



Negative Declaration & Notice Of Determination

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

ENVIRONMENTAL DETERMINATION NO. ED Number 17-280

DATE: November 20, 2018

PROJECT/ENTITLEMENT: Cambria Pines Development Plan /Coastal Development Permit (DRC2012-00052)

APPLICANT NAME: Peoples' Self-Help Housing **Email:** rigobertog@pshhc.org
ADDRESS: 3533 Empleo St San Luis Obispo, CA 93401
CONTACT PERSON: Rigo Guzman Project Manger **Telephone:** 805-540-2480

PROPOSED USES/INTENT: Request by Peoples' Self Help Housing for a Development Plan/Coastal Development Permit to allow the construction of 33 apartments in seven buildings with a total floor area of 34,850 square feet, a community services building of 2,880 square feet, and related site improvements. The applicant is seeking a modification to the required front and side setbacks as well as a height exception for one building pursuant to the State Density Bonus Law (65915(d)(2)). The proposal would disturb approximately 2.04 acres of a 5.88-acre parcel in the Residential Multi-family land use category.

LOCATION: The project is located on the east side of Schoolhouse Lane across from Santa Lucia Middle School, approximately 0.65-mile north of the Highway 1 / Main Street intersection, in the community of Cambria. The project is in the North Coast planning area.

LEAD AGENCY: County of San Luis Obispo
Dept of Planning & Building
976 Osos Street, Rm. 200
San Luis Obispo, CA 93408-2040
Website: <http://www.sloplanning.org>

STATE CLEARINGHOUSE REVIEW: YES NO

OTHER POTENTIAL PERMITTING AGENCIES:

ADDITIONAL INFORMATION: Additional information pertaining to this Environmental Determination may be obtained by contacting the above Lead Agency address or (805)781-5600.

COUNTY "REQUEST FOR REVIEW" PERIOD ENDS AT4:30 p.m. (2 wks from above DATE)

30-DAY PUBLIC REVIEW PERIOD begins at the time of public notification

Notice of Determination

State Clearinghouse No. _____

This is to advise that the San Luis Obispo County Planning Department Hearing Officer _____ as *Lead Agency*

Responsible Agency approved/denied the above described project on _____, and has made the following determinations regarding the above described project:

The project will not have a significant effect on the environment. A Negative Declaration was prepared for this project pursuant to the provisions of CEQA. Mitigation measures and monitoring were made a condition of approval of the project. A Statement of Overriding Considerations was not adopted for this project. Findings were made pursuant to the provisions of CEQA.

This is to certify that the Negative Declaration with comments and responses and record of project approval is available to the General Public at the 'Lead Agency' address above.

Matt Leal

County of San Luis Obispo

Signature

Name

Date

Public Agency



Initial Study Summary – Environmental Checklist

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

(ver 5.10) Using Form

Project Title & No. Cambria Pines Development Plan /Coastal Development Permit ED17-280 (DRC2012-00052)

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED: The proposed project could have a "Potentially Significant Impact" for at least one of the environmental factors checked below. Please refer to the attached pages for discussion on mitigation measures or project revisions to either reduce these impacts to less than significant levels or require further study.

<input checked="" type="checkbox"/> Aesthetics	<input checked="" type="checkbox"/> Geology and Soils	<input type="checkbox"/> Recreation
<input type="checkbox"/> Agricultural Resources	<input type="checkbox"/> Hazards/Hazardous Materials	<input type="checkbox"/> Transportation/Circulation
<input type="checkbox"/> Air Quality	<input type="checkbox"/> Noise	<input type="checkbox"/> Wastewater
<input checked="" type="checkbox"/> Biological Resources	<input type="checkbox"/> Population/Housing	<input checked="" type="checkbox"/> Water /Hydrology
<input type="checkbox"/> Cultural Resources	<input checked="" type="checkbox"/> Public Services/Utilities	<input type="checkbox"/> Land Use

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation, the Environmental Coordinator finds that:

- The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Matt Leal

11/19/2018
Date

Prepared by (Print)

Signature

Steve McMasters

Ellen Carroll,
Environmental Coordinator

Reviewed by (Print)

Signature

(for)

11/19/2018
Date



Project Environmental Analysis

The County's environmental review process incorporates all of the requirements for completing the Initial Study as required by the California Environmental Quality Act (CEQA) and the CEQA Guidelines. The Initial Study includes staff's on-site inspection of the project site and surroundings and a detailed review of the information in the file for the project. In addition, available background information is reviewed for each project. Relevant information regarding soil types and characteristics, geologic information, significant vegetation and/or wildlife resources, water availability, wastewater disposal services, existing land uses and surrounding land use categories and other information relevant to the environmental review process are evaluated for each project. Exhibit A includes the references used, as well as the agencies or groups that were contacted as a part of the Initial Study. The County Planning Department uses the checklist to summarize the results of the research accomplished during the initial environmental review of the project.

Persons, agencies or organizations interested in obtaining more information regarding the environmental review process for a project should contact the County of San Luis Obispo Planning Department, 976 Osos Street, Rm. 200, San Luis Obispo, CA, 93408-2040 or call (805) 781-5600.

A. PROJECT

DESCRIPTION: Request by Peoples' Self Help Housing for a Development Plan/Coastal Development Permit to allow the construction of 33 apartments in seven buildings with a total floor area of 34,850 square feet, a community services building of 2,880 square feet, and related site improvements. The applicant is seeking a modification to the required front and side setbacks as well as a height exception for one building pursuant to the State Density Bonus Law (65915(d)(2)). The proposal would disturb approximately 2.04 acres of a 5.88-acre parcel in the Residential Multi-family land use category. The project is located on the east side of Schoolhouse Lane across from Santa Lucia Middle School, approximately 0.65-mile north of the Highway 1 / Main Street intersection, in the community of Cambria. The project is in the North Coast planning area.

COUNTY FILE NO.: DRC2012-00052

PROJECT MANAGER: Matt Leal

ASSESSOR PARCEL NUMBER(S): 013-151-034

Latitude: 35 degrees 33' 36" N Longitude: 121 degrees 4' 41.6" W

SUPERVISORIAL DISTRICT # 2

B. EXISTING SETTING

PLAN AREA: North Coast

SUB: None

COMM: Cambria

LAND USE CATEGORY: Residential Multi-Family

EXISTING USES: Undeveloped

COMB. DESIGNATION: Archaeologically Sensitive , Geologic Study, Local Coastal Plan/Program, Terrestrial Habitat

PARCEL SIZE: 5.88 acres

TOPOGRAPHY: Steeply sloping to gently rolling

VEGETATION: Scattered Oaks, Monterey pines

SURROUNDING LAND USE CATEGORIES AND USES:

<i>North:</i> Residential Suburban; single-family residence(s)	<i>East:</i> Public Facilities; Santa Lucia Middle School
<i>South:</i> Residential Suburban; multi-family residences	<i>West:</i> Recreation; Cambria Pines Lodge and open space

C. ENVIRONMENTAL ANALYSIS

During the Initial Study process, at least one issue was identified as having a potentially significant environmental effects (see following Initial Study). Those potentially significant items associated with the proposed uses can be minimized to less than significant levels.



COUNTY OF SAN LUIS OBISPO INITIAL STUDY CHECKLIST

1. AESTHETICS	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
<i>Will the project:</i>				
a) <i>Create an aesthetically incompatible site open to public view?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Introduce a use within a scenic view open to public view?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Change the visual character of an area?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Create glare or night lighting, which may affect surrounding areas?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Impact unique geological or physical features?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Other: _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Aesthetics

Setting.

Project is located on the eastern edge of the East Lodge Hill neighborhood. The subject property is currently undeveloped. Surrounding uses consist of the Santa Lucia Middle School immediately to the east, a single-family residence to the north, apartment buildings and the Cambria Nursery to the south, and dedicated open space to the west. The site gently slopes up from the southeast corner of the parcel to the northwest corner for about 150 feet then gently slopes back down. The slopes are steeper on the northern and western edges of the usable site area.

The site has very little to no visibility from Burton Drive and Main Street, and is not visible from Highway 1. The project site is accessed from Schoolhouse Lane. The project would be adjacent to existing apartment buildings and educational facilities. The proposed development is set back from the street unlike the existing Schoolhouse Lane Apartments, which are set back just a couple feet from the sidewalk. Setting the majority of the buildings back will provide a better visual transition on Schoolhouse Lane from multi-family to residential suburban to the north.

The natural vegetation patterns of the area are predominately grasslands, oak and pine woodland, with shrubs and herbaceous plant life. Typical of much of the region, the undeveloped portions of the proposed project site are covered with the natural vegetation patterns of the area. The proposed



development is designed to minimize tree removal. The proposed landscaping plan would use native trees and plants to partially screen the project from public roads and help assimilate the proposed apartment buildings into the existing pine forest setting.

Regulatory Setting

Policy VR2.2 (Site Development and Landscaping Sensitivity) of the Conservation and Open Space Element encourages new development to blend with existing natural landscapes:

- Policy VR2.2 Site Development and Landscaping Sensitivity. Through the review of proposed development, encourage designs that emphasize native vegetation and conform grading to existing natural forms. Encourage abundant native and/or drought-tolerant landscaping that screens buildings and parking lots and blends development with the natural landscape.

Visual and Scenic Resources Coastal Plan Policies 1 and 2 state as follows:

- Policy 1: Protection of Visual and Scenic Resources. Unique and attractive features of the landscape, including but not limited to unusual landforms, scenic vistas and sensitive habitats are to be preserved protected, and in visually degraded areas restored where feasible.
- Policy 2: Site Selection for New Development. Permitted development shall be sited so as to protect views to and along the ocean and scenic coastal areas. Wherever possible, site selection for new development is to emphasize locations not visible from major public view corridors. In particular, new development should utilize slope created “pockets” to shield development and minimize visual intrusion.

Impact. The project will not be visible from any major public roadway or silhouette against any ridgelines as viewed from public roadways. The project is compatible with the surrounding uses. The project is located in a forested area with low levels of nighttime ambient lightings. New exterior lighting associated with the project could result in visual impacts related to night lighting.

Mitigation/Conclusion. In accordance with existing ordinance requirements, the applicant will be required to submit an exterior lighting plan for review and approval. All exterior light fixtures shall be shielded and directed downward. Implementation of these measures will reduce the potential visual impacts to insignificant levels.

2. AGRICULTURAL RESOURCES

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Convert prime agricultural land, per NRCS soil classification, to non-agricultural use?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) <i>Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance to non-agricultural use?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) <i>Impair agricultural use of other property or result in conversion to other uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Conflict with existing zoning for agricultural use, or Williamson Act program?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

2. AGRICULTURAL RESOURCES
Will the project:

Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

e) *Other:* _____

Agricultural Resources

Setting. This subject property is located within the Residential Multi Family land use category. The property does not support agricultural uses and is not under a Williamson Act contract.

The property is forested with Monterey pine and Coast live oak trees as well as an understory of grasses and forbs. The topography is gently to steeply sloping. Soil types on the site consist of San Simeon sandy loam (2 - 9% slope) and San Simeon sandy loam (30 - 50% slope). The proposed development is situated on the gently sloping portion of the site. This gently sloping San Simeon sandy loam soil is considered very poorly drained. The soil has moderate erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: shallow depth to bedrock, slow percolation. The soil is considered Class IV without irrigation and Class IV when irrigated.

Project Elements. The following area-specific elements relate to the property's importance for agricultural production:

Land Use Category: Residential Multi- Family

Historic/Existing Commercial Crops: None

State Classification: Not prime farmland

In Agricultural Preserve? No

Under Williamson Act contract? No

Impact. The project is located in a predominantly non-agricultural area with no agricultural activities occurring on the property or immediate vicinity. No significant impacts to agricultural resources are anticipated.

Mitigation/Conclusion. No mitigation measures are necessary.

3. AIR QUALITY

Will the project:

Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
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- a) *Violate any state or federal ambient air quality standard, or exceed air quality emission thresholds as established by County Air Pollution Control District?*
- b) *Expose any sensitive receptor to substantial air pollutant concentrations?*
- c) *Create or subject individuals to objectionable odors?*
- d) *Be inconsistent with the District's Clean Air Plan?*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



3. AIR QUALITY

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
e) <i>Result in a cumulatively considerable net increase of any criteria pollutant either considered in non-attainment under applicable state or federal ambient air quality standards that are due to increased energy use or traffic generation, or intensified land use change?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
GREENHOUSE GASES				
f) <i>Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Air Quality

Setting. The Air Pollution Control District (APCD) has developed and updated their [CEQA Air Quality Handbook \(2012\)](#) to evaluate project specific impacts and help determine if air quality mitigation measures are needed, or if potentially significant impacts could result. To evaluate long-term emissions, cumulative effects, and establish countywide programs to reach acceptable air quality levels, a Clean Air Plan has been adopted (prepared by APCD). The project proposes to disturb soils that have been given a wind erodibility rating of 3 which is considered “moderately low”. The proposed project is located within 1,000 feet of the Santa Lucia Middle School and residences, which are sensitive receptors.

As a commenting agency in the California Environmental Quality Act (CEQA) review process for a project, the APCD assesses air pollution impacts from both the construction and operational phases of a project, with separate significance thresholds for each. The proposed project was referred to the San Luis Obispo APCD for review and comment.

Greenhouse Gas (GHG) Emissions are said to result in an increase in the earth’s average surface temperature. This is commonly referred to as global warming. The rise in global temperature is associated with long-term changes in precipitation, temperature, wind patterns, and other elements of the earth’s climate system. This is also known as climate change. These changes are now thought to be broadly attributed to GHG emissions, particularly those emissions that result from the human production and use of fossil fuels.

The passage of AB32, the California Global Warming Solutions Act (2006), recognized the need to reduce GHG emissions and set the greenhouse gas emissions reduction goal for the State of California into law. The law required that by 2020, State emissions must be reduced to 1990 levels. This is to be accomplished by reducing greenhouse gas emissions from significant sources via regulation, market mechanisms, and other actions. Subsequent legislation (e.g., SB97-Greenhouse Gas Emissions bill) directed the California Air Resources Board (CARB) to develop statewide thresholds.

In March 2012, the San Luis Obispo County APCD approved thresholds for GHG emission impacts,

and these thresholds have been incorporated into the APCD's CEQA Air Quality Handbook. APCD determined that a tiered process for residential / commercial land use projects was the most appropriate and effective approach for assessing the GHG emission impacts. The tiered approach includes three methods, any of which can be used for any given project:

1. Qualitative GHG Reduction Strategies (e.g. Climate Action Plans): A qualitative threshold that is consistent with AB 32 Scoping Plan measures and goals; or,
2. Bright-Line Threshold: Numerical value to determine the significance of a project's annual GHG emissions; or,
3. Efficiency-Based Threshold: Assesses the GHG impacts of a project on an emissions per capita basis.

For most projects the Bright-Line Threshold of 1,150 Metric Tons CO₂/year (MT CO₂e/yr) will be the most applicable threshold. In addition to the residential/commercial threshold options proposed above, a bright-line numerical value threshold of 10,000 MT CO₂e/yr was adopted for stationary source (industrial) projects.

It should be noted that projects that generate less than the above mentioned thresholds will also participate in emission reductions because air emissions, including GHGs, are under the purview of the California Air Resources Board (or other regulatory agencies) and will be "regulated" either by CARB, the Federal Government, or other entities. For example, new vehicles will be subject to increased fuel economy standards and emission reductions, large and small appliances will be subject to more strict emissions standards, and energy delivered to consumers will increasingly come from renewable sources. Other programs that are intended to reduce the overall GHG emissions include Low Carbon Fuel Standards, Renewable Portfolio standards and the Clean Car standards. As a result, even the emissions that result from projects that produce fewer emissions than the threshold will be subject to emission reductions.

Under CEQA, an individual project's GHG emissions will generally not result in direct significant impacts. This is because the climate change issue is global in nature. However, an individual project could be found to contribute to a potentially significant cumulative impact. Projects that have GHG emissions above the noted thresholds may be considered cumulatively considerable and require mitigation.

Impact. As proposed, the project will result in the disturbance of approximately 89,000 square feet. This will result in the creation of construction dust, as well as short- and long-term vehicle emissions. The project will be moving less than 1,200 cubic yards/day of material and will disturb less than four acres of area, and therefore will be below the general thresholds triggering construction-related mitigation. The project is in close proximity to sensitive receptors that might otherwise result in nuisance complaints and be subject to limited dust and/or emission control measures during construction. The letter provided by APCD (dated May 23, 2018) concluded the project would have a less than significant impact related to air quality with recommended mitigation measures specifically addressing sensitive receptors.

From an operational standpoint, based on Table 1-1 of the CEQA Air Quality Handbook (2012), the project will not exceed operational thresholds triggering mitigation. The project is consistent with the general level of development anticipated and projected in the Clean Air Plan. No significant air quality impacts are expected to occur.

This project is a 33 unit apartment complex, community center, and related site improvements. Using the GHG threshold information described in the Setting section, the project is expected to generate less than the Bright-Line Threshold of 1,150 metric tons of GHG emissions. Therefore, the project's potential direct and cumulative GHG emissions are found to be less significant and less than a cumulatively considerable contribution to GHG emissions. Section 15064(h)(2) of the CEQA Guidelines provide guidance on how to evaluate cumulative impacts. If it is shown that an incremental contribution to a cumulative impact, such as global climate change, is not 'cumulatively considerable', no



mitigation is required. Because this project's emissions fall under the threshold, no mitigation is required.

Construction Phase Impacts. Based on the construction phase emission estimates using Table 2-2 in the APCD's 2012 CEQA Handbook, the construction phase impacts will likely be less than the APCD's significance threshold values identified in Table 2-1 of the CEQA Air Quality Handbook (available at the APCD web site: www.slocleanair.org). Therefore, with the exception of the requirements below, the APCD is not requiring other construction phase mitigation measures for this project.

Operational Phase Impacts. Based on the operational phase emission estimates using Table 1-1 in the APCD's 2012 CEQA Handbook, the operational phase would likely be less than the APCD's significance threshold values identified in Table 3-2 of the CEQA Air Quality Handbook. Therefore, with the exception of the requirements below, the APCD is not requiring other operational phase mitigation measures for this project.

Mitigation/Conclusion.

The APCD submitted a list of standard mitigations which specifically address sensitive receptors for the project's construction and operation phases. The standard mitigation list is in Exhibit B (Mitigation Summary Table). Implementation of these measures will reduce the project's air quality impacts to a less than significant level.

4. BIOLOGICAL RESOURCES

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in a loss of unique or special status species* or their habitats?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Reduce the extent, diversity or quality of native or other important vegetation?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Impact wetland or riparian habitat?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) <i>Interfere with the movement of resident or migratory fish or wildlife species, or factors, which could hinder the normal activities of wildlife?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Conflict with any regional plans or policies to protect sensitive species, or regulations of the California Department of Fish & Wildlife or U.S. Fish & Wildlife Service?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

* Species – as defined in Section 15380 of the CEQA Guidelines, which includes all plant and wildlife species that fall under the category of rare, threatened or endangered, as described in this section.

Biological Resources

Setting. The project site is located adjacent to one of the few remaining intact sections of Monterey pine forest on the western aspect of East Lodge Hill. The project site does not contain permanent standing water. Santa Rosa Creek is located 0.25-mile to the northwest of the project site. After field inspection and review of the soils survey, there is no evidence of surface moisture or serpentine soils

on the subject property. The subject property is not within a Habitat Conservation Plan area.

This section is based on the project's biological assessment prepared by Althouse and Meade in January 2013. Based on staff's September 2018 site visit, staff has determined the biological assessment adequately describes current site conditions and recommends appropriate mitigation measures to reduce the project's biological resource impacts to a less than significant level. Nevertheless, as a verification measure, the project will be required to conduct preconstruction surveys for special status plant and animal species and implement avoidance measures as necessary prior to all ground disturbing activities. This verification measure is included in Exhibit B (Mitigation Summary Table) and includes specific measures (e.g. establishing a buffer zone around identified resource, etc.) to avoid impacts of protected species.

Special Status Wildlife Species

A search of the California Natural Diversity Database (CNDDDB) determined that a large number of special status wildlife species are known to occur within the project's general vicinity. The project's biological assessment determined that the following special status species have the potential to occur on the subject property itself:

- **Cooper's hawk (*Accipiter cooperi*) – Special Animal.** This species is generally found in forested areas especially near edges of rivers. They occur in hardwood forests but will also use conifers. They are mostly found in mature forests, but can also occur in urban and suburban areas where there are tall trees for nesting. These hawks have evolved to hunt in forests so appropriate habitat exist in the Monterey pine stand on and near the site. The subject property contains suitable habitat for this species; however, the biological assessment did not find evidence of this species on the property.
- **Sharp shinned hawk (*Accipiter striatus*) – California Species of Special Concern.** This species inhabits coniferous forests of mixed woodlands, avoiding open country. During winter, they are often found in woodlots, towns, and parks. They are rare visitors along the Central Coast but have been observed in the Cambria area and could potentially use the site. The subject property contains suitable habitat for this species; however, the biological assessment did not find evidence of this species on the property.
- **Pallid Bat (*Antrozous pallidus*) – California Species of Special Concern.** This species nests and breeds between spring and summer. The preferred habitat are rock crevices, caves, tree hollows, mines, and bridges. The subject property contains suitable habitat for this species; however, the biological assessment did not find evidence of this species on the property.
- **Oak Titmouse (*Baeolophus inornatus*) – Special Animal.** This species is an oak woodland obligate, nesting in cavities in oak trees. It is a common species in oak woodlands on the central coast, but is tracked by the California Department of Fish and Wildlife (CDFW) due to state-wide losses of oak woodland habitat. There are no reports in the CNDDDB of oak titmouse nesting in the Cambria area, however suitable habitat is present in coast live oak trees in the Study Area.
- **Olive-sided flycatcher (*Contopus cooperi*) – California Species of Special Concern.** This species is an oak woodland obligate, nesting in cavities in oak trees. It is a common species in oak woodlands on the central coast, but is tracked by the CDFW due to state-wide losses of oak woodland habitat. There are no reports in the CNDDDB of oak titmouse nesting in the Cambria area, however suitable habitat is present in coast live oak trees in the Study Area.



