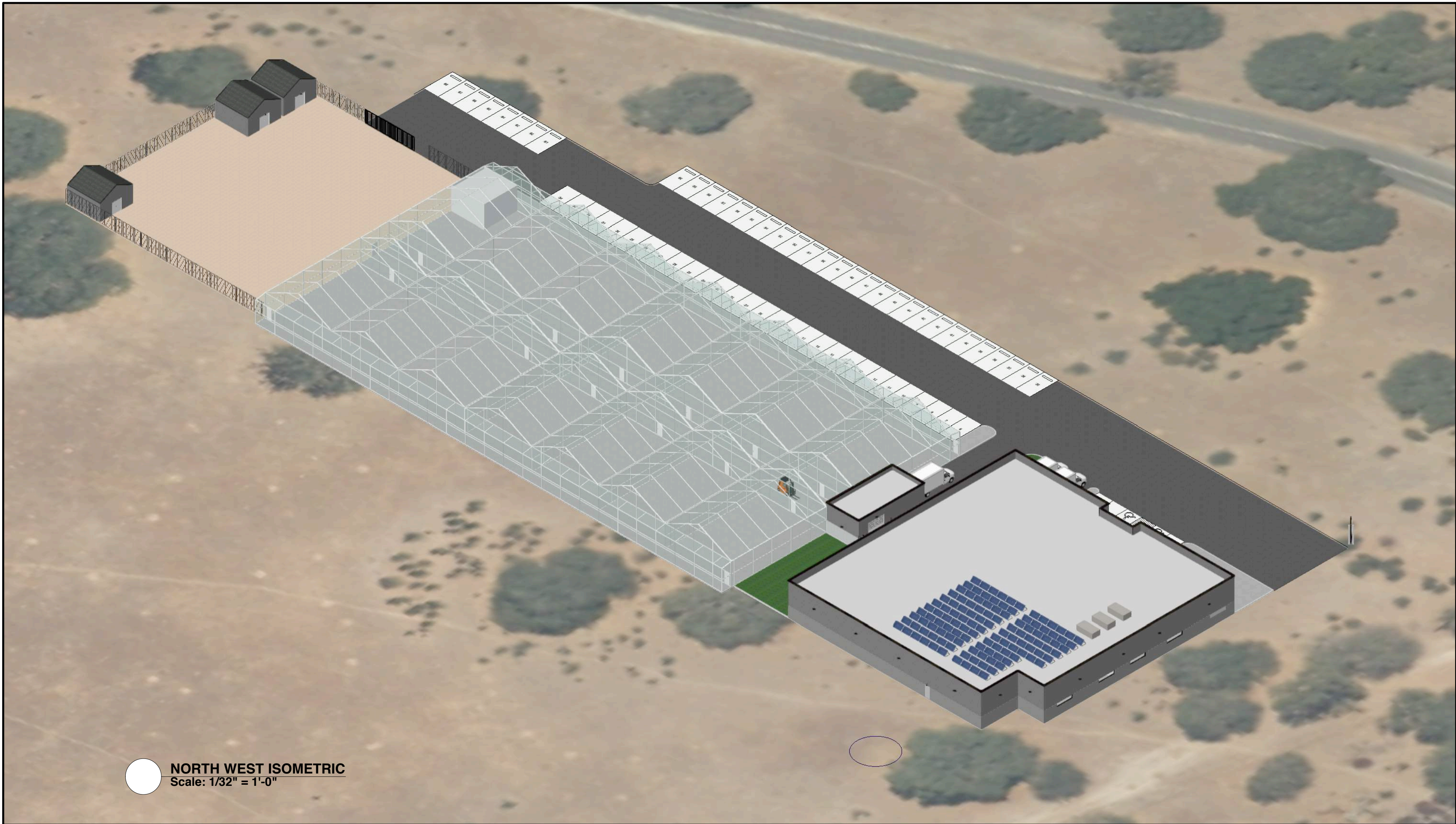
1. EXTERIOR FINISHES AND COLOR SHALL BE VERIFIED WITH THE OWNER PRIOR TO APPLICATION, WHETHER SPECIFIED ON THE PLANS OR NOT.
2. FLASHING: PROVIDE FLASHING AND COUNTER-FLASHING PER C.B.C. 1503.2.1 AT CHIMNEYS, PARAPETS, BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, ROOF TO WALL INTERSECTIONS, AND ANY OTHER VERTICAL TO HORIZONTAL INTERSECTIONS TO PROVIDE A WEATHER AND WATER TIGHT JOB. FLASHING AND COUNTER-FLASHING SHALL BE MIN. 26 GA. GALV. METAL. PAINT ALL GALV. METAL MATERIAL TO MATCH ADJACENT MATERIAL (I.E AT ROOF PENETRATIONS, LOUVERS, ETC.)
3. A WEEP SCREED SHALL BE INSTALLED AT THE BASE OF ALL EXTERIOR PLASTER WALLS TO ALLOW TRAPPED MOISTURE TO ESCAPE. SCREED SHALL BE MIN. 26 GALV. METAL WITH 3.5 IN. MOUNTING FLANGE. SCREED SHALL BE MIN. 4 INCHES ABOVE EARTH AND A MIN. 2 IN. ABOVE PAVING
4. PROVIDE TWO LAYERS OF GRADE D PAPER BEHIND EXTERIOR PLASTER (WHERE IT OCCURS OVER PLYWOOD SHEAR PANELS) AS A WEATHER RESISTIVE BARRIER.
5. PROVIDE TWO LAYERS OF GRADE D BUILDING PAPER BEHIND WOOD SIDING AS A WEATHER RESISTIVE BARRIER.
6. ALL EXTERIOR SIDING SHALL BE MIN. 3/8" UNLESS OVER SHEATHING. ALL SIDING JOINTS SHALL BE CENTERED OVER FRAMING MEMBERS WITH CONTINUOUS WOOD BATTS OR JOINTS SHALL BE WATERPROOFED. NAIL ALL SIDING WITH GALV. NAILS
7. GUTTER AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS U.N.O
8. ADDRESS NUMBERS, MIN. 6" HIGH ON A CONTRASTING BACKGROUND SHALL BE POSTED ON THE BUILDING, PLAINLY VISIBLE FROM THE STREET FRONTING THE BUILDING. NUMBERS SHALL BE LARGER IF REQUIRED BY THE BUILDING DEPARTMENT. REFER TO ELEVATION FOR LOCATION AND SIZE.
9. ALL LIGHTING FIXTURES SHALL BE SHIELDED SO THAT NEITHER THE LAMP OR THE RELATED REFLECTOR INTERIOR SURFACE IS VISIBLE AND SO THAT NO LIGHT SHINES INTO THE BACKYARDS OF ADJACENT PROPERTIES. ALL LIGHTING POLES, FIXTURES, AND HOODS SHALL BE DARK COLORED.