- **Western Red Bat (*Lasiurus blossevillii*) – California Species of Special Concern.** This is a solitary species that roosts in the foliage of large shrubs and trees in habitats bordering forests, rivers, cultivated fields, and urban areas. Suitable roosting habitat is present for western red bat in the study area. There are no reports in the CNDDDB of western red bat Cambria area.
- **Hoary Bat (*Lasiurus cinereus*) – California Species of Special Concern.** This species can be found throughout California and are highly associated with cottonwood riparian habitat, but can also be found in other forested areas. Hoary bats emerge in the late evening to feed on moths. Suitable roosting and foraging habitat is present in the study area. There are no reports in the CNDDDB of hoary bat in the Cambria area.
- **Fringed Myotis (*Myotis thysanodes*) – Special Animal in California.** This species can be found throughout much of the western U.S., south from British Columbia to California and East to Montana, Colorado, and parts of Texas. Fringed Myotis prefer to roost in caves, mines, building and other protected locations among oak, pinon, and juniper forests where they feed on a diet of moths and other insects. The closest reported occurrence is approximately 3 miles northwest of the study area, southwest of San Simeon Beach State Park, where one adult male was captured and released in May 2000 (CNDDDB 46). Suitable roosts may be present in coast live oaks, pines, and a tall snag located in the center of the study area which has exfoliated bark and several cavities.
- **Long-legged myotis (*Myotis volans*) – Special Animal in California.** This species occurs in woodland and forest habitats, usually in mountainous regions. Nursery colonies often roost under tree bark or in hollows, crevices, or in buildings. The closest reported occurrences is from approximately 10 miles northwest of the study area, at Hearst Castle, where individuals were captured and released in May 2000 (CNDDDB 22). Suitable trees are present in the study area for roosting long-legged myotis.
- **Yuma Myotis (*Myotis yumanensis*) – Special Animal.** The Yuma myotis is a small bat widely distributed throughout western North America. It is the species of bat most commonly associated with man-made structures. Crevices are preferred roost areas including those found in cliffs, buildings and bridges, and occasionally roosting in hallows and crevices in trees and snags. The closest reported occurrence is approximately 3 miles northwest of the study area, southwest of San Simeon Beach State Park, where three adult males were captured and released in May 2000 (CNDDDB 40). Yuma myotis could occur in the trees and snag in the study area.
- **Monterey Dusky-footed Woodrat (*Neotoma macrotis luciana*) – California Species of Special Concern.** This species known only from the Santa Lucia Mountains in southeastern Monterey and northwestern San Luis Obispo Counties. The closest reported occurrence is from approximately 17 miles northeast of the study area, at Camp Roberts Army National Guard Training Site (CNDDDB 1). Moderately suitable habitat is present in the riparian habitat in the vicinity of the study area, however, no woodrat nests were detected during the biological surveys.
- **Nuttall’s Woodpecker (*Picoides nuttallii*) – Special Animal.** Nuttall’s woodpeckers remain fairly common residents in oak woodland habitats throughout Santa Barbara and San Luis Obispo Counties. There are no reports in the CNDDDB of Nuttall’s woodpecker nesting in the Cambria area, however a Nuttall’s woodpecker was heard in the vicinity of the study area during surveys in December 2012. Nuttall’s woodpecker could nest in coast live oaks within the study area.

Special Status Plant Species

A search of the California Natural Diversity Database (CNDDDB) determined that a large number of special status plant species are known to occur within the project's general vicinity. The project's biological report and survey identified the following special status plants with suitable habitat on the subject property:

- **Hickman's Onion (*Allium hickmanii*)** – Hickman's Onion is a CRPR 1B.2 species that is endemic to Monterey and San Luis Obispo Counties. It occurs primarily in mesic grassland settings, although it can be associated with coastal scrub, chaparral, and closed-cone coniferous forest. The closest reported occurrence to the study area is approximately 11.2 miles northwest along Adobe Creek (CNDDDB 25). The annual grassland habitat in the study area is moderately suitable for Hickman's onion. A seasonally timed floristic survey was conducted in July 2013 and detected the absence of this shrub species.
- **San Simeon baccharis (*Baccharis plummerae ssp. glabrata*)** – San Simeon baccharis is a CRPR 1B.2 subspecies known from only three occurrences in coastal scrub habitats in Monterey and San Luis Obispo counties. The closest reported occurrence to the study area is 4.8 miles northeast, along San Simeon Creek (CNDDDB 2). The annual grassland habitat in the study area is suitable for San Simeon baccharis. A seasonally timed floristic survey was conducted in July 2013 and detected the absence of this shrub species.
- **San Simeon baccharis (*Baccharis plummerae ssp. glabrata*)** – San Simeon baccharis is a CRPR 1B.2 subspecies known from only three occurrences in coastal scrub habitats in Monterey and San Luis Obispo counties. The closest reported occurrence to the study area is 4.8 miles northeast, along San Simeon Creek (CNDDDB 2). The annual grassland habitat in the study area is suitable for San Simeon baccharis. A seasonally timed floristic survey was conducted in July 2013 and detected the absence of this shrub species.
- **Cambria morning glory (*Calystegia subacaulis ssp. Episcopalis*)** – Cambria morning glory is a CRPR 4.2 subspecies known from San Luis Obispo and Santa Barbara Counties. It occurs in coastal grassland and open scrub and woodland habitats. Its rarity status relates to the limited distribution of this subspecies, although it may be found commonly within its range and preferred habitat type. Cambria morning-glory was detected in the study area. The Biological Resources Map (Figure 1 Biological Resources Map) provides rare plant localities within the study area.
- **San Luis Obispo Owl's-clover (*Castilleja densiflora ssp. obispoensis*)** – San Luis Obispo Owl's-clover is a CRPR 1B.2 subspecies endemic to San Luis Obispo County. It is an annual wildflower that occurs in coastal grasslands in sandy or clay soils. The closest reported occurrence is from 1.2 miles south of the study area appropriate habitat is present in the project areas for this rare subspecies. A seasonally timed floristic survey was conducted in July 2013 and detected the absence of this shrub species.
- **Umbrella larkspur (*Delphinium umbraculorum*)** – Umbrella larkspur is a CRPR 1B.3 species known from moist oak forest habitat in Monterey, San Luis Obispo, Santa Barbara, and Ventura Counties. Umbrella larkspur is reported in the Consortium of California Herbaria approximately 11 miles northeast of the study area. Appropriate habitat is present in the study area. A seasonally timed floristic survey was conducted in July 2013 and detected the absence of this species.
- **Cone Peak Bedstraw (*Galium californicum ssp. luciense*)** – Cone Peak Bedstraw is a CRPR 1B.3 subspecies and considered endangered in California and elsewhere. It is endemic to California and found in the northern Santa Lucia Range of Monterey and San Luis Obispo



Counties. The habitat includes broadleaved upland forests, chaparral, cismontane woodland, and lower montane coniferous forests. The nearest recorded occurrence is from 1940 with non-specific location information (CNDDDB 11). The location is described as being in the vicinity of Cambria. Suitable habitat is present in the study area. A seasonally timed floristic survey was conducted in July 2013 and detected the absence of this species.

- **Monterey pine (*Pinus radiata*) – Rare and Endangered in California.** In 1994, California Native Plant Society first considered the Monterey pine to be Rare and Endangered because this forest type is naturally confined to three small areas on the Central California Coast and two small islands. Throughout its natural range, Monterey pine forest is subject to increased threats from development, clearing, fragmentation, feral animals and disease. Monterey Pine is a CRPR 1B.1 species known from closed-cone coniferous forests and cismontane woodland in Monterey, Santa Cruz, San Luis Obispo, and San Mateo Counties. According to CNPS, only one-half of the species' historical extent remains undeveloped on the Monterey Peninsula, and Monterey pines are threatened by development, genetic contamination, pine pitch canker disease, and forest fragmentation. The CNDDDB maps Monterey Pine in Cambria, from San Simeon Creek south to Cambria Air Force Station and Estrada Ridge, and includes the study area (CNDDDB1). Monterey pine occurs in the study area.

Sensitive Habitat

California Annual Grassland occurs over 1.2 acres of the study areas. This open annual grassland occurs at the eastern portion of the study area, atop the hill, transitioning to mixed scrub and Monterey pine forest as the hill slopes north. Cambria morning glory occurs in grasslands in the study area and is listed as a CRPR 4.2 rare species.

Monterey pine forest is a listed sensitive natural community type that occurs over approximately 1.4 on the east and north facing slopes of the west half of the study area. Coast live oaks are common within the Monterey pine forest in the study area.

Poison oak/blackberry scrub habitat occurs over 0.7 acres at the northern portion of the study areas as the hill slopes down toward the north.

Anthropogenic/ruderal habitat occurs along the property's eastern boundary where it abuts to the middle school. This habitat consists of a narrow paved access road leading to a residence to the north. Ruderal habitat occurs between the eastern fence and the narrow paved access road and is characterized by non-native ice plan.

Regulatory Setting

The subject property is located within a mapped environmentally sensitive habitat area (ESHA) due to the presence of the Monterey pine forest. Coastal Zone Land Use Ordinance (CZLUO) Section 23.07.170 contains development standards for projects within an identified ESHA. These standards require proposed development projects to avoid impacts on ESHA to the greatest extent feasible. In those cases where development within the ESHA cannot be avoided, the development shall be modified as necessary so that it is the least environmentally damaging feasible alternative. Additionally, projects located within or adjacent to ESHAs that have been damaged shall be conditioned to require the restoration, monitoring, and long-term protection of such habitat areas through a restoration plan and an accompanying deed restriction or conservation easement.

In addition to the CZLUO standards discussed above, the North Coast Area Plan contains standards intended to minimize development impacts on the Monterey pine forest. These standards require projects to establish a "project limit area" and to implement special construction practices in order to avoid impacts to pine and oak trees. Additionally, removed pine trees shall be replaced at a 4:1 ratio and removed oak trees shall be replaced at a 6:1 ratio. Trees that are impacted (but not removed) by

development shall be replaced at half of the ratios specified above: 2:1 for pines and 3:1 for oaks. Replacement vegetation shall be planted in conformance with the criteria set forth in the North Coast Area Plan which includes but is not limited to a replanting plan, specifications for container sizes and species (*Pinus radiata* var. *marcocarpa*), and maintenance specifications.

Impact.

Special status plants

Based on preliminary site plans, nearly all 1.2 acres of California annual grassland mapped within the study area will be affected by the proposed project. The loss of California annual grassland habitat usually does not require mitigation except where it affects special status species or important wildlife populations. Cambria morning glory, a special status plant species, occurs within this habitat type. Cambria morning glory was detected during preliminary botanical surveys of the study area. Three locations are mapped with estimated individual counts and each site of 8, 25 and 50 to 70 plants. All occurrences lie within the proposed project site.

Based on the preliminary grading plans, the project would remove at least three (3) Monterey pines, and several others in close proximity would be impacted by construction activities. Monterey pines within the fuel management zone would also be impacted.

Table 1: Removed Trees

Tree Species	Number of Removed Trees
Monterey pine	5
Coast live oak	3
Total	8

Based on preliminary site plans, approximately 0.4 acres of Poison-oak/blackberry scrub habitat would be affected by the proposed project. Scrub habitat in the study area provides habitat for several mammals and songbirds. Poison-oak/blackberry scrub is not a sensitive habitat type and usually does not require mitigation.

The proposed project would affect anthropogenic and ruderal habitat, existing disturbed areas. Conversion of existing anthropogenic habitats to other anthropogenic uses does not typically require mitigation.

Special status birds

Vegetation removal and construction activities associated with the proposed structures could result in adverse impacts to nesting birds if conducted during nesting season (March 15 through August 15). Annual mowing and clearing of vegetation for fire safety could also result in adverse impacts to nesting birds. The potential for the project to adversely affect nesting birds can be reduced with pre-construction nesting survey.

Construction activities could result in nest abandonment or loss of special status bird species if appropriate pre-construction surveys, setbacks requirements, and management practices are not implemented.

Bats

The study area does not contain structures, but suitable trees and snags with cavities are present habitats for bats. Maternal bat colonies are protected by the California Department of Fish and Wildlife. Significant impacts to special status bats and maternal bat colonies can be avoided.

Monterey dusky-footed woodrat

Potential habitat for Monterey dusky-footed woodrat is present in the study area. Grading and

construction of structures associated with the proposed project could result in adverse impacts to Monterey dusky-footed woodrat if the species is found to occur there.

Mitigation/Conclusion.

Implementation of the mitigation measures identified in Exhibit B (Mitigation Summary Table) and summarized below will reduce the project’s biological resource impacts to a less than significant level. Additionally, to verify the results of the January 2013 biological assessment, the project will be required to conduct a pre-construction survey and to implement avoidance measures if any additional resources are identified.

Special status plants

A mitigation and monitoring plan shall be prepared that provides for the retention of a viable population of Cambria morning glory in suitable open space on the property. Implementation of the plan will reduce impacts to Cambria morning glory to a less than significant level as recommended in the biological report.

The proposed project would result in the removal of five Monterey pines and three Coast live oak tree. Based on the required replacement ratios of 4:1 for pines and 6:1 for oaks, the project would be required to plant 20 new pines and 18 new oaks (see Table 2: Tree Mitigation). The proposed project would also be required to incorporate standard tree protection measures outlined in the North Coast Area Plan and as recommended in the biological report.

Table 2: Tree Mitigation

Tree Rating	Removed	Mitigation Ratio	Required Replacement Trees
Monterey pine	5	4:1	20
Coast live oak	3	6:1	18
Total	8		38

Source: North Coast Area Plan

Special status birds

To mitigate potential impacts to migratory birds, if work occurs between March 15 and August 14, the project will be required to conduct a pre-construction nesting bird survey one week prior to ground disturbance or tree pruning activities.

Bats

Roosting bats and/or maternal bat colonies may be present in trees with appropriate cavities of loose bark on trees in the study area. To mitigate this impact, pre-construction surveys are required prior to the removal of trees over 20 inches in diameter.

Monterey dusky-footed woodrat

Potential habitat for Monterey dusky-footed woodrat is present on site, however, no woodrat nests were identified within the study area. Pre-construction surveys and construction monitoring will mitigate potential impacts to this species to a less than significant level.

5. CULTURAL RESOURCES

Will the project:

Potentially Significant Impact can & will be mitigated Insignificant Impact Not Applicable

a) *Disturb archaeological resources?*

5. CULTURAL RESOURCES

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
b) <i>Disturb historical resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Disturb paleontological resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Cause a substantial adverse change to a Tribal Cultural Resource?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other: _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Cultural Resources

Setting. The project is located in an area historically occupied by the Salinan/Chumash. No historic structures are present and no paleontological resources are known to exist in the area.

In order to meet AB52 Cultural Resources requirements, outreach to four Native American tribes groups had been conducted (Northern Salinan, Xolon Salinan, Yak Tityu Tityu Northern Chumash, and the Northern Chumash Tribal Council (NCTC)). Comments were received from NCTC on (May 15, 2018) and language will be included to suspend work if any cultural resources are discovered during construction.

Impact. The project is not located in an area that would be considered culturally sensitive due to lack of physical features typically associated with prehistoric occupation. A Phase I (surface) survey (Cultural Resources Management Service; December 17, 2012) was conducted on the site. Prehistoric and historic archeological materials were entirely absent. No evidence of cultural materials was noted on the property. Per AB52, tribal consultation was performed and no resources were identified. Impacts to historical or paleontological resources are therefore not expected.

Mitigation/Conclusion. No significant cultural resource impacts are expected to occur, and no mitigation measures are necessary.

6. GEOLOGY AND SOILS

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in exposure to or production of unstable earth conditions, such as landslides, earthquakes, liquefaction, ground failure, land subsidence or other similar hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Be within a California Geological Survey "Alquist-Priolo" Earthquake Fault Zone", or other known fault zones*?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Result in soil erosion, topographic changes, loss of topsoil or unstable soil conditions from project-related improvements, such as vegetation removal, grading, excavation, or fill?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) <i>Include structures located on expansive soils?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



6. GEOLOGY AND SOILS

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
e) <i>Be inconsistent with the goals and policies of the County's Safety Element relating to Geologic and Seismic Hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Preclude the future extraction of valuable mineral resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

* Per Division of Mines and Geology Special Publication #42

Setting.

GEOLOGY - The following relates to the project's geologic aspects or conditions:

Topography: Gently sloping to steeply sloping

Within County's Geologic Study Area?: Yes

Landslide Risk Potential: Low Liquefaction Potential: Low

Nearby potentially active faults?: No Distance? Not applicable

Area known to contain serpentine or ultramafic rock or soils?: Potentially

Shrink/Swell potential of soil: Low Other notable geologic features? Within GSA.

Geology and Soils

The project is within the Geologic Study area designation and is subject to the preparation of a geological hazards report per the CZLUO section 23.07.084(c) to evaluate the area's geological stability. A geological report was conducted for the project (GeoSolutions, Inc; /February 22, 2018). The County Geologist reviewed these reports to verify compliance with the County's Guidelines for Engineering Geology Reports and concurred with their findings and conclusions (Brian Papurello; June 18, 2018).

The subject property is located at the north end of Schoolhouse Lane. The site is situated on the top of a hillside with slopes extending down to the north and west at a steep slope gradient of 3:1 to 5:1. The eastern portion of the property consists of a steep drainage channel down to Burton Drive at a slope gradient of 1:1 to 2:1. Surface drainage follows the topography west toward the existing drainage channel. Rill or gully erosion was not observed at the site.

According to the geologic hazards report, the building site is geologically suitable provided that the recommendations are implemented. Based upon observations made during the subsurface investigative trenching, it was concluded that earth moving can be performed by conventional grading equipment. The GeoSolutions report identified liquefaction potential on the property as low based upon the near surface existence of the resistant sandstone of the Unnamed Sedimentary Rocks (Ks).

The project is not located within an Alquist-Priolo fault zone. The closest active portion of a Holocene age fault is the San Simeon fault located approximately 9.0 miles northwest of the site (Jennings; 2010). The potential for ground rupture at the site during ground shaking from a fault passing through the site is considered low since no known fault was identified to extend through the site. The site is in a region of generally high seismicity; however, design of structures using conventional California Building Code (CBC) seismic parameters will be appropriate for this project.

Drainage

The following relates to the project's drainage aspects:

Within the 100-year Flood Hazard designation? No

Closest creek? Unnamed blue line tributary Distance? Approximately 350 feet

Soil drainage characteristics: Not well drained

For areas where drainage is identified as a potential issue CZLUO Sec. 23.05.042 includes a provision to prepare a drainage plan to minimize potential drainage impacts. When required, this plan would need to address measures such as: constructing on-site retention or detention basins or installing surface water flow dissipaters. This plan would also need to show that the increased surface runoff would have no more impacts than that caused by historic flows.

Sedimentation and Erosion

Soil type, amount of disturbance and slopes are key aspects to analyzing potential sedimentation and erosion issues. The project's soil types and descriptions are listed in the previous Agriculture section under "Setting". As described in the GeoSolutions Soils Engineering Report, the project's soil erodibility is as follows:

Soil erodibility: Low

When highly erosive conditions exist, a sedimentation and erosion control plan is required (CZLUO Sec. 23.05.036) to minimize these impacts. When required, the plan is prepared by a civil engineer to address both temporary and long-term sedimentation and erosion impacts. Projects involving more than one acre of disturbance are subject to the preparation of a Storm Water Pollution Prevention Plan (SWPPP), which focuses on controlling storm water runoff. The Regional Water Quality Control Board is the local extension who monitors this program.

A sedimentation and erosion control plan is required for all construction and grading projects (CZLUO Sec. 23.05.036) to minimize these impacts. When required, the plan is prepared by a civil engineer to address both temporary and long-term sedimentation and erosion impacts.

Impact. The proposed project has the potential to result in 2.04 acres of site disturbance on the 5.88-acre property. This includes: 18,500 square feet of site disturbance for the development of eight buildings including seven new multi-family residences; 25,450 square feet of site disturbance for paved areas which includes sidewalks; and 45,060 square feet of landscape and unpaved areas.

Work associated with the project could conceivably alter drainage conditions. Additionally earthwork during the vegetation removal and construction phase could cause erosion and sedimentation into the onsite drainage swale. Because of onsite conditions, the proposed project will trigger ordinance requirements for the preparation of a drainage plan and an erosion/sedimentation control plan. These plans will need to meet the standards and benchmarks set in the Coastal Zone Land Use Ordinance, which will ensure that no significant adverse drainage or erosion/sedimentation impacts occur. Drainage and erosion/sedimentation control plans are reviewed by the Department of Planning and Building and the Department of Public Works and are approved only when they demonstrate compliance with the ordinance requirements. These existing requirements will therefore ensure that the project's impacts from drainage and erosion will not be significant.

Mitigation/Conclusion. The project shall comply with all recommendations of the Geology Investigation Update and Soils Engineering Report. These recommendations are outlined in Exhibit B Mitigation Summary Table. In addition, the project will comply with standard measures required by ordinance or codes. Incorporation of these mitigation measures will reduce potential geology, geotechnical, drainage, and sedimentation and erosion impacts to a less than significant level.



7. HAZARDS & HAZARDOUS MATERIALS - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Create a hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within ¼-mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on, or adjacent to, a site which is included on a list of hazardous material/waste sites compiled pursuant to Gov't Code 65962.5 ("Cortese List"), and result in an adverse public health condition?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Impair implementation or physically interfere with an adopted emergency response or evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) If within the Airport Review designation, or near a private airstrip, result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Increase fire hazard risk or expose people or structures to high wildland fire hazard conditions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Be within a 'very high' fire hazard severity zone?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Be within an area classified as a 'state responsibility' area as defined by CalFire?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Hazards and Hazardous Materials

Setting. The project is not located in an area of known hazardous material contamination. With regards to potential fire hazards, the subject project is within the "High" Fire Hazard Severity Zone(s). Based on the County's fire response time map, it will take approximately 0-5 minutes to respond to a call

regarding fire or life safety. Refer to the Public Services section for further discussion on Fire Safety impacts. The project is not within the Airport Review area. The project is not expected to conflict with any regional evacuation plan. No impacts as a result of hazards or hazardous materials are anticipated.

Impact. The project does not propose the use of hazardous materials, nor the generation of hazardous wastes. The proposed project is not found on the 'Cortese List' (which is a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5). The project does not present a significant fire safety risk. The project is not expected to conflict with any regional emergency response or evacuation plan.

Mitigation/Conclusion. No significant impacts as a result of hazards or hazardous materials are anticipated, and no mitigation measures are necessary.

8. NOISE

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Expose people to noise levels that exceed the County Noise Element thresholds?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Generate permanent increases in the ambient noise levels in the project vicinity?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Cause a temporary or periodic increase in ambient noise in the project vicinity?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Expose people to severe noise or vibration?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>If located within the Airport Review designation or adjacent to a private airstrip, expose people residing or working in the project area to severe noise levels?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Noise

Setting. The project is not within close proximity of loud noise sources and will not conflict with any sensitive noise receptors (e.g., residences). Based on the Noise Element's projected future noise generation from known stationary and vehicle-generated noise sources, the project is within an acceptable threshold area.

A portion of the project site is within close proximity to a transportation noise source (Burton Drive) though the proposed area for development is outside the County's acceptable exterior noise thresholds.

Impact. The project is not expected to generate loud noises, nor conflict with the surrounding uses. The nearest noise receptor to the project are apartments 70 feet to the south. The project is located approximately 1,600 feet north of Highway 1 and 400 feet east from Burton Drive.

Mitigation/Conclusion. No significant noise impacts are anticipated, and no mitigation measures are

necessary.

9. POPULATION/HOUSING

<i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Induce substantial growth in an area either directly (e.g., construct new homes or businesses) or indirectly (e.g., extension of major infrastructure)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Displace existing housing or people, requiring construction of replacement housing elsewhere?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) <i>Create the need for substantial new housing in the area?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Population/Housing

Setting In its efforts to provide for affordable housing, the county currently administers the Home Investment Partnerships (HOME) Program and the Community Development Block Grant (CDBG) program, which provides limited financing to projects relating to affordable housing throughout the county. The County’s Inclusionary Housing Ordinance requires provision of new affordable housing in conjunction with both residential and nonresidential development and subdivisions. Coastal Zone Land Use Ordinance Section 23.04.092 requires new housing developments of 11 or more units to provide 15 percent of the proposed units at rents or purchase prices that are affordable to low or moderate income households. The proposed project would build 33 affordable apartments for low-income persons. The neighboring development to the south is owned by the same owner (Peoples’ Self-Help Housing) and is also 100% affordable. Affordable apartment units are valuable in supporting the service and tourism jobs in the vicinity.

Impact. The project will result in an increase of new affordable housing in Cambria. The affordable housing requirements of the Coastal Zone Land Use Ordinance would not apply to the project since all units would be affordable.

Mitigation/Conclusion. No significant population and housing impacts are anticipated, and no mitigation measures are necessary.

10. PUBLIC SERVICES/UTILITIES

<i>Will the project have an effect upon, or result in the need for new or altered public services in any of the following areas:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Fire protection?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Police protection (e.g., Sheriff, CHP)?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Schools?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. PUBLIC SERVICES/UTILITIES

Will the project have an effect upon, or result in the need for new or altered public services in any of the following areas:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
d) Roads?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Solid Wastes?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Public Services

Setting. The project area is served by the following public services/facilities:

Police: County Sheriff Location: Templeton (Approximately 21.12 miles to the east)

Fire: Cambria Fire Department Hazard Severity: High Response Time: 0-5 Minutes

Location: Approximately .5 miles to the west

School District: Coast Unified School District.

For additional information regarding fire hazard impacts, go to the 'Hazards and Hazardous Materials' section

Impact. No significant project-specific impacts to utilities or public services were identified. This project, along with others in the area, will have a cumulative effect on police/sheriff and fire protection, and schools. The project’s direct and cumulative impacts are within the general assumptions of allowed use for the subject property that was used to estimate the fees in place. Fires are subject to occur within the Monterey pine forests and pose a danger to the proposed structures and occupants. The Cambria Community Service District provides fire protection services within the Cambria urban area. The proposed project was referred to the Cambria Community Service District Fire Department. The Fire Plan Review letter was received September 20, 2018 and contains standard language for the proposed structure located in a High Cal-Fire and a High CCSD FD Wildland Fire Risk Zone.

Mitigation/Conclusion. Regarding cumulative effects, public facility (County) and school (State Government Code 65995 et seq.) fee programs have been adopted to address this impact and will reduce the cumulative impacts to less than significant levels.

The project shall comply with all recommendations of the Geology Investigation Update and Soils Engineering Report. These recommendations are outlined in the Geology and Soils mitigations of the Exhibit B Mitigation Summary Table.

11. RECREATION

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Increase the use or demand for parks or other recreation opportunities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect the access to trails, parks or other recreation opportunities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



Recreation

Setting. The County’s Parks and Recreation Element does not show a potential trail going through the proposed project site. The project is not proposed in a location that will affect any trail, park, recreational resource, coastal access, and/or Natural Area.

Impact. The proposed project will not create a significant need for additional park, Natural Area, and/or recreational resources. The project will, however, contribute towards a cumulative increase in demand for parks and recreation opportunities.

Mitigation/Conclusion. No significant recreation impacts are anticipated, and no mitigation measures are necessary.

12. TRANSPORTATION/CIRCULATION

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Increase vehicle trips to local or areawide circulation system?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Reduce existing “Level of Service” on public roadway(s)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Create unsafe conditions on public roadways (e.g., limited access, design features, sight distance, slow vehicles)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Provide for adequate emergency access?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Conflict with an established measure of effectiveness for the performance of the circulation system considering all modes of transportation (e.g. LOS, mass transit, etc.)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Conflict with an applicable congestion management program?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) <i>Result in a change in air traffic patterns that may result in substantial safety risks?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) <i>Other: _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Transportation

Setting. The County has established the acceptable Level of Service (LOS) on roads for this urban area as “D” or better. The existing road network in the area including the project’s access streets (Schoolhouse Lane and Eton Road) are operating at acceptable levels. Based on existing road speeds and configuration (vertical and horizontal road curves), sight distance is considered acceptable.

Staff sent referrals to County Public Works and no significant traffic concerns were identified. The project is within the North Coast Area D Circulation Fee area. This fee provides the means to collect

“fair share” monies from new development to help fund certain regional road improvements that will be needed once the area reaches “buildout”. The project will be subject to this fee.

Impact. The proposed project is estimated to generate about 217 trips per day based on the Institute of Traffic Engineer’s manual of 6.59 average daily/per unit. This small amount of additional traffic will not result in a significant change to the existing road service or traffic safety levels. The project does not conflict with adopted policies, plans and programs on transportation.

Mitigation/Conclusion. No significant traffic impacts were identified, and no mitigation measures above what are already required by ordinance are necessary.

13. WASTEWATER

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate waste discharge requirements or Central Coast Basin Plan criteria for wastewater systems?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Change the quality of surface or ground water (e.g., nitrogen-loading, day-lighting)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Adversely affect community wastewater service provider?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other: _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Wastewater

Setting. The project will be served by the Cambria Community Services District (CCSD) for wastewater disposal. This system is currently operating at acceptable levels and the system has the capacity to support existing commitments in addition to the proposed project.

Impact. The project proposes to use a community system as its means to dispose of wastewater. Based on the proposed project, the proposed community system has the capacity to handle the project’s additional effluent.

Mitigation/Conclusion. Given that the system is currently operating at acceptable levels and that it has the capacity to support existing commitments in addition to the proposed project, no mitigation measures are necessary.

14. WATER & HYDROLOGY

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
QUALITY				
a) <i>Violate any water quality standards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Discharge into surface waters or otherwise alter surface water quality (e.g., turbidity, sediment, temperature, dissolved oxygen, etc.)?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

14. WATER & HYDROLOGY

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
<i>Will the project:</i>				
c) <i>Change the quality of groundwater (e.g., saltwater intrusion, nitrogen-loading, etc.)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide additional sources of polluted runoff?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Change rates of soil absorption, or amount or direction of surface runoff?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Change the drainage patterns where substantial on- or off-site sedimentation/ erosion or flooding may occur?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Involve activities within the 100-year flood zone?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
QUANTITY				
h) <i>Change the quantity or movement of available surface or ground water?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) <i>Adversely affect community water service provider?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) <i>Expose people to a risk of loss, injury or death involving flooding (e.g., dam failure, etc.), or inundation by seiche, tsunami or mudflow?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Water

Setting. The proposed project is within the Cambria water planning area. The project proposes to obtain its water needs from the CCSD. The CCSD has determined there is sufficient water available to serve the proposed project. The CCSD's Intent to Provide Water and Sewer Service letter dated February 26, 2018 is valid through September 23, 2019.

The subject property is within the service area boundaries of the CCSD. The CCSD operates wells that draw from local groundwater aquifers along the San Simeon and Santa Rosa Creeks. CCSD's water rights are subject to the regulatory authority of the State Water Resources Control Board (SWRCB), and to a certain extent, conditions imposed under development permits issued by the California Coastal Commission (CCC).

The CCSD declared a Water Code 350 emergency in November 2001, which established a moratorium on new water connections that is still in effect today. The CCSD will make exceptions to the moratorium for certain projects, including affordable housing developments, projects with grandfathered meters, active service meter transfers, and projects with pipeline status – i.e. projects that were in process but not built before the November 2001 moratorium. Any new intent to serve letter issued under one of these exceptions has a condition requiring 1.7:1 water demand offsets.

The topography of the project site is nearly level. The closest creek from the proposed development is approximately 0.25-mile away to the northwest. As described in the NRCS Soil Survey, the soil surface is considered to have low erodibility.

Projects involving more than one acre of disturbance are subject to preparing a Storm Water Pollution Prevention Plan (SWPPP) to minimize on-site sedimentation and erosion. When work is done in the rainy season, the County's Land Use Ordinance requires that temporary erosion and sedimentation measures to be installed.

DRAINAGE – The following relates to the project's drainage aspects:

Within the 100-year Flood Hazard designation? No

Closest creek? Santa Rosa Creek Distance? Approximately 0.25-mile

Soil drainage characteristics: Very poorly drained

For areas where drainage is identified as a potential issue, the Land Use Ordinance (CZLUO Sec. 23.05.042) includes a provision to prepare a drainage plan to minimize potential drainage impacts. When required, this plan would need to address measures such as: constructing on-site retention or detention basins, or installing surface water flow dissipaters. This plan would also need to show that the increased surface runoff would have no more impacts than that caused by historic flows.

SEDIMENTATION AND EROSION – Soil type, area of disturbance, and slopes are key aspects to analyzing potential sedimentation and erosion issues. The project's soil types and descriptions are listed in the previous Agriculture section under "Setting". As described in the NRCS Soil Survey, the project's soil erodibility is as follows:

Soil erodibility: Low

A sedimentation and erosion control plan is required for all construction and grading projects (CZLUO Sec. 23.05.036) to minimize these impacts. When required, the plan is prepared by a civil engineer to address both temporary and long-term sedimentation and erosion impacts. Projects involving more than one acre of disturbance are subject to the preparation of a Storm Water Pollution Prevention Plan (SWPPP), which focuses on controlling storm water runoff. The Regional Water Quality Control Board is the local extension who monitors this program.

Impact – Water Quality/Hydrology

With regards to project impacts on water quality the following conditions apply:

- ✓ Approximately 100,000 square feet of site disturbance is proposed and the movement of approximately 6,700 cubic yards of material;
- ✓ The project will be subject to standard County requirements for drainage, sedimentation and erosion control for construction and permanent use;
- ✓ The project will be disturbing over an acre and will be required to prepare a SWPPP, which will be implemented during construction;
- ✓ The project is not on highly erodible soils, nor on moderate to steep slopes;
- ✓ The project is not within a 100-year Flood Hazard designation;
- ✓ The project is more than 100 feet from the closest creek or surface water body;
- ✓ All disturbed areas will be permanently stabilized with impermeable surfaces and landscaping;
- ✓ Parking area drainage inlets will be fitted with hydrocarbon filters;
- ✓ Bioswales will be installed as a part of the drainage plan;
- ✓ Stockpiles will be properly managed during construction to avoid material loss due to erosion;



- ✓ The project is subject to the County’s Plumbing Code (Chapter 7 of the Building and Construction Ordinance [Title 19]), and/or the “Water Quality Control Plan, Central Coast Basin” for its wastewater requirements, where wastewater impacts to the groundwater basin will be less than significant;

Water Quantity

Based on CCSD estimates, the proposed project would increase demands on the community’s water supply by 3,364 gallons per day. The applicant has paid retrofit credits reducing community water usage by 6,092 gallons per day. Therefore, the proposed project would result in a net water savings of 2,728 gallons per day.

Mitigation/Conclusion. As specified above for water quality, existing regulations and/or required plans will adequately address surface water quality impacts during construction and permanent use of the project. No additional measures above are required or proposed to protect water quality. Based on the proposed amount of water to be used and the water source, no significant impacts from water use are anticipated.

15. LAND USE

Will the project:

	Inconsistent	Potentially Inconsistent	Consistent	Not Applicable
a) <i>Be potentially inconsistent with land use, policy/regulation (e.g., general plan [County Land Use Element and Ordinance], local coastal plan, specific plan, Clean Air Plan, etc.) adopted to avoid or mitigate for environmental effects?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Be potentially inconsistent with any habitat or community conservation plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Be potentially inconsistent with adopted agency environmental plans or policies with jurisdiction over the project?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Be potentially incompatible with surrounding land uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Land Use

Setting/Impact. Surrounding uses are identified on Page 2 of the Initial Study. The proposed project was reviewed for consistency with policy and/or regulatory documents relating to the environment and appropriate land use (e.g., County Land Use Ordinance, Local Coastal Plan, etc.). Referrals were sent to outside agencies to review for policy consistencies (e.g., Cambria Fire Department for Fire Code, APCD for Clean Air Plan, Coastal Commission, etc.). The project was found to be consistent with these documents (refer also to Exhibit A on reference documents used).

The project is not within or adjacent to a Habitat Conservation Plan area. The project is consistent or compatible with the surrounding uses as summarized on page 2 of this Initial Study.

The proposed project is located within a designated SRA and ESHA due to the Cambria Monterey pine

forest, and is subject to ordinance standards requiring development to avoid impacts to ESHA to the greatest extent feasible. Projects located within or adjacent to ESHAs that have been damaged shall be conditioned to require the restoration, monitoring, and long-term protection of such habitat areas through a restoration plan and an accompanying deed restriction or conservation easement. The proposed development complies with applicable ESHA development standards since it would be sited and designed to minimize tree removal and trees will be replaced at a 4:1 ratio.

The applicant is seeking a modification to the required building setbacks pursuant to the State Density Bonus Law and Coastal Zone Land Use Ordinance. The minimum side yard setback for Multi-family residential structures is 30 feet and the minimum front yard is 25 feet. The applicant is requesting a side-yard setback modification of 10 feet and a front-yard modification of 15 – 20 feet to avoid existing trees and steep slopes. The front-yard setback will align with the project's common building with the neighboring School House Lane Apartments.

The proposed project is subject to the following Planning Area Standard(s) as found in the County's LUO Section 23.070.176.

- (1) **Tree Preservation.** Where development requires removal of Monterey pines greater than six inches in diameter, replacement of native stock will be required.
- (2) **Plan Requirements.** All site, construction and grading plans submitted to the County shall identify by species and diameter all Monterey pine trees that are six inches or more in diameter 4.5 feet above ground and oak trees four inches or more in diameter 4.5 feet above ground identified by species and diameter. The plans shall indicate which trees are to be retained and which trees are proposed for removal. In addition, such plans shall clearly show:
 - a. The "project limit area" shall include all areas of grading (including cut and fill areas, utility trenching and offsite improvements) and vegetation removal, the development footprint (i.e., all structures and/or site disturbance) necessary fire clearances and staging areas for all construction activities, the location of those activities, and areas for equipment and material storage. (2) Sturdy and highly visible protective fencing that will be placed along the 'project limit area'. Plan notes shall indicate this fence should remain in place during the duration of project construction to protect vegetation from construction activities. (3) Plan notes shall indicate native trees and undergrowth outside of the "project limit area" shall be left undisturbed. (4) Identify any necessary tree trimming. Plan notes shall indicate a skilled arborist, or accepted arborist's techniques, will be used when removing tree limbs. (5) Plan notes shall indicate wherever soil compaction from construction will occur within driplines that the compacted root zone area shall be aerated by using one of the following techniques:
 - a. Injecting pressurized water.
 - b. Careful shallow ripping that radiates out from the trunk (no cross-root ripping).
 - c. Other County-approved techniques.(6) Plan notes shall indicate no more than one-third of the area of the drip line around any tree to be retained should be disturbed, or as recommended in an arborist's or biologist's report.
 - b. **Replacement of Vegetation.** Any Monterey pine trees that are six inches or more in diameter 4.5 feet above ground removed shall be replaced at a 4:1 ratio. Any oak trees that are four inches or more in diameter 4.5 feet above ground removed shall be replaced at a 6:1 ratio. All open areas of the site disturbed by project construction are to be seeded with native, drought and fire resistant species that are compatible with the habitat value of the surrounding forest. Replacement vegetation shall be planted in conformance with the following measures: (1) A replanting plan shall be prepared as a part of the application. Elements of this plan shall include the type, size and location of vegetation; a description of irrigation plans; and plan notes indicating compliance with the standards of this section. Any



proposed on-site or off-site replanting plan must be approved by the County Planning and Building Department prior to issuance of building permits. (2) Container sizes for all replacement seedlings shall be one gallon, unless approved by the Director of Planning and Building. *Pinus radiata* var. *macrocarpa*, the native Monterey Pine tree, shall be used for replanting of any pine tree removed. No out of area Monterey Pine stock shall be used. (3) New trees shall be planted to reinforce the forest character on the site and in the street frontage, and to screen proposed development. If insufficient area exists to plant all or any of the replacement vegetation on site, then the replanting plan shall identify an appropriate off-site area and owned or managed by an appropriate government agency or nonprofit organization. If an off-site replanting is chosen, the replanting must occur with the review and approval of the Environmental Coordinator, and shall be verified by submittal of a letter from the appropriate agency or organization to the Environmental

- (3) **Cambria Community Services District (CCSD) Review.** The Intent to Provide Water and Sewer letter provided by the CCSD on February 26, 2018 confirms the availability of service for the project. A water and sewer service condition compliance letter from the CCSD shall be provided to the Department of Planning and Building prior to final building inspection.
- (4) **Cambria Fire Department Review.** All new development shall comply with applicable State and local Cambria fire codes. The project complies with this requirement as verified by the Cambria Fire Department (CCSD Fire Plan Review letter; September 20, 2018). A conditions compliance letter from the CCSD Fire Department shall be provided to the Department of Planning and Building prior to final building inspection.
- (5) **Landscaping.** All areas of the site disturbed by project construction shall be revegetated with native, drought and fire resistant species that are compatible with the habitat values of the surrounding forest. A. All landscaping and construction practices shall work to maintain and regenerate habitat values. Plant materials shall be used to mimic or enhance naturally occurring vegetation. Materials shall be propagated from appropriate native stock to ensure that the gene pool is not diluted for endemic species. This is particularly true for Monterey Pines and riparian plantings. B. Prohibited Plant Materials. Non-native, invasive, fire prone, and water intensive (e.g., turf grass) landscaping shall be prohibited on the entire site. A list of prohibited plants, such as Pampas grass and Scotch broom, is available from the Department of Planning and Building. Use of plants listed in the California Invasive Plant Council (Cal IPC) Invasive Plant Inventory is prohibited.
- (6) **Exterior Lighting.** Use only the minimum amount necessary to achieve essential illumination. A. All light fixtures, including security lighting, shall be aimed and shielded so that the direct illumination shall be confined to the property boundaries source. Particular care is to be taken to assure that the direct illumination does not fall onto or across any public or private street or road. Motion sensing light fixtures shall be fully shielded and properly adjusted, according to the manufacturer's instructions, to turn off when detected motion ceases.
- (7) **Archaeological Resource Protection.** New development projects that have the potential to impact archaeological resources shall be referred to the affected Native American tribe. In the event archaeological resources are unearthed or discovered during any construction activities, construction activities shall cease and the Environmental Coordinator and Planning Department shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, and disposition of artifacts may be accomplished in accordance with state and federal law. Construction activities shall not commence until a mitigation plan, prepared by a qualified professional archaeologist in consultation with appropriate Native American representatives and reviewed and approved by the Planning Director, is completed and implemented.

- (8) **Height Limitation.** The maximum height for Multi-family residential structures is 28 feet from average natural grade. Buildings 1 – 6 of the project are 28 feet tall. Building number 7 is at 32 feet above average grade due to the steep slope. The manager’s unit is also 32 feet above natural grade. Both of these modifications are being requested as a concession under the County’s Density Bonus Ordinance.

Mitigation/Conclusion. No inconsistencies were identified and therefore no additional measures above what will already be required were determined necessary.

The applicant requested to use the State Density Bonus Law and County’s Density Bonus Ordinance (CZLUO Section 23.04.090) for two project concessions:

1. Two building height modifications from the 28 feet max to 32 feet above natural grade; and
2. Two reduced side and front setbacks.

Under State Density Bonus Law (Government Code Section 65915) an applicant can receive two concessions for a project that includes at least 20 percent of the total units for lower income households, at least 10 percent for very low income households, or at least 20 percent for persons and families of moderate income in a common interest development. The project is 100 percent affordable and includes 75 percent of the units at rents affordable to very low income and extremely low income families, which far exceeds the minimum units required to receive the two concessions. The requested concessions are eligible as they do not exceed the minimum building standards approved by the California Building Standards Commission. To award the concessions to the project the applicant shall agree to a 55 year affordability period for the project.