ELEVATION REFERENCE NOTES:

- 1 CORRUGATED METAL PANELS TO BEGIN AT ±80" A.F.S. TO TOP OF PARAPET- INSTALL PER MANUF. SPEC.
- 2 ±80" HIGH CONCRETE, SECURITY WALL BASE AROUND PERIMETER OF HEAD HOUSE
- 3 PARAPET AROUND PERIMETER OF FLAT ROOF OF HEAD HOUSE AND DELIVERY BUILDING
- 4 INDICATES ±8'-0" HIGH CHAIN LINK SECURITY FENCE
- 5 WINDOW PER PLAN
- 6 EMERGENCY EXIT ONLY DOOR PER PLAN
- 7 MAIN ENTRANCE DOOR PER PLAN W/ DECORATIVE AWNING
- 8 OVERHEAD DELIVERY DOOR FOR LOADING / UNLOADING OF SHIPMENTS PER PLAN
- 9 CUSTOMIZED CONTROLLED ENVIRONMENT GREENHOUSE / NURSERY. FACTORY-WELDED ROOF TRUSS SYSTEM MANUFACTURED BY AGRATECH. SHALL MEET SLO COUNTY AND OBC- REFER TO AGRATECH'S PLANS WITHIN THIS SUBMITTAL SET FOR MORE INFORMATION
- 10 LEAN-TO SCREEN WITH SHED ROOF TO HOUSE AND PROTECT VENTS FROM OUTDOOR POLLUTION. SHALL BE THE LENGTH OF THE AGRATECH STRUCTURE (GREENHOUSE AND NURSERY)
- 11 SECURED METAL STORAGE STRUCTURE TO CONTAIN PESTICIDES, FERTILIZER AND COMPOST.
- 12 PROPOSED LOCATION OF BUSINESS SIGNAGE AND ADDRESS. WALL MOUNT TO BUILDING STRUCTURE- REFER TO SHEET C-0.2
- 13 PROPOSED LOCATION OF BUSINESS MONUMENT SIGNAGE AND ADDRESS- REFER TO SHEET C-0.2



NORTH EAST ISOMETRIC
Scale: 1/32" = 1'-0"



NORTH WEST ISOMETRIC
Scale: 1/32" = 1'-0"

crsa architecture 890 Monterey Street - Suite A - San Luis Obispo - CA 93401	
MEMBER ICC INTERNATIONAL CODE COUNCIL	
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LICENSED ARCHITECT NO FOR CONSTRUCTION 30-19 STATE OF CALIFORNIA	
GREENMILK (LOT 3) APN: 080-021-005 2885 LYNCH CANYON ROAD, BRADLEY, CA 93426 SAN LUIS OBISPO COUNTY, CA	
GREENMILK, LLC 3806 CROSS CREEK RD. UNIT C, MALIBU, CA 90265 PH: 310-880-7155	
EXTERIOR ISOMETRIC RENDERINGS LOT 3	
28 MAR 2019 LAND USE PERMIT SUBMITTAL	
01841	
A-10.0 LOT 3 Referral - Page 38 of 39	