16. MANDATORY FINDINGS OF SIGNIFICANCE

Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
----------------------------	--------------------------------------	-------------------------	-------------------

Will the project:

- | | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|-------------------------------------|--------------------------|
| <p>a) <i>Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or pre-history?</i></p> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <p>b) <i>Have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)</i></p> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <p>c) <i>Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?</i></p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

For further information on CEQA or the County’s environmental review process, please visit the County’s web site at “www.sloplanning.org” under “Environmental Information”, or the California Environmental Resources Evaluation System at: <http://resources.ca.gov/ceqa/> for information about the California Environmental Quality Act.

Exhibit A - Initial Study References and Agency Contacts

The County Planning Department has contacted various agencies for their comments on the proposed project. With respect to the subject application, the following have been contacted (marked with an) and when a response was made, it is either attached or in the application file:

<u>Contacted</u>	<u>Agency</u>	<u>Response</u>
<input checked="" type="checkbox"/>	County Public Works Department	Attached
<input type="checkbox"/>	County Environmental Health Services	Not Applicable
<input type="checkbox"/>	County Agricultural Commissioner's Office	Not Applicable
<input type="checkbox"/>	County Airport Manager	Not Applicable
<input type="checkbox"/>	Airport Land Use Commission	Not Applicable
<input checked="" type="checkbox"/>	Air Pollution Control District	Attached
<input type="checkbox"/>	County Sheriff's Department	Not Applicable
<input type="checkbox"/>	Regional Water Quality Control Board	Not Applicable
<input checked="" type="checkbox"/>	CA Coastal Commission	None
<input type="checkbox"/>	CA Department of Fish and Wildlife	Not Applicable
<input type="checkbox"/>	CA Department of Forestry (Cal Fire)	Not Applicable
<input type="checkbox"/>	CA Department of Transportation	Not Applicable
<input checked="" type="checkbox"/>	Cambria Community Services District	Attached
<input type="checkbox"/>	Other _____	Not Applicable
<input type="checkbox"/>	Other _____	Not Applicable

**** "No comment" or "No concerns"-type responses are usually not attached**

The following checked ("") reference materials have been used in the environmental review for the proposed project and are hereby incorporated by reference into the Initial Study. The following information is available at the County Planning and Building Department.

<input checked="" type="checkbox"/> Project File for the Subject Application	<input type="checkbox"/> Design Plan
<u>County documents</u>	<input type="checkbox"/> Specific Plan
<input checked="" type="checkbox"/> Coastal Plan Policies	<input checked="" type="checkbox"/> Annual Resource Summary Report
<input checked="" type="checkbox"/> Framework for Planning (Coastal/Inland)	<input type="checkbox"/> Circulation Study
<input checked="" type="checkbox"/> General Plan (Inland/Coastal), includes all maps/elements; more pertinent elements:	<u>Other documents</u>
<input checked="" type="checkbox"/> Agriculture Element	<input checked="" type="checkbox"/> Clean Air Plan/APCD Handbook
<input checked="" type="checkbox"/> Conservation & Open Space Element	<input checked="" type="checkbox"/> Regional Transportation Plan
<input type="checkbox"/> Economic Element	<input checked="" type="checkbox"/> Uniform Fire Code
<input checked="" type="checkbox"/> Housing Element	<input checked="" type="checkbox"/> Water Quality Control Plan (Central Coast Basin – Region 3)
<input checked="" type="checkbox"/> Noise Element	<input checked="" type="checkbox"/> Archaeological Resources Map
<input checked="" type="checkbox"/> Parks & Recreation Element/Project List	<input checked="" type="checkbox"/> Area of Critical Concerns Map
<input checked="" type="checkbox"/> Safety Element	<input checked="" type="checkbox"/> Special Biological Importance Map
<input checked="" type="checkbox"/> Land Use Ordinance (Inland/Coastal)	<input checked="" type="checkbox"/> CA Natural Species Diversity Database
<input type="checkbox"/> Building and Construction Ordinance	<input checked="" type="checkbox"/> Fire Hazard Severity Map
<input checked="" type="checkbox"/> Public Facilities Fee Ordinance	<input checked="" type="checkbox"/> Flood Hazard Maps
<input type="checkbox"/> Real Property Division Ordinance	<input checked="" type="checkbox"/> Natural Resources Conservation Service Soil Survey for SLO County
<input checked="" type="checkbox"/> Affordable Housing Fund	<input checked="" type="checkbox"/> GIS mapping layers (e.g., habitat, streams, contours, etc.)
<input type="checkbox"/> Airport Land Use Plan	<input type="checkbox"/> Other
<input type="checkbox"/> Energy Wise Plan	
<input checked="" type="checkbox"/> North Coast Area Plan	



Date: September 13, 2018
To: Allison Rustik, Project Planner
From: Glenn Marshall, Development Services
Subject: Public Works Project Revised Referral for DRC2012-00052, PSHH CUP, School House Ln, Cambria, APN 013-151-034

Thank you for the opportunity to provide information on the proposed subject project. It has been reviewed by several divisions of Public Works, and this represents our consolidated response.

Public Works Comments:

- A. 9/11/18: Applicant's agent submitted following email request: "I have discussed the red-line mark-up with PSHHC in the context of our discussion earlier this week. In the interest of time and expense, PSHHC wishes to leave the plans as currently drawn with the understanding that the condition will be placed on the project to make full frontage improvements. We discussed the physical complexities of installing those improvements and wish to reserve the iterative process for determining the most efficient solution to the development of construction documents in coordination with Public Works."
- B. With this understanding, we would request that Hold Item #1 also be removed so that environmental review may move forward.
- C. 9/7/18: Applicant submitted stormwater information. Final stormwater requirements will be placed on future building permits.
- D. The proposed project triggers Curb Gutter and Sidewalk requirements per 23.05.106. Improvement plans must be submitted to Public Works for review and approval. Prior to building permit issuance the owner must post a performance bond in accordance with the Ordinance. The applicant may apply for a waiver through the Planning and Building Department in accordance with 23.05.106(d); however, there is no guarantee that a waiver will be granted.
- E. The proposed project is within the North Coast Road Improvement Fee Area. Payment of Road Improvement Fees is required prior to building permit issuance.
- F. The proposed project is within a drainage review area. Drainage plan is required to be prepared by a registered civil engineer and it will be reviewed at the time of Building Permit submittal by Public Works. The applicant should review Chapter 22.52.110 or 23.05.040 of the Land Use Ordinance prior to future submittal of development permits.
- G. This project is a regulated project as it meets the applicability criteria for Stormwater Management and is therefore required to submit a Stormwater Control Plan (SWCP) Application. The Stormwater Control Plan application, SWCP template, and LID Handbook guidance can be found at:
<https://www.slocounty.ca.gov/Departments/Planning-Building/Stormwater/Services/Stormwater-Requirements-for-New-Construction.aspx>
- H. If the project site disturbs 1.0 acre or more the applicant must enroll for coverage under California's Construction General Permit, which may require preparation of a project Stormwater Control Plan even though its located outside a Stormwater Management Area.

Recommended Project Conditions of Approval:

Access

1. **At the time of application for construction permits**, public improvement plans shall be prepared in compliance with Section 22.54.030/23.05.106 (Curbs, Gutters and Sidewalks) of the Land Use Ordinance and San Luis Obispo County Improvement Standards and Specifications by a Registered Civil Engineer and submitted to the Department of Public Works. The plan/s is/are to include, as applicable:
 - a. Street plan and profile for extending School House Lane across the project frontage to complete the project side to an A-2 urban street section fronting the property, and a full travel lane on the opposite side.
 - b. Both driveways must be constructed to B-3a driveway approach and A-5 sight distance standards.
 - c. Pedestrian easements as necessary to contain all sidewalk, driveway and curb ramp improvements that extend beyond the existing right-of-way. Offers are to be recorded by separate document with the County Clerk upon review and approval by Public Works.
 - d. Drainage ditches, culverts, and other structures (if drainage calculations require).
 - e. Public utility plan, showing all existing utilities and installation of all new utilities to serve the site.
 - f. Tree removal/retention plan for trees to be removed and retained associated with the required public improvements. The plan shall be approved jointly with the Department of Planning and Building.
 - g. Traffic control plan for construction in accordance with the California Manual on Uniform Traffic Control Devices (CA-MUTCD).
2. **On-going condition of approval (valid for the life of the project)**, and in accordance with County Code Section 13.08, no activities associated with this permit shall be allowed to occur within the public right-of-way including, but not limited to, project signage; tree planting; fences; etc. without a valid Encroachment Permit issued by the Department of Public Works.
3. **On-going condition of approval (valid for the life of the project)**, the property owner shall be responsible for operation and maintenance of public road frontage sidewalks, landscaping, maintaining County driveway sight distance standards, and pedestrian amenities in a viable condition and on a continuing basis into perpetuity.
4. **At the time of application for construction permits**, the applicant shall enter into an agreement and post a deposit with the county for the cost of checking the improvement plans and the cost of inspection of any such improvements by the County or its designated representative. The applicant shall also provide the county with an Engineer of Work Agreement retaining a Registered Civil Engineer to furnish construction phase services, Record Drawings and to certify the final product to the Department of Public Works.
5. **Prior to occupancy**, all work in the public right-of-way must be constructed or reconstructed to the satisfaction of the Public Works Inspector and in accordance with the County Public Improvement Standards; the project conditions of approval, including any related land use permit conditions; and the approved improvement plans.
6. **At the time of application for construction permits**, the applicant shall provide evidence to the Department of Planning and Building that onsite circulation and pavement structural sections have been designed and shall be constructed in conformance with Cal Fire, or the regulating fire agency standards and specifications back to the nearest public maintained roadway.

Fees

7. **On-going condition of approval (valid for the life of the project)**, and in accordance with Title 13.01 of the County Code, the applicant shall be responsible for paying to the Department of Public Works the North Coast Road Improvement Fee. The fee shall be imposed at the time of application for building permits and shall be assessed for each building permit to be issued. These fees are subject to change by resolution of the Board of Supervisors. The applicant shall be responsible for paying the fee in effect at the time of issuance of building permits.

Drainage

8. **At the time of application for construction permits**, the applicant shall submit complete drainage plans prepared by a licensed civil engineer for review and approval in accordance with Section 22.52.110 (Drainage) or 23.05.040 (Drainage) of the Land Use Ordinance.
9. **At the time of application for construction permits**, the applicant shall submit complete erosion and sedimentation control plan for review and approval in accordance with 22.52.120.
10. **At the time of application for construction permits**, the applicant shall demonstrate that the project construction plans are in conformance with their Stormwater Control Plan.

Stormwater Pollution Prevention Plan (SWPPP)

11. **At the time of application for construction permits**, if the project disturbs more than 1.0 acre or is part of a common plan of development, the applicant must enroll for coverage under California's Construction General Permit. Sites that disturb less than 1.0 acre must implement all required elements within the site's erosion and sediment control plan as required by San Luis Obispo County Codes.

Stormwater Control Plan (SWCP):

12. **At the time of application for construction permits**, the applicant shall demonstrate whether the project is subject post-construction stormwater requirements by submitting a Stormwater Control Plan application.
 - a. The applicant must submit a Stormwater Control Plan (SWCP) prepared by an appropriately licensed professional to the County for review and approval. Applicants must utilize the County's latest SWCP template.
 - b. If applicable, the applicant shall submit a draft stormwater operations and maintenance plan for review by the County. The operations and maintenance plan may be incorporated into existing or proposed CC&Rs or drafted as an Agreement.
 - c. If applicable, following approval by the County, the applicant shall record with the County Clerk-Recorder a Stormwater Operations and Maintenance plan to document on-going and permanent storm drainage control, management, treatment, inspection and reporting.
 - d. If applicable, the applicant shall submit a draft General Notice to document the location and type of control measures that were installed to mitigate Performance Requirement No. 2. Following approval by the County, the applicant shall record the General Notice with the County Clerk-Recorder. The recorded control measures shall remain in good working order in perpetuity.
13. **Prior to approval of the improvement plans or construction permits**, if necessary, the applicant shall submit a draft Storm Water Operations and Maintenance Plan for all structural post-construction storm water treatment or retention facilities and it must be provided for review.
14. **Prior to acceptance of the improvements**, the Stormwater Operations and Maintenance plan and General Notice must be updated to reflect as-built changes, approved by the County, and re-recorded with the County Clerk-Recorder as amendments to the original document.

Offers

15. **Prior to issuance of construction permits**, the applicant shall offer for dedication to the public right-of-way easements by separate document for School House Lane road widening purposes a sufficient width as necessary to contain all elements of the roadway prism including slopes, sidewalks, driveway aprons, curb returns and other improvements. Offers are to be recorded by separate document with the County Clerk upon review and approval by Public Works.



Air Pollution Control District
San Luis Obispo County

May 23, 2018

Ms. Allison Rustick
SLO County Department of Planning & Building
976 Osos Street, Room 300
County Government Center
San Luis Obispo, CA 93408

SUBJECT: APCD Comments Regarding the People's Self Help Housing project on
Schoolhouse Lane in Cambria (DRC2012-00052)

Dear Ms. Rustick:

Thank you for including the San Luis Obispo County Air Pollution Control District (APCD) in the environmental review process. We have completed our review of the proposed Conditional Use Permit for a 33-unit affordable housing development with a common building for residents (combined total of 34,850 sf) on Schoolhouse Lane in Cambria.

The following are APCD comments that are pertinent to this project.

GENERAL COMMENTS

As a commenting agency in the California Environmental Quality Act (CEQA) review process for a project, the APCD assesses air pollution impacts from both the construction and operational phases of a project, with separate significant thresholds for each. **Please address the action items contained in this letter that are highlighted by bold and underlined text.**

CONSTRUCTION PHASE IMPACTS

Based on the construction phase emission estimates using Table 2-2 in the APCD's 2012 CEQA Handbook, the construction phase impacts will likely be less than the APCD's significance threshold values identified in Table 2-1 of the CEQA Air Quality Handbook (available at the APCD web site: www.slocleanair.org). **Therefore, with the exception of the requirements below, the APCD is not requiring other construction phase mitigation measures for this project.**

Naturally Occurring Asbestos

Naturally occurring asbestos (NOA) has been identified by the California Air Resources Board as a toxic air contaminant. Serpentine and ultramafic rocks are very common throughout California and may contain NOA. The APCD has identified areas throughout the county where NOA may be present (see the APCD's 2012 CEQA Handbook, Technical Appendix 4.4), and this project site is located in a candidate area for NOA.

Under the CARB Air Toxics Control Measure (ATCM) for Construction, Grading, Quarrying, and Surface Mining Operations (93105), **prior to any construction activities at the site, the project proponent shall ensure that a geologic evaluation is conducted to determine if the area disturbed is exempt from the regulation. An exemption request must be filed with the APCD.**

If the site is not exempt from the requirements of the regulation, the applicant must comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety Program for approval by the APCD. More information on NOA can be found at slocleanair.org/business/asbestos.php.

Dust Control Measures

Construction activities can generate fugitive dust, which could be a nuisance to local residents and businesses in close proximity to the proposed construction site. **Projects with grading areas that are within 1,000 feet of any sensitive receptor (Santa Lucia Middle School, residences) shall implement the following mitigation measures to manage fugitive dust emissions such that they do not exceed the APCD's 20% opacity limit (APCD Rule 401) or prompt nuisance violations (APCD Rule 402).**

- a. Reduce the amount of the disturbed area where possible;
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site and from exceeding the APCD's limit of 20% opacity for greater than 3 minutes in any 60-minute period. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible. **Please note that since water use is a concern due to drought conditions, the contractor or builder shall consider the use of an APCD-approved dust suppressant where feasible to reduce the amount of water used for dust control.** Please refer to the following link for potential dust suppressants to select from to mitigate dust emissions:
<http://www.valleyair.org/busind/comply/PM10/Products%20Available%20for%20Controlling%20PM10%20Emissions.htm>;
- c. All dirt stock pile areas should be sprayed daily and covered with tarps or other dust barriers as needed;
- d. Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible, following completion of any soil disturbing activities;
- e. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast germinating, non-invasive grass seed and watered until vegetation is established;
- f. All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;
- g. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used;
- h. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site;
- i. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114;

- j. "Track-out" is defined as sand or soil that adheres to and/or agglomerates on the exterior surfaces of motor vehicles and/or equipment (including tires) that may then fall onto any highway or street as described in California Vehicle Code Section 23113 and California Water Code 13304. To prevent track-out, designate access points and require all employees, subcontractors, and others to use them. Install and operate a 'track-out prevention device' where vehicles enter and exit unpaved roads onto paved streets. The 'track-out prevention device' can be any device or combination of devices that are effective at preventing track-out, located at the point of intersection of an unpaved area and a paved road. Rumble strips or steel plate devices need periodic cleaning to be effective. If paved roadways accumulate tracked out soils, the track-out prevention device may need to be modified;
- k. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers shall be used with reclaimed water used where feasible. Roads shall be pre-wetted prior to sweeping when feasible;
- l. All PM₁₀ mitigation measures required should be shown on grading and building plans; and,
- m. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints and reduce visible emissions below the APCD's limit of 20% opacity for greater than 3 minutes in any 60-minute period. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD Compliance Division prior to the start of any grading, earthwork or demolition.

Construction Permit Requirements

Based on the information provided, we are unsure of the types of equipment that may be present during the project's construction phase. Portable equipment, 50 horsepower (hp) or greater, used during construction activities may require California statewide portable equipment registration (issued by the California Air Resources Board) or an APCD permit.

The following list is provided as a guide to equipment and operations that may have permitting requirements, but should not be viewed as exclusive. For a more detailed listing, refer to the Technical Appendices, page 4-4, in the APCD's 2012 CEQA Handbook.

- Power screens, conveyors, diesel engines, and/or crushers;
- Portable generators and equipment with engines that are 50 hp or greater;
- Electrical generation plants or the use of standby generator;
- Internal combustion engines;
- Rock and pavement crushing;
- Unconfined abrasive blasting operations;
- Tub grinders;
- Trommel screens; and,
- Portable plants (e.g. aggregate plant, asphalt batch plant, concrete batch plant, etc).

To minimize potential delays, prior to the start of the project, please contact the APCD Engineering & Compliance Division at (805) 781-5912 for specific information regarding permitting requirements.

Construction Phase Idling Limitations

This project is in close proximity to nearby sensitive receptors (Santa Lucia Middle School,

residences). Projects that will have diesel powered construction activity in close proximity to any sensitive receptor shall implement the following mitigation measures to ensure that public health benefits are realized by reducing toxic risk from diesel emissions:

To help reduce sensitive receptor emissions impact of diesel vehicles and equipment used to construct the project, the applicant shall implement the following idling control techniques:

1. California Diesel Idling Regulations
 - a. **On-road diesel vehicles** shall comply with Section 2485 of Title 13 of the California Code of Regulations. This regulation limits idling from diesel-fueled commercial motor vehicles with gross vehicular weight ratings of more than 10,000 pounds and licensed for operation on highways. It applies to California and non-California based vehicles. In general, the regulation specifies that drivers of said vehicles:
 1. Shall not idle the vehicle's primary diesel engine for greater than 5-minutes at any location, except as noted in Subsection (d) of the regulation; and,
 2. Shall not operate a diesel-fueled auxiliary power system (APS) to power a heater, air conditioner, or any ancillary equipment on that vehicle during sleeping or resting in a sleeper berth for greater than 5.0 minutes at any location when within 1,000 feet of a restricted area, except as noted in Subsection (d) of the regulation.
 - b. **Off-road diesel equipment** shall comply with the 5-minute idling restriction identified in Section 2449(d)(2) of the California Air Resources Board's In-Use Off-Road Diesel regulation.
 - c. Signs must be posted in the designated queuing areas and job sites to remind drivers and operators of the state's 5-minute idling limit.
 - d. The specific requirements and exceptions in the regulations can be reviewed at the following web sites: www.arb.ca.gov/msprog/truck-idling/factsheet.pdf and www.arb.ca.gov/regact/2007/ordiesl07/frooal.pdf.

AND

2. Diesel Idling Restrictions Near Sensitive Receptors (Santa Lucia Middle School, residences)

In addition to the state required diesel idling requirements, the project applicant shall comply with these more restrictive requirements to minimize impacts to nearby sensitive receptors:

 - a. Staging and queuing areas shall not be located within 1,000 feet of sensitive receptors;
 - b. Diesel idling within 1,000 feet of sensitive receptors shall not be permitted;
 - c. Use of alternative fueled equipment is recommended; and
 - d. Signs that specify the no idling areas must be posted and enforced at the site.

OPERATIONAL PHASE IMPACTS

Based on the operational phase emission estimates using Table 1-1 in the APCD's 2012 CEQA Handbook, the operational phase would likely be less than the APCD's significance threshold values

identified in Table 3-2 of the CEQA Air Quality Handbook. **Therefore, with the exception of the requirements below, the APCD is not requiring other operational phase mitigation measures for this project.**

Residential Wood Combustion

Under APCD Rule 504, **only APCD approved wood burning devices can be installed in new dwelling units.** These devices include:

- All EPA-Certified Phase II wood burning devices;
- Catalytic wood burning devices which emit less than or equal to 4.1 grams per hour of particulate matter which are not EPA-Certified but have been verified by a nationally-recognized testing lab;
- Non-catalytic wood burning devices which emit less than or equal to 7.5 grams per hour of particulate matter which are not EPA-Certified but have been verified by a nationally-recognized testing lab;
- Pellet-fueled woodheaters; and
- Dedicated gas-fired fireplaces.

If you have any questions about approved wood burning devices, please contact the APCD Engineering and Compliance Division at (805) 781-5912.

Again, thank you for the opportunity to comment on this proposal. If you have any questions or comments, feel free to contact me at (805) 781-5912.

Sincerely,



Vince Kirkhuff
Air Quality Specialist

cc: Mr. Darya Oreizi, Project Manager
Ms. Lauren Luker, Rea & Luker Architects, Inc.
Tim Fuhs, Enforcement Division, APCD
Gary Willey, Air Pollution Control Officer

Attachments:

1. Naturally Occurring Asbestos – Construction & Grading Project Exemption Request Form, Construction & Grading Project Form

CAMBRIA COMMUNITY SERVICES DISTRICT

DIRECTORS:

MICHAEL THOMPSON, President
JIM BAHRINGER, Vice President
MURIL N. CLIFT
AMANDA RICE
GAIL ROBINETTE

**OFFICERS:**

JERRY GRUBER, General Manager
JUSTINE HARRIS, Deputy District Clerk
TIMOTHY J. CARMEL, District Counsel

1316 Tamsen Street, Suite 201 • P.O. Box 65 • Cambria CA 93428
Telephone (805) 927-6223 • Facsimile (805) 927-5584

December 2, 2013

Ken Trigueiro
People's Self Help Housing
3533 Empleo Street
San Luis Obispo, CA 93401

RE: Water demand offset for proposed People's Self Help Housing Cambria Pines Apartment Project,
APN: 013-151-034 (Water Conservation Retrofits Completed)

Dear Mr. Trigueiro,

This letter and its attachments provide project conditions, and confirms water conservation measures that have been completed within our service area. Completion of the listed water conservation measures is a requirement of our District, as well as the Local Coastal Program for our area, to offset the future potable water demand from your proposed apartment project at APN 013-151-034

Please contact us should you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert C. Gresens".

Robert C. Gresens, P.E.
District Engineer

RCG

Exhibits (2): A - Demand offset approval conditions
B - Retrofits Completed to Offset New Construction
 B.1 Conservation measures completed within existing Phase I apartments
 B.2 Conservation measures completed within existing CCSD service area.

cc: Jerry Gruber, CCSD General Manager
 Lauren Luker, rea & Luker Architects Inc.

EXHIBIT A

DEMAND OFFSET APPROVAL CONDITIONS

1. The conditions contained in this potable water demand offset letter are in addition to any and all conditions imposed on the original Intent to Serve Letter for this parcel, and any previously issued Intent to Serve (ITS) extensions. In the event of any conflict between conditions in the ITS letter(s) and this demand offset approval letter, the provisions in this demand offset approval letter shall take precedence.
2. No water service lines may extend beyond the property line for this project. Any subsequent need to serve adjacent properties shall require a property merger. No secondary housing units shall be served potable water as the result of this project.
3. All fixtures and appliances shall comply with the most recent CCSD water efficiency standards and requirements.
4. The demand offset was estimated based on plan sheets A-1, A-2, A-3, C-1, C-2, C-3, C-4, and L-1, dated September 13, 2013 by rea and Luker Architects, Inc. (a.k.a. Real Solutions) entitled "Cambria Pines, People's Self Help Housing – Apartment Project, Schoolhouse Lane, Cambria California." Any subsequent changes to this design, which may add fixture units, increase water use, add square footage, or change the intended use, shall be resubmitted for additional review to further assess the accuracy of this estimate. The applicant shall bear the cost for any additional design review time and the subsequent need to purchase or complete any additional demand offsets.
5. The applicant shall reimburse the CCSD for the costs of plan checking, construction inspection, project administration and legal assistance of any CCSD related improvement associated with the project. For all services rendered by CCSD personnel, the applicant shall be charged and pay to the CCSD the actual cost. The CCSD will invoice the applicant, and any amounts unpaid 30 days from the date of the invoice shall bear interest at the rate of 1 ½ % per month beginning 30 days after the date of said invoice.
6. The applicant expressly grants the CCSD, or its authorized agent, permission to enter upon the land that is the subject of the project for the purpose of inspection of any and/or all work related to the water and sewer improvements.
7. The applicant must agree to grant any required utility or access easements that may be reasonably required by the CCSD.
8. The applicant shall defend, indemnify and hold harmless the CCSD, its officers, agents, representatives and employees from any and all claims, demands, damages, costs expenses or liabilities, including attorney fees, occasioned by the performance or attempted performance of the provisions contained in the this demand offset approval letter.
9. In granting this demand offset letter, the CCSD, makes no determination as to required environmental mitigations and land use entitlements required for the proposed project, and the issuance shall not be construed to be an expression of CCSD's position regarding the proposed project's environmental mitigations or use or intensity of use of the development property.
10. The applicant agrees to pay all CCSD connection fees prior to connecting to the water and sewer system, and .agrees to pay all monthly water and sewer service charges.
11. The outdoor landscaping shall be designed to incorporate native, drought-tolerant plants, and to avoid the use of turf grass (e.g., synthetic, non-irrigated grass for play areas). The applicant shall install a non-

potable water cistern/cisterns and irrigation system for all outdoor irrigation, which shall be kept separate from any potable water system piping. All non-potable water irrigation and cistern fill pipelines shall be purple, marked Non-Potable, Recycled Water – Do Not Drink., in both English and Spanish, and provided with tracer tape. The domestic service to the property shall be equipped a reduced pressure backflow preventer, which shall be maintained and tested by the applicant and any successors in interest. The irrigation system and cistern system shall be tested prior to use to verify that no interconnection exists with the on-site potable plumbing system and CCSD potable water supply system.

12. A future recycled water supply to the Schoolhouse Lane area is only at the planning-level with the CCSD, and may therefore not occur until well into the future due to funding and related unknowns. Therefore, the applicant will be required to truck non-potable irrigation water to the site, and at the applicant's expense.

13. The applicant agrees to re-inspect all Phase I apartments within 120 days to reconfirm replaced showerheads, aerators, and toilets have not been replaced or otherwise tampered with by tenants. Any modified or replaced fixtures shall be replaced to the satisfaction of the CCSD inspector, and at the applicant's expense. Inspection and replacement shall be conducted by licensed, bonded, and insured contractors. Upon completion of the re-inspection, the applicant shall provide the CCSD with a sworn statement attesting to the full installation of high water efficiency showerheads, aerators, and toilets within the existing Phase I apartments.

14. Replacing high-efficiency water fixtures with less efficient fixtures is not allowable and subject to additional fees from the CCSD, and revocation of this demand offset letter.

EXHIBIT B

RETROFITS COMPLETED TO OFFSET NEW CONSTRUCTION:

**PROJECT NAME: People's Self Help Housing Cambria Pines Apartment Project,
Schoolhouse Lane, Cambria, California
Parcel APN #: 013.151.034**

Project Description: 32 apartment units
One common building, which includes a manager's apartment, meeting room with kitchen area, laundry facility, and two offices.

Total floor area; 34,850 square feet.

Total Retrofit requirement: 4,144 points
Less Credit for Phase I conservation - 254 points
(See attached Exhibit B.1)

Net Points Required for Phase II 3,890 points
(See attached Exhibit B.2)

1 point = .72 annual water unit or 1.47 gallons per day
1 water unit = 748 gallons

This Project's Points	Annual Water, Units	Retrofit Offset Points	Annual Water Saved, Units
4,144	2,972.54	4,144.59	2,972.97

Approved by: _____

Robert C. Gresens, CCSD District Engineer

**Exhibit B.1
Conservation Measures Completed Within Existing Phase I Apartments**

People's Self Help Housing - Conservation Measures Completed Within Existing Phase I Apartments

2 Bedroom units (10, 2-bedroom apartment units total in Phase I)

Item	Retrofit Description	Number	Points per retrofit	Points Credit
1	Replace 1.6 gpf toilets with 1.28 gpf toilets	10	1.2	12
2	Replace 2.0 gpm showerheads with 1.5 gpm	10	4.6	46
3	Low-flow aerators on kitchen sinks	10	2.9	29
4	Low-flow aerators on bathroom sinks	10	1.2	12

Subtotal: 99

3 Bedroom units (14, 3-bedroom apartment units total in Phase I)

Item	Retrofit Description	Number	Points per retrofit	Points Credit
4	Replace 1.6 gpf toilets with 1.28 gpf toilets	28	1.2	33.6
5	Replace 2.0 gpm showerheads with 1.5 gpm	14	4.6	64.4
6	Low-flow aerators on kitchen sinks	14	2.9	40.6
7	Low-flow aerators on bathroom sinks	14	1.2	16.8

Subtotal: 155.4

Grand Total **254.4**

Side notes:

Four existing clothes washers were already high efficiency, and therefore not replaced.

Exhibit B.2

Conservation Measures Completed Within Existing CCSD Service Area

Address Service			
Number	Street	Retrofit Type	Retrofit Points
426	Hastings	HW recirc pump	6.80
400	Bristol	HW recirc pump	6.80
2110	McCabe St.	HW recirc pump	6.80
6610	Buckley Dr.	HW recirc pump	6.80
3081	Wood Dr.	HW recirc pump	6.80
1427	Berwick	HW recirc pump	6.80
615	Drake	HW recirc pump	6.80
2845	Newton	HW recirc pump	6.80
5110	Nottingham	High Efficiency Toilet(s)	7.60
1596	St James	HW recirc pump	6.80
5330	Nottingham	clothes washer	6.65
889	Northampton	clothes washer	6.65
440	Drake	clothes washer	6.65
2393	Madison	clothes washer	6.65
2111	Latham	clothes washer	6.65
2191	Andover	clothes washer	6.65
1890	Tweed	High Efficiency Toilet(s)	4.60
2830	Burton Cir	High Efficiency Toilet(s)	2.30
646	Worcester	clothes washer	6.65
2300	Adams	clothes washer	6.65
1760	Stuart	clothes washer	6.65
1770	Stuart	clothes washer	6.65
2247	Ludlow	clothes washer	6.65
690	Huntington	clothes washer	6.65
1331	Burton Dr.	clothes washer	6.65
2155	Andover	clothes washer	6.65
2830	Burton Cir	clothes washer	6.65
1680	Burton Dr.	clothes washer	6.65
5110	Nottingham	clothes washer	6.65
322	Weymouth	clothes washer	6.65
2730	Newton	clothes washer	6.65
798	Drake	High Efficiency Toilet(s)	2.30
2010	Pineridge	clothes washer	6.65
6630	Buckley	clothes washer	6.65
2111	Emmons	High Efficiency Toilet(s)	4.60
2576	Burton Dr.	clothes washer	6.65
5472	Windsor Blvd	High Efficiency Toilet(s)	2.30
1701	Langton	High Efficiency Toilet(s)	4.60
1301	Warren	clothes washer	6.65
2515	Burton Dr.	High Efficiency Toilet(s)	7.60
2757	Windsor	clothes washer	6.65
2757	Windsor	High Efficiency Toilet(s)	2.40
6425	Cambria Pines Rd	clothes washer	6.65
2300	Ludlow	High Efficiency Toilet(s)	8.40

Exhibit B.2

Conservation Measures Completed Within Existing CCSD Service Area

Address Service			
Number	Street	Retrofit Type	Retrofit Points
539	Canterbury	clothes washer	6.65
3313	Ramsey	High Efficiency Toilet(s)	8.40
2251	Wilcombe	High Efficiency Toilet(s)	1.20
2294	Wilcombe	High Efficiency Toilet(s)	1.20
1020	Hartford	High Efficiency Toilet(s)	8.40
6170	Moonstone	High Efficiency Toilet(s)	1.20
1579	Burton Dr.	High Efficiency Toilet(s)	16.80
1579	Burton Dr.	High Efficiency Toilet(s)	1.20
445	Bristol	High Efficiency Toilet(s)	1.20
2425	Trenton	High Efficiency Toilet(s)	1.20
1780	Benson	clothes washer	6.65
2940	Burton Cir	High Efficiency Toilet(s)	8.40
6577	Buckley	High Efficiency Toilet(s)	8.40
1715	Hudson	High Efficiency Toilet(s)	3.60
463	Dorset	High Efficiency Toilet(s)	2.40
2083	Fern	High Efficiency Toilet(s)	1.20
460	Weymouth	High Efficiency Toilet(s)	25.20
2147	Tully	High Efficiency Toilet(s)	1.20
492	Worcester	High Efficiency Toilet(s)	1.20
475	Dorset	High Efficiency Toilet(s)	8.40
393	Pembroke	High Efficiency Toilet(s)	8.40
730	Huntington	High Efficiency Toilet(s)	1.20
468	Hastings	High Efficiency Toilet(s)	1.20
1625	Linden Ct	High Efficiency Toilet(s)	1.20
2403	Kerry	High Efficiency Toilet(s)	1.20
2397	Kerry	High Efficiency Toilet(s)	1.20
535	Warwick St	High Efficiency Toilet(s)	1.20
1954	Langton	High Efficiency Toilet(s)	1.20
2096	Main St.	24 commercial clothes washers	737.04
1473	Randall	showerhead(s)	40.60
530	Canterbury	showerhead(s)	4.60
1819	Richard Ave	showerhead(s)	13.80
2198	Burton Dr.	showerhead(s)	9.20
5659	Sunbury Ave	showerhead(s)	9.10
373	Warwick St	showerhead(s)	9.10
386	Wellington	HW recirc pump	6.80
2476	Main St	showerhead(s)	23.20
4660	Windsor	showerhead(s)	13.80
2560	Camborne	showerhead(s)	9.20
930	Hartford	showerhead(s)	9.20
436	Warwick	showerhead(s)	9.20
1416	Leonard Pl	showerhead(s)	9.20
2775	Burton	showerhead(s)	9.20

Exhibit B.2

Conservation Measures Completed Within Existing CCSD Service Area

Address Service		Street	Retrofit Type	Retrofit Points
Number				
6230		Charing Ln	showerhead(s)	9.20
580		Weymouth	showerhead(s)	9.20
393		Pembrook	showerhead(s)	4.60
2280		Trenton	showerhead(s)	4.60
2541		Pierce	showerhead(s)	4.60
3160		Pickwick	HW recirc pump	6.80
2760		Marlborough	HW recirc pump	6.80
2760		Marlborough	showerhead(s)	13.80
1865		Chester	HW recirc pump	6.80
1865		Chester	showerhead(s)	13.80
1599		Newhall	showerhead(s)	9.20
1850		Stuart st	HW recirc pump	6.80
1445		Norton	showerhead(s)	4.60
1819		Astor ave	showerhead(s)	13.80
1241		Ardath Dr	showerhead(s)	9.20
2588		Tipton	HW recirc pump	6.80
2580		Emerson Road	showerhead(s)	9.20
1780		Astor Ave	showerhead(s)	13.80
1181		Hartford	showerhead(s)	4.60
574		Leighton	showerhead(s)	9.20
1835		Avon Ave	showerhead(s)	4.60
2968		Ardath Drive	showerhead(s)	18.40
2588		Tipton	showerhead(s)	9.20
2735		Main St	showerhead(s)	18.40
6700		Moonstone	showerhead(s)	145.00
2618		Main St	showerhead(s)	60.90
1880		Main St	showerhead(s)	116.00
2950		Santa Rosa Crk	showerhead(s)	127.60
2850		Schoolhouse Ln	showerhead(s)	81.20
370		Huntington	showerhead(s)	18.40
5270		Windsor	showerhead(s)	13.80
1763		Hudson	showerhead(s)	4.60
1730		Spencer	showerhead(s)	9.20
889		Northhampton	showerhead(s)	18.20
889		Northhampton	High Efficiency Toilet(s)	2.40
2119		Blythe	showerhead(s)	4.60
1550		Pineridge	HW recirc pump	6.80
373		Kerwinst	showerhead(s)	9.20
531		Leighton	showerhead(s)	9.20
1717		Avon Ave	showerhead(s)	13.80
2146		Cowper	showerhead(s)	9.20
5768		Moonstone	showerhead(s)	9.20
900		Pineridge	HW recirc pump	6.80
900		Pineridge	showerhead(s)	4.60

Exhibit B.2

Conservation Measures Completed Within Existing CCSD Service Area

Address Service Number	Street	Retrofit Type	Retrofit Points
1985	Oxford	showerhead(s)	9.20
3101	Wood Dr	showerhead(s)	9.20
1032	Hartford	showerhead(s)	13.80
3096	macleod	showerhead(s)	9.20
3094	macleod	showerhead(s)	9.20
3176	Wood	showerhead(s)	9.20
650	Randall	showerhead(s)	9.20
640	Warwick st	showerhead(s)	9.20
237	Chatham	showerhead(s)	9.20
1090	Ellis	HW recirc pump	6.80
1090	Ellis	showerhead(s)	9.20
2400	Kerry	HW recirc pump	6.80
2400	Kerry	showerhead(s)	9.10
251	Dorset	showerhead(s)	9.20
390	Pembrook	showerhead(s)	4.60
251	Dorset	HW recirc pump	6.80
1855	Cardiff	showerhead(s)	9.20
1855	Cardiff	High Efficiency Toilet(s)	8.40
1332	Burton	showerhead(s)	9.20
6245	Somerset	showerhead(s)	9.20
4960	Grove	showerhead(s)	9.20
4960	Grove	showerhead(s)	9.20
2755	Trenton	showerhead(s)	9.20
466	Plymouth	showerhead(s)	9.20
2974	Wood Dr	HW recirc pump	6.80
2974	Wood Dr	showerhead(s)	9.20
1979	Dreydon	showerhead(s)	9.20
1970	Tweed	showerhead(s)	9.20
371	Wedgewood	showerhead(s)	9.20
2536	Wilcombe	showerhead(s)	9.20
2646	Ardath	showerhead(s)	9.20
629	Ardath	showerhead(s)	4.60
2576	Burton	showerhead(s)	4.60
2101	Sherwood	showerhead(s)	4.60
1916	Dovedale	showerhead(s)	4.60
1898	Astor	showerhead(s)	4.60
936	Northhampton	showerhead(s)	13.80
405	Dorset	showerhead(s)	13.80
4660	Windsor	High Efficiency Toilet(s)	3.60
2300	Ludlow	showerhead(s)	4.60
2566	Leona Dr	showerhead(s)	9.20
1841	Ogden Dr	showerhead(s)	9.20
679	Canterbury	showerhead(s)	13.80
5671	Sunbury Ave	showerhead(s)	4.60

Exhibit B.2

Conservation Measures Completed Within Existing CCSD Service Area

Address Service			
Number	Street	Retrofit Type	Retrofit Points
2111	Emmons	showerhead(s)	4.60
4865	Windsor	showerhead(s)	9.20
2170	Blythe	showerhead(s)	4.60
5455	Oakhurst	showerhead(s)	4.60
2524	Pierce	showerhead(s)	4.60
1888	Chester	showerhead(s)	4.60
2199	Andover	High Efficiency Toilet(s)	1.20
2425	Sandown	showerhead(s)	18.40
361	Wedgewood	showerhead(s)	13.80
1697	Benson Ave	showerhead(s)	4.60
1830	Ogden Dr	showerhead(s)	4.60
427	Dorset	HW recirc pump	6.80
427	Dorset	showerhead(s)	9.20
995	Iva Ct	showerhead(s)	9.20
554	Cambridge	High Efficiency Toilet(s)	8.40
2421	Leona	showerhead(s)	9.20
2421	Leona	clothes washer	15.10
301	Cambridge	clothes washer	15.10
1110	Kenneth	clothes washer	15.10
6282	Somerset	showerhead(s)	18.20
2237	Romney	showerhead(s)	13.80
500	Ardath	showerhead(s)	9.20
1760	Ogden Dr	showerhead(s)	9.20
2118	Andover	showerhead(s)	4.60
1715	Dreydon	showerhead(s)	9.20
1276	Main street	showerhead(s)	4.60
2110	Mccabe D	showerhead(s)	9.20
4660	Windsor	HW recirc pump	6.80
5321	Plymouth	showerhead(s)	4.60
233	Weymouth	showerhead(s)	18.40
2265	Mccabe	showerhead(s)	9.20
2861	Schoolhouse Ln	showerhead(s)	9.20
1700	Benson	showerhead(s)	9.20
400	Ardath	HW recirc pump	6.80
775	Bixby	showerhead(s)	4.60
2450	Main	showerhead(s)	4.60
2387	Pineridge	HW recirc pump	6.80
2190	Benson	showerhead(s)	9.20
2224	Cowper	showerhead(s)	4.60
1640	Newhall	showerhead(s)	9.20
1455	Berwick	showerhead(s)	9.20
1746	Stuart	showerhead(s)	9.20
479	Plymouth	showerhead(s)	13.80
2505	Ross	showerhead(s)	18.40

Exhibit B.2

Conservation Measures Completed Within Existing CCSD Service Area

Address Service			
Number	Street	Retrofit Type	Retrofit Points
1905	Dreydon	showerhead(s)	9.20
1985	Pineridge	showerhead(s)	13.80
466	Warwick	showerhead(s)	9.20
395	Plymouth	showerhead(s)	13.80
1870	Windsor	showerhead(s)	9.20
1895	Tully	showerhead(s)	9.20
2424	Leona	showerhead(s)	9.20
1018	Hillcrest	showerhead(s)	9.20
602	Exeter	showerhead(s)	13.80
1061	Hillcrest	showerhead(s)	23.00
2260	Benson	showerhead(s)	9.20
475	Chiswick	showerhead(s)	13.80
1990	Stuart	showerhead(s)	13.80
511	Huntington	showerhead(s)	9.20
2120	McCabe	showerhead(s)	9.20
2338	Pierce	showerhead(s)	4.60
1805	Norwick	showerhead(s)	13.80
2905	Burton Dr.	showerhead(s)	725.00
Total			3,890.19

CAMBRIA COMMUNITY SERVICES DISTRICT

DIRECTORS:

AMANDA RICE, President
JIM BAHRINGER, Vice President
HARRY FARMER, Director
AARON WHARTON, Director
DAVID PIERSON, Director



OFFICERS:

JEROME D. GRUBER, General Manager
MONIQUE MADRID, District Clerk
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FIRE PLAN REVIEW

Department of Planning & Building
County Government Center
San Luis Obispo, CA 93408

Date: **September 20, 2018** *Note: see below*

Building owners Name: **People's Self Help Housing Inc.**

Project Address: **Schoolhouse Lane (address to be determined)**

Project type: **Multi-Family Residential (MFR) apartments and common building – new construction**

Building Permit Number: **CDP DRC 2012-00052**

APN# **013.151.034**

Occupancy Type: **R-2 (apartments), mixed use R-3/A-3 (common building)**

Square Footage of Existing Structure: **new construction**

Square Foot of Proposed Addition/Remodel: **Eight structures (seven MFR, one common building) 34,580 ft² total**

Sprinkler System required: **Yes, every building to be included**

Nearest Fire Hydrants: **<200 on Schoolhouse Lane, 1,000 GPM+ (3 new hydrants and FDC are required, location to be determined by Fire Code Official)**

Driveway Access: **Yes** Turnarounds required: **Yes**

Comments: This structure is located in a High Cal-Fire and a High CCSD FD Wildland Fire Risk Zone.

Conditions of approval: See attached

William S. Hollingsworth
Fire Chief

Note Fire Plan Review valid one (1) year from review date listed above. All construction initiated after the review date will require a new application to and review by the CCSD and CSD Fire Department at the sole expense of the applicant.

**INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (WUI)
CLASS 1 IGNITION-RESISTANT CONSTRUCTION**

504.1 General. Class 1 ignition-resistant construction shall be in accordance with Sections 504.2 through 504.11

504.2 Roof Covering. Roofs shall have a Class-A roof covering or a Class-A roof assembly. For roof coverings where the profile allows a space between the roof covering and roof decking, the space at the eave ends shall be fire stopped to preclude entry of flames or embers.

504.3 Protection of Eaves. Eaves and soffits shall be protected on the exposed underside by ignition-resistant materials or by material approved for not less than 1-hour fire-resistance-rated construction.

504.4 Gutters and Downspouts. Gutters and downspouts shall be constructed of noncombustible material.

504.5 Exterior Walls. Exterior walls of buildings or structures shall be constructed with materials approved for not less than 1-hour fire-resistance-rated construction on the exterior side; or approved noncombustible materials; or fire-retardant-treated wood.

505.6 Unenclosed Under floor Protection. Buildings or structures shall have all under floor areas enclosed to the ground, with exterior walls in accordance with Section 505.5.

Exception: Complete enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior one-hour-rated fire-resistive construction or heavy timber construction.

DECKING SURFACES AND UNDER FLOOR PROTECTION

1. Decking

Decking surfaces, stair treads, risers and landings of decks, porches, and balconies where any portion of such surface is within 10' of the primary structure shall comply with one of the following:

- a. Shall be constructed of ignition-resistant materials OR constructed with heavy timber, exterior fire-retardant-treated wood, approved noncombustible materials, OR of 2" nominal redwood construction grade common or better.
- b. The county will accept decks with non-combustible surfaces such as ceramic tile or other product listed as "one-hour" or Class A roof covering. The use of paints, coatings, stains, or other surface treatments are not an approved method of protection.

2. Floor Projections, under floor areas

The underside of floor projections, unenclosed under floor areas attached to, or within 10 feet of a structure, shall be constructed of, or covered with, ignition resistant materials, be of fire retardant or heavy timber construction or shall be enclosed to grade. Minimum Heavy Timber sizes are 6x6 columns, 6x8 beams, 4x8 joists.

504.8 Exterior Glazing. Exterior windows, window walls and glazed doors, windows within exterior doors, and skylights shall be tempered glass, multilayered glazed panels, glass block or have a fire-protection rating of not less than 20 minutes.

504.9 Exterior Doors. Exterior doors shall be approved noncombustible construction, solid core wood not less than 1 ¾ inches thick, or have a fire-protection rating of not less than 20 minutes. Windows within doors and glazed doors shall be in accordance with Section 504.8.

Exception: Vehicle-access doors.

504.10 Vents. Attic ventilation openings, foundation or under-floor vents or other ventilation openings in vertical exterior walls and vents through roofs shall not exceed 144 square inches each. Such vents shall be covered with noncombustible corrosion-resistant mesh with openings not to exceed 1/8 inch (6.4 mm) or shall be designed and approved to prevent flame or ember penetration into the structure.

Attic ventilation openings shall not be located in soffits, in eave overhangs, between rafters at eaves, or in other overhang areas. Gable end and dormer vents shall be located at least 10 feet (3048 mm) from property lines. Under-floor ventilation openings shall be located as close to grade as practical.

504.11 Detached Accessory Structures. Detached accessory structures located less than 50 feet from a building containing habitable space shall have exterior walls constructed with materials approved for not less than 1-hour fire-resistance-rated construction, heavy timber, log wall construction, or constructed with approved noncombustible materials or fire-retardant-treated wood on the exterior side.

When the detached structure is located and constructed so that the structure or any portion thereof projects over a descending slope surface greater than 10 percent, the area below the structure shall have all under floor areas enclosed to within 6 inches of the ground, with exterior wall construction in accordance with Section 504.5 or under floor protection in accordance with Section 504.6.

EXCEPTION: The enclosure may be omitted where the underside of all exposed floors and all exposed structural columns, beams and supporting walls are protected as required for exterior one-hour fire-resistance-rated construction or heavy-timber construction.

603.2 Fuel Modification. Buildings or structures, constructed in compliance with the conforming defensible space category of Table 503.1, shall comply with the fuel modification distances contained in Table 603.2. For all other purposes the fuel modification distance shall not be less than 30 feet, or to the lot line, whichever is less. More is required on sloped parcels.

603.2.2 Trees. Trees are allowed within the defensible space, provided the horizontal distance between crowns of adjacent trees, and crowns of trees and structures, overhead electrical facilities, or unmodified fuel is not less than 10 feet. Trees must be limbed up 6-7 feet from the ground level. Deadwood and litter shall be regularly removed from trees.

604.3 Responsibility. Persons owning, leasing controlling, operating, or maintaining buildings or structures requiring defensible spaces are responsible for maintenance of the defensible spaces. Maintenance of the defensible space shall include modifying or removing non-fire-restive vegetation and keeping the leaves, needles and other dead vegetation material regularly removed from roofs of buildings and structures. All Irish/Scotch broom, and pampas grass must be removed due to its volatility. Ornamental vegetative fuels or cultivated ground cover, such as green grass, ivy, succulents or similar plants used as ground cover, are allowed to be within the designed defensible space provided they do not form a means of readily transmitting fire from the native growth to any structure.

CALIFORNIA FIRE CODE (CFC)

304.3.4 Combustible Waste Material. Dumpsters with an individual capacity of 1.0 cubic yard or more shall not be stored in buildings or placed within 5 feet of combustible walls.

503.2.3 Fire Apparatus Access Roads - Surface. All fire apparatus access roads must be able to support a minimum of 40,000 pounds as certified by a licensed civil engineer.

503.2.4 Fire Apparatus Access Roads – Turning Radius. The turning radius of a fire apparatus access road or driveway shall be at least 28 feet inside radius and 48 feet outside radius.

503.3 Fire Apparatus Access Roads – Marking. Where required by the fire code official, approved signs or other approved notices or marking that include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof.

505.1 Addressing. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of 4 inches (102 mm) high with a minimum stroke width of 0.5 inch (12.7 mm).

506.1 Key Boxes Where Required. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official.

507.3 Fire Flow. Fire flow requirements for building or portions of building and facilities shall be determined by an approved method or Appendix B.

903.2 Automatic Sprinkler System Where Required (see attached Table 903.1)

906.1 Portable Fire Extinguishers – Where Required. R-2 and R-3/A-3 Occupancies: A minimum of one 2A10BC extinguisher per unit for every 3,000 ft² floor area, travel distance not to exceed 75 ft, in compliance with CFC 906.3. **Locations shall be approved by the Fire Department.** Extinguishers shall be serviced annually and shall have a current service tag attached.

907.2.9 Group R-2. Fire alarm systems and smoke alarms shall be installed in Group R-2 occupancies as required in Section 907.2.9.1.

907.2.11.2 Group R-2. Single or multiple station smoke alarms shall be installed and maintained in Group R-2 regardless of occupant load.

907.6 Installation. A fire alarm system shall be installed and monitored in accordance with Sections 907.6.1 through 907.6.6.3 and NFPA 72.

912.1 Installation. Fire department connection shall be installed in accordance with the NFPA standard applicable to the system design and shall comply with Sections 912.2 through 912.7

915.1 General. Carbon monoxide detection shall be installed in new building in accordance with Sections 915.1.1 through 915.7.

OTHER REQUIREMENTS

All applicable requirements as set forth in the California Fire Code, California Building Code, International Wildland-Urban Interface Code, and N.F.P.A.

Table 903.1 – Automatic Fire Sprinkler System Requirements for NEW CONSTRUCTION

STRUCTURE TYPE	SPRINKLERS REQUIRED ⁵	DESCRIPTION	SQUARE FOOTAGE ¹		REQUIREMENTS	EXCEPTIONS	EXAMPLES	MIN. DISTANCE BETWEEN STRUCTURES AND PROPERTY LINES(PL)	
			MIN	MAX					
New Construction	Yes	New buildings including mobile homes and commercial coaches ¹	0		Throughout new buildings	See Footnote ^{3,4}	All new construction and dwellings	Per CBC, CRC	
Residential Accessory Structure	Yes	Accessory structures as defined in CRC	1,000	3,000	No heating or cooling No living or sleeping spaces	See Footnote ²	One story garage, workshop, studio, residential storage bldg	Up to 1,000sf. per CRC, CBC	>1,000sf. 50 feet from PL, 50 feet from other structures
Agricultural Accessory Structure	Yes	Accessory to agricultural operation, livestock, crops. Agricultural operations in accordance with AG LUO & CBC definition	3,000	5,000	Primary usage must be 75% livestock or crops (affidavit required)	See Footnote ²	One story barn or stables	100 feet from PL, 50 feet from other structures	
Pole barn, Covered arena, Greenhouse	No	One story hay storage, covered riding arena, greenhouses	Unlimited if 60 feet on all sides per CBC		No employees, no public attendance and open on two or more sides	None	See description	100 feet from PL, 50 feet from other structures	
Agricultural Exempt (no permit required)	No	LUO Ag Exempt & signed affidavit	0	3,000	Per Ag Exempt agreement (affidavit required)	See Title 19	Ag-Barn on Ag zoned land over 20 acres	100 feet from PL, 50 feet from other structures	

References:

CRC: California Residential Code | **CFC:** California Fire Code | **CBC:** California Building Code | **LUO:** Land Use Ordinance (San Luis Obispo County)

Footnotes:

- For the purpose of calculating square footage for the application of fire sprinkler requirements and fire flow requirements, the floor area shall include all combustible areas attached to the structure, including garages, patio covers, overhangs, covered walkways and decks.
- Structures over the minimum square footage must meet all of the above table requirements and all the following requirements:
 - no conditioned or habitable space, • no second stories (lofts 1/3 the floor area and open to below are allowed), • minimum two exits including one pedestrian door (side hinge swinging door), • workshops or offices limited to 10% of floor area, • dedicated fire water storage minimum of 5,000 gallons steel tank in full compliance with NFPA 1142(see fire safety plan) if there is no community provided fire hydrant within 500 ft., • structure complies with the California Wildland Urban-Interface Code, • heat detectors installed in accordance with CBC linked to an audible bell mounted in the exterior of the structure, • Cannot be used as a place of employment or for public assemblage/events, • Cannot be used as a commercial building.
- A single-story building or commercial coach where floor area does not exceed 1000 square feet and the occupancy is not a Group A, E Daycare, F1 Woodworking, R, Group H, Group I occupancy or any occupancy where cellulose nitrate film, pyroxylin plastics or any hazardous materials manufactured, stored or handled in quantities in excess of Tables in CBC, CFC or within Los Osos CSD and the fire flow from a hydrant is less than 750gpm at 20psi.
- Mobile/manufactured or factory built homes or commercial coaches constructed or altered on or before March 12, 2011 which were not manufactured with automatic fire sprinklers.
- Automatic Fire Sprinklers installed at exterior locations shall be approved corrosion resistant devices when environmental or operational conditions warrant.

In addition, the following project specific information and/or reference materials have been considered as a part of the Initial Study:

- **Phase I Cultural Resources Inventory Survey and Native American Consultation, Cultural Resource Management Services; December 17, 2012**
- **Preliminary Biological Report, Althouse and Meade, Inc.; January 2013**
- **Soils Engineering Report, GeoSolutions, Inc.; February 28, 2013**
- **Botanical Survey, Althouse and Meade, Inc.; August 5, 2013**
- **Traffic Assessment, Associated Transportation Engineers; September 13, 2013**
- **Engineering Geology Investigation, GeoSolutions, Inc.; February 22, 2018**



Exhibit B - Mitigation Summary Table

Per Public Resources Code Section 21081.6, the following measures also constitute the mitigation monitoring and/or reporting program that will reduce potentially significant impacts to less than significant levels. These measures will become conditions of approval (COAs) should the project be approved. The Lead Agency (County) or other Responsible Agencies, as specified in the following measures, are responsible to verify compliance with these COAs.

Air Quality

AQ-1 The following measures shall be incorporated into the construction phase of the project and shown on all applicable plans **prior to issuance of construction and/or grading permits**:

- A. Reduce the amount of disturbed area where possible;
- B. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site and from exceeding the APCD's limit of 20% opacity for greater than 3 minutes in any 60-minute period. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible;
- C. All dirt stock-pile areas should be sprayed daily and covered with tarps or other dust barriers as needed;
- D. Permanent dust control measures identified in the approved project revegetation and landscape plans shall be implemented as soon as possible following completion of any soil disturbing activities;
- E. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading shall be sown with a fast germinating native grass seed and watered until vegetation is established;
- F. All disturbed soil areas not subject to revegetation shall be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;
- G. All roadways, driveways, sidewalks, etc. to be paved shall be completed as soon as possible. In addition building pads shall be laid as soon as possible after grading unless seeding or soil binders are used;
- H. Vehicle speed for all construction vehicles shall not exceed 15 miles per hour on any unpaved surface at the construction site;
- I. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or shall maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114;
- J. The 'track-out prevention device' can be any device or combination of devices that are effective at preventing track-out, located at the point of intersection of an unpaved area and a paved road. Rumble strips or steel plate devices need periodic cleaning to be effective. If paved roadways accumulate tracked out soils, the track-out prevention device may need to be modified; and
- K. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water shall be used where feasible. Roads shall be pre-wetted prior to sweeping when feasible.

AQ-2 Construction Phase Idling Limitations. This project is in close proximity to nearby sensitive receptors (Santa Lucia Middle School, residences). Projects that will have diesel powered

construction activity in close proximity to any sensitive receptor shall implement the following mitigation measures to ensure that public health benefits are realized by reducing toxic risk from diesel emissions:

To help reduce sensitive receptor emissions impact of diesel vehicles and equipment used to construct the project, the applicant shall implement the following idling control techniques:

- A. California Diesel Idling Regulations. On-road diesel vehicles shall comply with Section 2485 of Title 13 of the California Code of Regulations. This regulation limits idling from diesel-fueled commercial motor vehicles with gross vehicular weight ratings of more than 10,000 pounds and licensed for operation on highways. It applies to California and non-California based vehicles. In general, the regulation specifies that drivers of said vehicles:
 - i. Shall not idle the vehicle's primary diesel engine for greater than 5-minutes at any location, except as noted in Subsection (d) of the regulation; and
 - ii. Shall not operate a diesel-fueled auxiliary power system (APS) to power a heater, air conditioner, or any ancillary equipment on that vehicle during sleeping or resting in a sleeper berth for greater than 5 minutes at any location when within 1,000 feet of a restricted area, except as noted in Subsection (d) of the regulation.
- B. Off-road diesel equipment shall comply with the 5-minute idling restriction identified in Section 2449(d)(2) of the California Air Resources Board's In-Use Off-Road Diesel regulation.
- C. Signs must be posted in the designated queuing areas and job sites to remind drivers and operators of the state's 5-minute idling limit.
- D. The specific requirements and exceptions in the regulations can be reviewed at the following web sites: www.arb.ca.gov/msprog/truck-idling/factsheet.pdf and www.arb.ca.gov/regact/2007/ordiesl07/froal.pdf.
- E. In addition to the state required diesel idling requirements, the project applicant shall comply with these more restrictive requirements to minimize impacts to nearby sensitive receptors:
 - i. Staging and queuing areas shall not be located within 1,000 feet of sensitive receptors;
 - ii. Diesel idling within 1,000 feet of sensitive receptors shall not be permitted;
 - iii. Use of alternative fueled equipment is recommended; and
 - iv. Signs that specify the no idling areas must be posted and enforced at the site.

AQ-3 During construction, prior to operation of the following list of equipment (or similar equipment), the applicant shall contact the APCD to determine if an operating permit is necessary:

- A. Power screens, conveyors, diesel engines, and/or crushers
- B. Portable generators and equipment with engines that are 50 horsepower (hp) or greater
- C. Electrical generation plants or the use of standby generator
- D. IC engines
- E. Rock and pavement crushing
- F. Unconfined abrasive blasting operations
- G. Tub grinders

- H. Trommel screens
- I. Portable plants (e.g. aggregate plant, asphalt batch plant, concrete batch plant, etc)

AQ-4 Prior to commencement of construction activities, the applicant shall notify the APCD, by letter, that the above air quality mitigation measures have been applied.

AQ-5 Operational Phase Impacts - Residential Wood Combustion. Under APCD Rule 504, only APCD approved wood burning devices can be installed in new dwelling units. These devices include:

- A. All EPA-Certified Phase II wood burning devices;
- B. Catalytic wood burning devices which emit less than or equal to 4.1 grams per hour of particulate matter which are not EPA-Certified but have been verified by a nationally-recognized testing lab;
- C. Non-catalytic wood burning devices which emit less than or equal to 7.5 grams per hour of particulate matter which are not EPA-Certified but have been verified by a nationally-recognized testing lab;
- D. Pellet-fueled woodheaters; and
- E. Dedicated gas-fired fireplaces.

Biological Resources

BR-1 Within one week of ground disturbance activities, if work occurs between March 15 and August 15, nesting bird surveys shall be conducted. If surveys do not locate nesting birds, construction activities may be conducted. If nesting birds are located, no construction activities shall occur within 100 feet of nests until chicks are fledged. A pre-construction survey report shall be submitted to the Department of Planning and Building immediately upon completion of the survey. The report shall detail appropriate fencing or flagging of the buffer zone and make recommendations on additional monitoring requirements. A map of the Projects site and nest locations shall be included with the report. The Project biologist conducting the nesting survey shall have the authority to reduce or increase the recommended buffer depending upon site conditions.

If nests of the sensitive birds are identified in the work area, the following additional mitigation measures shall be implemented:

- A. Occupied nests of special status bird species shall be mapped using GPS or survey equipment. Work shall not be allowed within a 100 foot buffer while the nest is in use. The buffer zone shall be delineated on the ground with orange construction fencing where it overlaps work areas.
- B. Occupied nests of special status bird species that are within 100 feet of project work areas shall not be monitored at least every two weeks through the nesting season to document nest success and check for project compliance with buffer zones. Once burrows or nests are deemed inactive and/or chicks have fledged and are no longer dependent on the nest, work may commence in these areas.

BR-2 Prior to issuance of grading and/or construction permits, the applicant shall submit to the Department of Planning and Building for review and approval, a mitigation and monitoring plan that provides for the retention of a viable population of Cambria morning glory in suitable open space areas on the property. Implementation of the plan will reduce impacts to Cambria morning glory to a less than significant level.

- A. The mitigation plan will require that the plant materials (seed or cuttings) come from the site so that genetic material of the original population will be reintroduced.
- B. The mitigation site shall be maintained and monitored for a minimum of 5 years.
- C. The plan shall provide for the annual success of a number of individual Cambria morning glory plants at least equal to the current population.

BR-3 Prior to issuance of grading and/or construction permits, the applicant shall conduct a survey of any trees planned for removal over 20 inches at breast height (4.5 ft), by a qualified biologist to determine if any of the trees proposed for removal or trimming harbor sensitive bat species or maternal bat colonies. If a non-maternal roost is found, the qualified biologist, with prior approval from California Department of Fish and Wildlife, will install one-way valves or other appropriate passive relocation method. For each occupied roost removed, one bat box shall be installed in similar habitat and should have similar cavity or crevices properties to those which are removed, including access, ventilation, dimensions, height above ground, and thermal conditions. Maternal bat colonies may not be disturbed.

BR-4 Prior to issuance of grading and/or construction permits, the applicant shall conduct a pre-construction survey within thirty days of beginning construction work on the project site to identify if any woodrat nests are present. If found, and where practicable, observe a 25-foot setback from known woodrats nests. No project activities shall occur within the setback. Nests that cannot be avoided shall be dismantled prior to construction activities to allow any animals to escape harm and to reestablish territories for the next breeding season. Nest shall be dismantled outside the breeding season, between September 1 and December 31. Dismantling shall be done by hand, allowing any animal to escape toward available habitat. If a litter of young is found or suspected, nest material should be replaced, and the nest left alone for 2-3 weeks before a recheck to verify that young are capable of independent survival before proceeding with nest dismantling (DFG, 2008). Nest dismantling shall be conducted under supervision by a qualified biologist.

- A. If woodrat nests are identified within the Study Area during preconstruction surveys, a biological monitor shall be present during construction activities in all areas identified as potential habitat for special status mammals that have not previously been disturbed by construction. The monitor shall be qualified to capture and relocate any special status species that are found during construction. The monitor shall have the authority to stop work, if special status species are encountered, for any duration necessary to capture a relocate the animals.

BR-5 At the time of application for grading and/or construction permits, the applicant shall submit to the Department of Planning and Building for review and approval, a Landscape Plan that provides for the planting of all open areas of the site disturbed by project construction with native, drought and fire resistant species that are compatible with the habitat values of the surrounding forest. In addition, non-native, invasive, and water intensive (e.g. turf grass) landscaping shall be prohibited on the entire site. The landscape plan shall clearly show the following:

- A. Limit tree removal to no more than five (5) Monterey pine tree having a six inch diameter or larger and three (3) Coast live oak trees having a four inch diameter at a height of 4.5 feet above the ground, as shown on the approved site plan. Construction plans shall clearly delineate all trees within 50 feet of the proposed project, and shall show which trees are to be removed or impacted, and which trees are to remain unharmed.
- B. The five (5) Monterey pine trees removed as a result of the project shall be replaced at a 4:1 ratio. A total of twenty (20) Monterey pine replacement trees shall be one gallon saplings grown from the Cambrian stand; *Pinus radiata macrocarpa*.

- C. The three (3) Coast live oaks removed as a result of the project shall be replaced at a 6:1 ratio. A total of eighteen (18) one gallon size Coast live oak replacement trees shall be planted.
- D. Description of irrigation plans and plan notes shall indicate compliance with the standards of Vegetation Replacement in the North Coast Planning Area.
- E. Plan notes shall indicate that all new plants shall be maintained until successfully established and in addition, standard planting procedures shall be used.

BR-6 At the time of application for grading and/or construction permits, the construction and grading plans shall show the following:

- A. The “project limit area” shall include all areas of grading (including cut and fill areas, utility trenching and offsite improvements) and vegetation removal, the development footprint (i.e., all structures and/or site disturbance) necessary fire clearances and staging areas for all construction activities, the location of those activities, and areas for equipment and material storage.
- B. Sturdy and highly visible protective fencing that will be placed along the 'project limit area'. Plan notes shall indicate this fence should remain in place during the duration of project construction to protect vegetation from construction activities.
- C. Plan notes shall indicate native trees and undergrowth outside of the “project limit area” shall be left undisturbed.
- D. Identify any necessary tree trimming. Plan notes shall indicate a skilled arborist, or accepted arborist's techniques, will be used when removing tree limbs.
- E. Plan notes shall indicate wherever soil compaction from construction will occur within driplines that the compacted root zone area shall be aerated by using one of the following techniques:
 - i. Injecting pressurized water.
 - ii. Careful shallow ripping that radiates out from the trunk (no cross-root ripping).
 - iii. Other County-approved techniques.
- F. Plan notes shall indicate no more than one-third of the area of the drip line around any tree to be retained should be disturbed, or as recommended in an arborist's or biologist's report.

BR-7 Pre-construction surveys and avoidance measures. Prior to any ground disturbance, the applicant shall conduct pre-construction biological surveys for:

- A. Special-status plant species in all areas subject to ground-disturbing activity, including, but not limited to, grading, footing preparation, assembly yards, staging areas, new access roads, utility lines, etc. The surveys shall be conducted during the appropriate blooming period(s) by a County-qualified plant botanist/biologist according to protocols established by the USFWS, CDFW, and California Native Plant Society (CNPS). All listed plant species found shall be marked and avoided. Any populations of special-status plants found during surveys will be fully described, mapped, and a CNPS Field Survey Form or written equivalent shall be prepared.

These surveys must be accomplished within 24 months of construction and during a year in which rainfall totals are at least 80% of average and in which the temporal distribution of rainfall is not highly abnormal (e.g., with the vast majority of rainfall occurring very early or late in the season) to be reasonably certain of the presence/ absence of rare plant species, unless surveys of reference populations document that precipitation conditions would not have adversely affected the detectability of the species.

- B. Sensitive wildlife species in all areas subject to ground-disturbing activity, including, but not limited to, grading, footing preparation, assembly yards, staging areas, new access roads, utility lines, etc. Furthermore, the survey shall extend at least 250 feet out from the project limits, given the larger buffers that certain wildlife species require when present. This buffer survey distance may increase if there are known species in the area that require greater buffer distances. The surveys shall be conducted during the appropriate period(s) by a County-qualified biologist according to protocols established by the USFWS and/or CDFW. All sensitive species found shall be fully discussed and as needed, appropriate measures provided to avoid or minimize impacts, per established protocols. Protective buffer distances shall be specified. Any wildlife relocation shall be according to existing protocols by qualified biologists as recognized by CDFW and/or USFWS. All reports prepared by the biologist(s) shall be submitted to the County for compliance verification.

If wildlife relocation is required, success criteria shall be developed and a reasonable monitoring milestone and durations established. Monitoring the success criteria shall be conducted for at least three (3) years after initial relocation. If any success criteria are not being met, the Applicant shall complete the necessary remedial actions as quickly as possible. Once all county-approved success criteria have been met, wildlife monitoring activities are no longer required.

Prior to site grading, any populations of special-status plant species or resident/ migratory wildlife identified during the surveys shall be protected by a buffer zone. The buffer zone shall be established around these areas and shall be of sufficient size to eliminate potential disturbance to the species from human activity and any other potential sources of disturbance including human trampling, erosion, and dust. The size of the buffer may depend upon the proposed activities and the species impacted. The buffer for herbaceous and shrub species shall be, at minimum, 50 feet from the perimeter of the population or the individual. Wildlife buffers will be more and variable depending on the species found.

Highly visible flagging shall be placed along the buffer area and remain in good working order during the duration of any construction activities in the area.

Geology and Soils

- GS-1 Prior to issuance of construction and/or grading permits**, the applicant shall submit final plans demonstrating compliance with the Engineering Geology Investigation Update (February 22, 2018) and Soils Engineering Report (February 28, 2013).
- GS-2 Prior to issuance of construction and/or grading permits**, the applicant shall submit an erosion and sedimentation control plan in compliance with County Ordinance Section 22.52.120.
- GS-3 Prior to issuance of construction and/or grading permits**, the applicant shall submit a copy of the Stormwater Pollution Prevention Plan (SWPPP) approved by the State Water Resources Control Board. The applicant must also enroll for coverage under California's Construction General Permit.

Visual Resources

- VR-1 Prior to issuance of grading and/or construction permits**, the applicant shall provide an exterior lighting plan. The lighting plan shall be consistent with Section 23.04.320 of the Coastal Zone Land Use Ordinance and provide for bollard and low-voltage lighting in all outdoor landscaping and patio areas. Lighting shall be the minimum necessary for public safety. The plan shall include the height, location, and intensity of all exterior lighting. All lighting fixtures

shall be shielded so that neither the lamp nor the related reflector interior surface is visible from neighboring properties. All lighting poles, fixtures, and hoods shall be dark colored. Security lighting shall be shielded so as not to create glare when viewed from neighboring properties.

VR-2 Prior to issuance of grading and/or construction permits, the applicant shall submit construction drawings consistent with the approved color board, site plan, floor plan, and elevations that demonstrate the following:

- A. Highly articulated architectural forms;
- B. Roof elevations do not silhouette the skyline; and
- C. Colors shall minimize the structure massing of new development by reducing the contrast between the proposed development and the surrounding environment.

VR-3 Prior to occupancy or final inspection, whichever occurs first, the approved lighting plan shall be implemented.

Figure 1. Biological Resources Map



Legend

- Study Area
- Anthropogenic
- Monterey Pine Forest
- Cambria Morning Glory
- California Annual Grassland
- Poison-oak/Blackberry Scrub



**Peoples' Self Help Housing
Cambria Pines**

2012 San Luis Obispo County
NAIP Aerial Photography
Map Updated: August 05, 2013, 10:20 AM



Althouse and Meade, Inc.
1602 Spring Street
Paso Robles, CA 93446

November 9, 2018

**DEVELOPER'S STATEMENT FOR
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The applicant agrees to incorporate the following measures into the project. These measures become a part of the project description and therefore become a part of the record of action upon which the environmental determination is based. All development activity must occur in strict compliance with the following mitigation measures. These measures shall be perpetual and run with the land. These measures are binding on all successors in interest of the subject property.

Note: The items contained in the boxes labeled "Monitoring" describe the County procedures to be used to ensure compliance with the mitigation measures.

The following mitigation measures address impacts that may occur as a result of the development of the project.

Air Quality

AQ-1 The following measures shall be incorporated into the construction phase of the project and shown on all applicable plans **prior to issuance of construction and/or grading permits:**

- A. Reduce the amount of disturbed area where possible;
- B. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site and from exceeding the APCD's limit of 20% opacity for greater than 3 minutes in any 60-minute period. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible;
- C. All dirt stock-pile areas should be sprayed daily and covered with tarps or other dust barriers as needed;
- D. Permanent dust control measures identified in the approved project revegetation and landscape plans shall be implemented as soon as possible following completion of any soil disturbing activities;
- E. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading shall be sown with a fast germinating native grass seed and watered until vegetation is established;
- F. All disturbed soil areas not subject to revegetation shall be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;
- G. All roadways, driveways, sidewalks, etc. to be paved shall be completed as soon as possible. In addition building pads shall be laid as soon as possible after grading unless seeding or soil binders are used;
- H. Vehicle speed for all construction vehicles shall not exceed 15 miles per hour on any unpaved surface at the construction site;
- I. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or shall maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114;

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- J. The 'track-out prevention device' can be any device or combination of devices that are effective at preventing track-out, located at the point of intersection of an unpaved area and a paved road. Rumble strips or steel plate devices need periodic cleaning to be effective. If paved roadways accumulate tracked out soils, the track-out prevention device may need to be modified; and
- K. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water shall be used where feasible. Roads shall be pre-wetted prior to sweeping when feasible.

Monitoring: The Department of Planning and Building will verify this measure by reviewing submitted plans for inclusion of all required information prior to issuing construction and/or grading permits.

AQ-2 Construction Phase Idling Limitations. This project is in close proximity to nearby sensitive receptors (Santa Lucia Middle School, residences). Projects that will have diesel powered construction activity in close proximity to any sensitive receptor shall implement the following mitigation measures to ensure that public health benefits are realized by reducing toxic risk from diesel emissions:

To help reduce sensitive receptor emissions impact of diesel vehicles and equipment used to construct the project, the applicant shall implement the following idling control techniques:

- A. California Diesel Idling Regulations. On-road diesel vehicles shall comply with Section 2485 of Title 13 of the California Code of Regulations. This regulation limits idling from diesel-fueled commercial motor vehicles with gross vehicular weight ratings of more than 10,000 pounds and licensed for operation on highways. It applies to California and non-California based vehicles. In general, the regulation specifies that drivers of said vehicles:
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- B. Off-road diesel equipment shall comply with the 5-minute idling restriction identified in Section 2449(d)(2) of the California Air Resources Board's In-Use Off-Road Diesel regulation.
- C. Signs must be posted in the designated queuing areas and job sites to remind drivers and operators of the state's 5-minute idling limit.
- D. The specific requirements and exceptions in the regulations can be reviewed at the following web sites: www.arb.ca.gov/msprog/truck-idling/factsheet.pdf and www.arb.ca.gov/regact/2007/ordiesl07/froal.pdf.
- E. In addition to the state required diesel idling requirements, the project applicant

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shall comply with these more restrictive requirements to minimize impacts to nearby sensitive receptors:

- i. Staging and queuing areas shall not be located within 1,000 feet of sensitive receptors;
- ii. Diesel idling within 1,000 feet of sensitive receptors shall not be permitted;
- iii. Use of alternative fueled equipment is recommended; and
- iv. Signs that specify the no idling areas must be posted and enforced at the site.

Monitoring: Compliance will be verified by APCD in consultation with the Department of Planning and Building.

AQ-3 During construction, prior to operation of the following list of equipment (or similar equipment), the applicant shall contact the APCD to determine if an operating permit is necessary:

- A. Power screens, conveyors, diesel engines, and/or crushers
- B. Portable generators and equipment with engines that are 50 horsepower (hp) or greater
- C. Electrical generation plants or the use of standby generator
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- G. Tub grinders
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- I. Portable plants (e.g. aggregate plant, asphalt batch plant, concrete batch plant, etc)

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AQ-4 Prior to commencement of construction activities, the applicant shall notify the APCD, by letter, that the above air quality mitigation measures have been applied.

Monitoring: Compliance will be verified by APCD in consultation with the Department of Planning and Building.

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AQ-5 Operational Phase Impacts - Residential Wood Combustion. Under APCD Rule 504, only APCD approved wood burning devices can be installed in new dwelling units. These devices include:

- A. All EPA-Certified Phase II wood burning devices;
- B. Catalytic wood burning devices which emit less than or equal to 4.1 grams per hour of particulate matter which are not EPA-Certified but have been verified by a nationally-recognized testing lab;
- C. Non-catalytic wood burning devices which emit less than or equal to 7.5 grams per hour of particulate matter which are not EPA-Certified but have been verified by a nationally-recognized testing lab;
- D. Pellet-fueled woodheaters; and
- E. Dedicated gas-fired fireplaces.

Monitoring: Compliance will be verified by APCD in consultation with the Department of Planning and Building.

Biological Resources

BR-1 Within one week of ground disturbance activities, if work occurs between March 15 and August 15, nesting bird surveys shall be conducted. If surveys do not locate nesting birds, construction activities may be conducted. If nesting birds are located, no construction activities shall occur within 100 feet of nests until chicks are fledged. A pre-construction survey report shall be submitted to the Department of Planning and Building immediately upon completion of the survey. The report shall detail appropriate fencing or flagging of the buffer zone and make recommendations on additional monitoring requirements. A map of the Projects site and nest locations shall be included with the report. The Project biologist conducting the nesting survey shall have the authority to reduce or increase the recommended buffer depending upon site conditions.

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- B. Occupied nests of special status bird species that are within 100 feet of project work areas shall not be monitored at least every two weeks through the nesting season to document nest success and check for project compliance with buffer zones. Once burrows or nests are deemed inactive and/or chicks have fledged and are no longer dependent on the nest, work may commence in these areas.

Monitoring: Required prior to issuance of a grading and/or construction permit. Compliance will be verified by the County Department of Planning and Building.

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BR-2 Prior to issuance of grading and/or construction permits, the applicant shall submit to the Department of Planning and Building for review and approval, a mitigation and monitoring plan that provides for the retention of a viable population of Cambria morning glory in suitable open space areas on the property. Implementation of the plan will reduce impacts to Cambria morning glory to a less than significant level.

- A. The mitigation plan will require that the plant materials (seed or cuttings) come from the site so that genetic material of the original population will be reintroduced.
- B. The mitigation site shall be maintained and monitored for a minimum of 5 years.
- C. The plan shall provide for the annual success of a number of individual Cambria morning glory plants at least equal to the current population.

Monitoring: Required prior to issuance of a grading and/or construction permit. Compliance will be verified by the County Department of Planning and Building.

BR-3 Prior to issuance of grading and/or construction permits, the applicant shall conduct a survey of any trees planned for removal over 20 inches at breast height (4.5 ft), by a qualified biologist to determine if any of the trees proposed for removal or trimming harbor sensitive bat species or maternal bat colonies. If a non-maternal roost is found, the qualified biologist, with prior approval from California Department of Fish and Wildlife, will install one-way valves or other appropriate passive relocation method. For each occupied roost removed, one bat box shall be installed in similar habitat and should have similar cavity or crevices properties to those which are removed, including access, ventilation, dimensions, height above ground, and thermal conditions. Maternal bat colonies may not be disturbed.

Monitoring: Required prior to issuance of a grading and/or construction permit. Compliance will be verified by the County Department of Planning and Building in consultation with the California Department of Fish and Wildlife as necessary.

BR-4 Prior to issuance of grading and/or construction permits, the applicant shall conduct a pre-construction survey within thirty days of beginning construction work on the project site to identify if any woodrat nests are present. If found, and where practicable, observe a 25-foot setback from known woodrats nests. No project activities shall occur within the setback. Nests that cannot be avoided shall be dismantled prior to construction activities to allow any animals to escape harm and to reestablish territories for the next breeding season. Nest shall be dismantled outside the breeding season, between September 1 and December 31. Dismantling shall be done by hand, allowing any animal to escape toward available habitat. If a litter of young is found or suspected, nest material should be replaced, and the nest left alone for 2-3 weeks before a recheck to verify that young are capable of independent survival before proceeding with nest dismantling (DFG, 2008). Nest dismantling shall be conducted under supervision by a qualified biologist.

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- A. If woodrat nests are identified within the Study Area during preconstruction surveys, a biological monitor shall be present during construction activities in all areas identified as potential habitat for special status mammals that have not previously been disturbed by construction. The monitor shall be qualified to capture and relocate any special status species that are found during construction. The monitor shall have the authority to stop work, if special status species are encountered, for any duration necessary to capture and relocate the animals.

Monitoring: Required prior to issuance of a grading and/or construction permit. Compliance will be verified by the County Department of Planning and Building.

BR-5 At the time of application for grading and/or construction permits, the applicant shall submit to the Department of Planning and Building for review and approval, a Landscape Plan that provides for the planting of all open areas of the site disturbed by project construction with native, drought and fire resistant species that are compatible with the habitat values of the surrounding forest. In addition, non-native, invasive, and water intensive (e.g. turf grass) landscaping shall be prohibited on the entire site. The landscape plan shall clearly show the following:

- A. Limit tree removal to no more than five (5) Monterey pine tree having a six inch diameter or larger and three (3) Coast live oak trees having a four inch diameter at a height of 4.5 feet above the ground, as shown on the approved site plan. Construction plans shall clearly delineate all trees within 50 feet of the proposed project, and shall show which trees are to be removed or impacted, and which trees are to remain unharmed.
- B. The five (5) Monterey pine trees removed as a result of the project shall be replaced at a 4:1 ratio. A total of twenty (20) Monterey pine replacement trees shall be one gallon saplings grown from the Cambrian stand; *Pinus radiata macrocarpa*.
- C. The three (3) Coast live oaks removed as a result of the project shall be replaced at a 6:1 ratio. A total of eighteen (18) one gallon size Coast live oak replacement trees shall be planted.
- D. Description of irrigation plans and plan notes shall indicate compliance with the standards of Vegetation Replacement in the North Coast Planning Area.
- E. Plan notes shall indicate that all new plants shall be maintained until successfully established and in addition, standard planting procedures shall be used.

Monitoring: Required prior to issuance of a grading and/or construction permit. Compliance will be verified by the County Department of Planning and Building.

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BR-6 At the time of application for grading and/or construction permits, the construction and grading plans shall show the following:

- A. The "project limit area" shall include all areas of grading (including cut and fill areas, utility trenching and offsite improvements) and vegetation removal, the development footprint (i.e., all structures and/or site disturbance) necessary fire clearances and staging areas for all construction activities, the location of those activities, and areas for equipment and material storage.
- B. Sturdy and highly visible protective fencing that will be placed along the 'project limit area'. Plan notes shall indicate this fence should remain in place during the duration of project construction to protect vegetation from construction activities.
- C. Plan notes shall indicate native trees and undergrowth outside of the "project limit area" shall be left undisturbed.
- D. Identify any necessary tree trimming. Plan notes shall indicate a skilled arborist, or accepted arborist's techniques, will be used when removing tree limbs.
- E. Plan notes shall indicate wherever soil compaction from construction will occur within driplines that the compacted root zone area shall be aerated by using one of the following techniques:
 - i. Injecting pressurized water.
 - ii. Careful shallow ripping that radiates out from the trunk (no cross-root ripping).
 - iii. Other County-approved techniques.
- F. Plan notes shall indicate no more than one-third of the area of the drip line around any tree to be retained should be disturbed, or as recommended in an arborist's or biologist's report.

Monitoring: The Department of Planning and Building will verify this measure by reviewing submitted plans for inclusion of all required information prior to issuing construction permits.

BR-7 Pre-construction surveys and avoidance measures. Prior to any ground disturbance, the applicant shall conduct pre-construction biological surveys for:

- A. Special-status plant species in all areas subject to ground-disturbing activity, including, but not limited to, grading, footing preparation, assembly yards, staging areas, new access roads, utility lines, etc. The surveys shall be conducted during the appropriate blooming period(s) by a County-qualified plant botanist/biologist according to protocols established by the USFWS, CDFW, and California Native Plant Society (CNPS). All listed plant species found shall be marked and avoided. Any populations of special-status plants found during surveys will be fully described, mapped, and a CNPS Field Survey Form or written equivalent shall be prepared.

These surveys must be accomplished within 24 months of construction and during a year in which rainfall totals are at least 80% of average and in which the temporal distribution of rainfall is not highly abnormal (e.g., with the vast majority of rainfall occurring very early or late in the season) to be reasonably certain of the presence/absence of rare plant species, unless surveys of reference populations document

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DEVELOPMENT PLAN / COASTAL DEVELOPMENT PERMIT DRC2012-00052

that precipitation conditions would not have adversely affected the detectability of the species.

- B. Sensitive wildlife species in all areas subject to ground-disturbing activity, including, but not limited to, grading, footing preparation, assembly yards, staging areas, new access roads, utility lines, etc. Furthermore, the survey shall extend at least 250 feet out from the project limits, given the larger buffers that certain wildlife species require when present. This buffer survey distance may increase if there are known species in the area that require greater buffer distances. The surveys shall be conducted during the appropriate period(s) by a County-qualified biologist according to protocols established by the USFWS and/or CDFW. All sensitive species found shall be fully discussed and as needed, appropriate measures provided to avoid or minimize impacts, per established protocols. Protective buffer distances shall be specified. Any wildlife relocation shall be according to existing protocols by qualified biologists as recognized by CDFW and/or USFWS. All reports prepared by the biologist(s) shall be submitted to the County for compliance verification.

If wildlife relocation is required, success criteria shall be developed and a reasonable monitoring milestone and durations established. Monitoring the success criteria shall be conducted for at least three (3) years after initial relocation. If any success criteria are not being met, the Applicant shall complete the necessary remedial actions as quickly as possible. Once all county-approved success criteria have been met, wildlife monitoring activities are no longer required.

Prior to site grading, any populations of special-status plant species or resident/migratory wildlife identified during the surveys shall be protected by a buffer zone. The buffer zone shall be established around these areas and shall be of sufficient size to eliminate potential disturbance to the species from human activity and any other potential sources of disturbance including human trampling, erosion, and dust. The size of the buffer may depend upon the proposed activities and the species impacted. The buffer for herbaceous and shrub species shall be, at minimum, 50 feet from the perimeter of the population or the individual. Wildlife buffers will be more and variable depending on the species found.

Highly visible flagging shall be placed along the buffer area and remain in good working order during the duration of any construction activities in the area.

Monitoring: Compliance will be verified by the Department of Planning and Building.

Geology and Soils

- GS-1 Prior to issuance of construction and/or grading permits**, the applicant shall submit final plans demonstrating compliance with the Engineering Geology Investigation Update (February 22, 2018) and Soils Engineering Report (February 28, 2013).
- GS-2 Prior to issuance of construction and/or grading permits**, the applicant shall submit an erosion and sedimentation control plan in compliance with County Ordinance Section 22.52.120.
- GS-3 Prior to issuance of construction and/or grading permits**, the applicant shall submit a copy of the Stormwater Pollution Prevention Plan (SWPPP) approved by the State Water Resources Control Board. The applicant must also enroll for coverage under

DEVELOPER'S STATEMENT FOR
CAMBRIA PINES APARTMENTS
DEVELOPMENT PLAN / COASTAL DEVELOPMENT PERMIT DRC2012-00052

California's Construction General Permit.

Monitoring (Measures GS-1 – GS-3): Compliance will be verified by the Department of Planning and Building.

Visual

VR-1 Prior to issuance of grading and/or construction permits, the applicant shall provide an exterior lighting plan. The lighting plan shall be consistent with Section 23.04.320 of the Coastal Zone Land Use Ordinance and provide for bollard and low-voltage lighting in all outdoor landscaping and patio areas. Lighting shall be the minimum necessary for public safety. The plan shall include the height, location, and intensity of all exterior lighting. All lighting fixtures shall be shielded so that neither the lamp nor the related reflector interior surface is visible from neighboring properties. All lighting poles, fixtures, and hoods shall be dark colored. Security lighting shall be shielded so as not to create glare when viewed from neighboring properties.

Monitoring: Required prior to issuance of a grading and/or construction permit. Compliance will be verified by the County Department of Planning and Building.

VR-2 Prior to issuance of grading and/or construction permits, the applicant shall submit construction drawings consistent with the approved color board, site plan, floor plan, and elevations that demonstrate the following:

- A. Highly articulated architectural forms;
- B. Roof elevations do not silhouette the skyline; and
- C. Colors shall minimize the structure massing of new development by reducing the contrast between the proposed development and the surrounding environment.

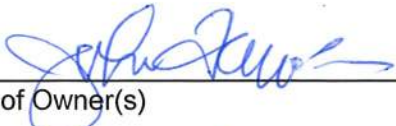
Monitoring: Required prior to issuance of a grading and/or construction permit. Compliance will be verified by the County Department of Planning and Building.

VR-3 Prior to occupancy or final inspection, whichever occurs first, the approved lighting plan shall be implemented.

Monitoring: Compliance will be verified by the Department of Planning and Building prior to final building permit inspection or occupancy.

The applicant understands that any changes made to the project description subsequent to this environmental determination must be reviewed by the Environmental Coordinator and may require a new environmental determination for the project. By signing this agreement, the owner(s) agrees to and accepts the incorporation of the above measures into the proposed project description.

DEVELOPER'S STATEMENT FOR
CAMBRIA PINES APARTMENTS
DEVELOPMENT PLAN / COASTAL DEVELOPMENT PERMIT DRC2012-00052



Signature of Owner(s)

11-14-2018

Date

John Fowler

Name (Print)

Building Summary

Apartment Unit Mix per Building:

Building Type A:
 (2) 3 Bedroom Townhomes
 (2) 2 Bedroom Townhomes

Building Type B (2 Total):
 (4) 2 Bedroom Townhomes
 (2) 1 Bedroom Flats (Ground floor unit is accessible)

Common Building - (Manager's Unit)
 (1) 2 Bedroom Flat

Total Unit Mix:
 (10) 3 Bedroom Units
 (19) 2 Bedroom Units
 (4) 1 Bedroom Units

Total : 33

Total Building Floor Area (all buildings combined - includes circulation, storage, stairways; measured to outside face of wall)

1st Floor
 Floor Area 18,500 s.f.

2nd Floor
 Floor Area 16,350 s.f.

Total Floor Area 34,850 s.f.

Maximum Building Height Allowed: 28'

Actual Maximum Building Height: 28' at Buildings 1-6 & Comm/Manager; 32' at Building 7

Parking Summary

Parking Required
 2 spaces per 3 Bedroom unit: 10 x 2 = 20
 1.5 spaces per 2 Bedroom unit: 19 x 1.5 = 28.5
 1 spaces per 1 Bedroom unit: 4 x 1 = 4

Total Resident Parking Required: 52.5

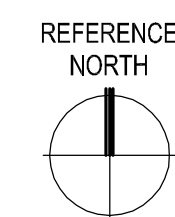
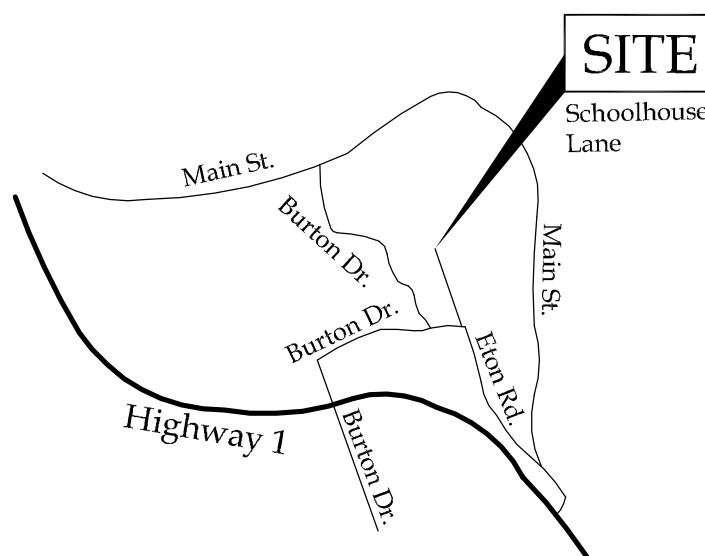
Guest Parking
 1 space + 1 for each 4 units beyond 1st 4: 8.25

Total Parking Required: 61

Total Parking Provided 61

Vicinity Map

NO SCALE

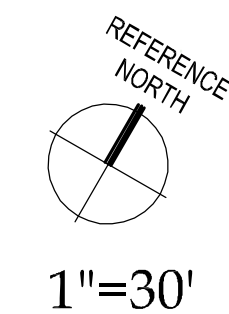


Architectural Site Plan

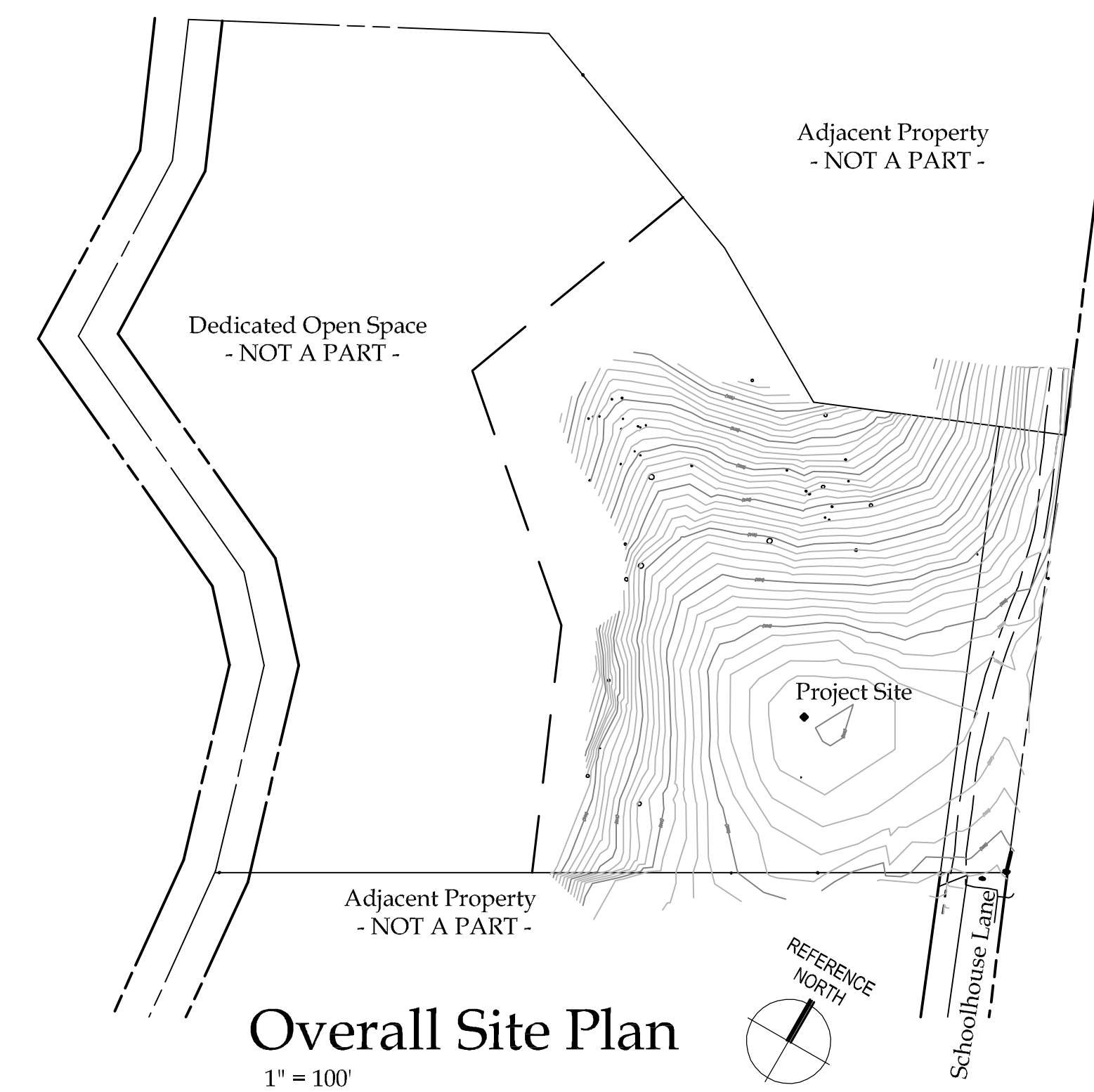
Refer to Preliminary Landscape Design Plan in this submittal for more detailed information on landscape and site amenities.

Refer to Civil Engineering Plans for more information on grading, drainage and stormwater management.

Refer to Rainwater Reclamation Plan for information on proposed rainwater harvesting system.



1"=30'



Overall Site Plan

1" = 100'

Site Summary

APN	013-151-034
Zone	RMF
Site Improvement Area: (excludes dedicated Open Space)	approx. 3.05 acres = 132,800 s.f.
Usable Site Area	approx. 2.04 acres = 89,000 s.f.
Intensity Factor:	Medium
Allowed Density:	26 units/acre
Proposed Density:	33 units total = 10.8 units/acre
Maximum Floor Area Allowed:	48% = 42,720 s.f.
Gross Floor Area Proposed (all floors):	39% = 34,850 s.f.
Minimum Open Area Required:	45% = 40,050 s.f.
Open Area Provided: (excludes buildings & parking spaces)	68% = 60,370 s.f.
Building Footprint Area	18,500 s.f. (21%)
Paved Area (includes walkways)	25,450 s.f. (28%)
Landscape/Unpaved Area	45,060 s.f. (51%)

Project Summary

This 33 unit Affordable apartment project for People's Self Help Housing has seven new two-story apartment buildings and a two-story common building with one apartment on the 2nd level.

The site is located next to an existing People's Self Help Housing apartment complex named Schoolhouse Lane Apartments. The existing Schoolhouse Lane road in front of this complex will be extended to serve the new project.

There are two apartment building types. Type A has four townhomes. Type B has four townhomes and two flats. The ground floor flat at Type B buildings is wheelchair accessible.

The common building includes laundry facilities, meeting spaces, kitchen area and accessible restrooms for residents use. There is also a manager's office and storage. The manager's apartment is on the 2nd level of this building.

Site amenities include a play area, central mailbox location, accessible walkways and decorative paving.

Any trees removed within the project site will be replaced with the required number of replacement trees. Also, the area to the west of the site is preserved under an Open Space Agreement.

Sheet Index

A-1	ARCHITECTURAL SITE PLAN & PROJECT INFORMATION
A-2	COMMON BUILDING PLANS & ELEVATIONS
A-3	BUILDING TYPE A & B - PLANS & ELEVATIONS
C-1	PRELIMINARY GRADING AND DRAINAGE PLAN
C-2	SITE CROSS SECTIONS
C-3	PRELIMINARY UNDERGROUND DESIGN
C-4	DETAILS
L-1	PRELIMINARY HARDSCAPE - LANDSCAPE DESIGN
-	RAINWATER RECLAMATION PLAN
9	TOTAL SHEETS



444 Higuera Street Suite 201
 San Luis Obispo Ca. 93401
 phone: 805.541.6294 fax: 805.541.2739
 www.realarchitectsinc.com

SHEET TITLE: ARCHITECTURAL SITE PLAN & PROJECT INFORMATION

CLIENT: PEOPLE'S SELF HELP HOUSING
 ADDRESS: 3533 EMPLEO STREET
 SAN LUIS OBISPO, CA

PLOT DATE: 5.20.14

PURPOSE: DESIGN REVIEW

PROJECT NO.: R13115

PROJECT TITLE:

CAMBRIA PINES PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT

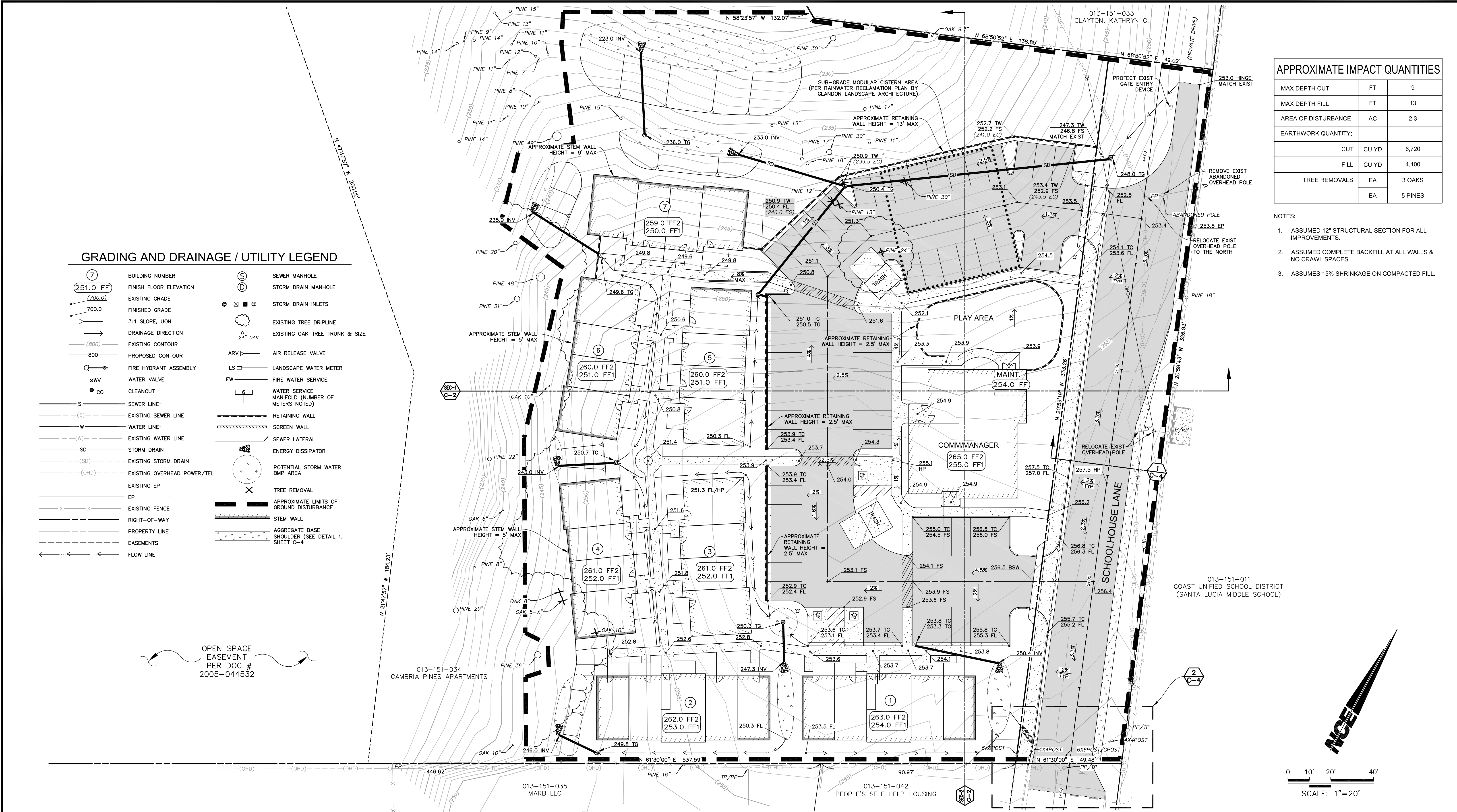
SCHOOLHOUSE LANE, CAMBRIA CALIFORNIA

CDP DRC2012-00052

SHEET
 A-1

SHEET _____ OF _____ SHEETS

The drawings within are copyrighted and are subject to copyright protection as an "Architectural Work" under section 102 of the copyright Act 17 U.S.O., as amended December 1990, and known as Architectural Works Copyright Protection Act of 1990.



GRADING AND DRAINAGE / UTILITY LEGEND

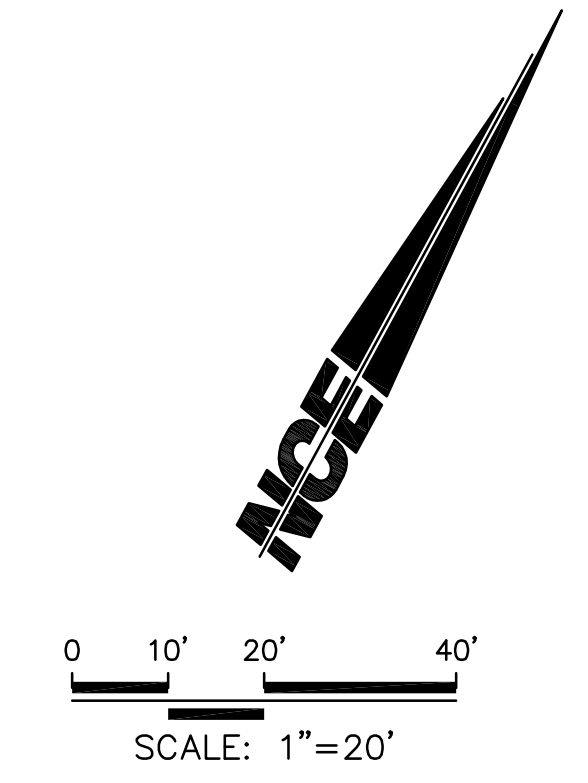
- | | | | |
|------------|-----------------------------|-----------|---------------------------------------------------|
| ⑦ | BUILDING NUMBER | ⊙ | SEWER MANHOLE |
| (251.0 FF) | FINISH FLOOR ELEVATION | ⊕ | STORM DRAIN MANHOLE |
| (700.0) | EXISTING GRADE | ⊙ ⊠ ⊕ | STORM DRAIN INLETS |
| 700.0 | FINISHED GRADE | ○ | EXISTING TREE DRIPLINE |
| ↘ | 3:1 SLOPE, UON | ○ 24" OAK | EXISTING OAK TREE TRUNK & SIZE |
| → | DRAINAGE DIRECTION | ARV | AIR RELEASE VALVE |
| (800) | EXISTING CONTOUR | LS | LANDSCAPE WATER METER |
| — 800 — | PROPOSED CONTOUR | FW | FIRE WATER SERVICE |
| ⊙ | FIRE HYDRANT ASSEMBLY | CO | CLEANOUT |
| ⊙ WV | WATER VALVE | 6 | WATER SERVICE MANIFOLD (NUMBER OF METERS NOTED) |
| ● CO | SEWER LINE | — | RETAINING WALL |
| — S — | EXISTING SEWER LINE | — | SCREEN WALL |
| — W — | WATER LINE | — | SEWER LATERAL |
| — (W) — | EXISTING WATER LINE | — | ENERGY DISSIPATOR |
| — SD — | STORM DRAIN | ○ | POTENTIAL STORM WATER BMP AREA |
| — (SD) — | EXISTING STORM DRAIN | X | TREE REMOVAL |
| — (OHD) — | EXISTING OVERHEAD POWER/TEL | — | APPROXIMATE LIMITS OF GROUND DISTURBANCE |
| — EP — | EXISTING EP | — | STEM WALL |
| — X — X — | EXISTING FENCE | — | AGGREGATE BASE SHOULDER (SEE DETAIL 1, SHEET C-4) |
| — | RIGHT-OF-WAY | — | FLOW LINE |
| — | PROPERTY LINE | | |
| — | EASEMENTS | | |
| ← | FLOW LINE | | |

APPROXIMATE IMPACT QUANTITIES

MAX DEPTH CUT	FT	9
MAX DEPTH FILL	FT	13
AREA OF DISTURBANCE	AC	2.3
EARTHWORK QUANTITY:		
CUT	CU YD	6,720
FILL	CU YD	4,100
TREE REMOVALS		
EA		3 OAKS
EA		5 PINES

- NOTES:
1. ASSUMED 12" STRUCTURAL SECTION FOR ALL IMPROVEMENTS.
 2. ASSUMED COMPLETE BACKFILL AT ALL WALLS & NO CRAWL SPACES.
 3. ASSUMES 15% SHRINKAGE ON COMPACTED FILL.

OPEN SPACE EASEMENT PER DOC # 2005-044532



SHEET TITLE: PRELIMINARY GRADING & DRAINAGE

NCE NORTH COAST ENGINEERING INC.
 CIVIL ENGINEERING - LAND SURVEYING - PROJECT DEVELOPMENT
 725 Creston Road, Suite B
 Paso Robles, CA 93446
 (805) 239-3127
 (805) 927-8651

CLIENT: PEOPLE'S SELF HELP HOUSING
 ADDRESS: 3533 EMPLEO STREET
 SAN LUIS OBISPO, CA
 PLOT DATE: 1.29.2014
 PURPOSE: DESIGN REVIEW
 PROJECT NO.: 05116

CAMBRIA PINES

PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT

SCHOOLHOUSE LANE, CAMBRIA CALIFORNIA

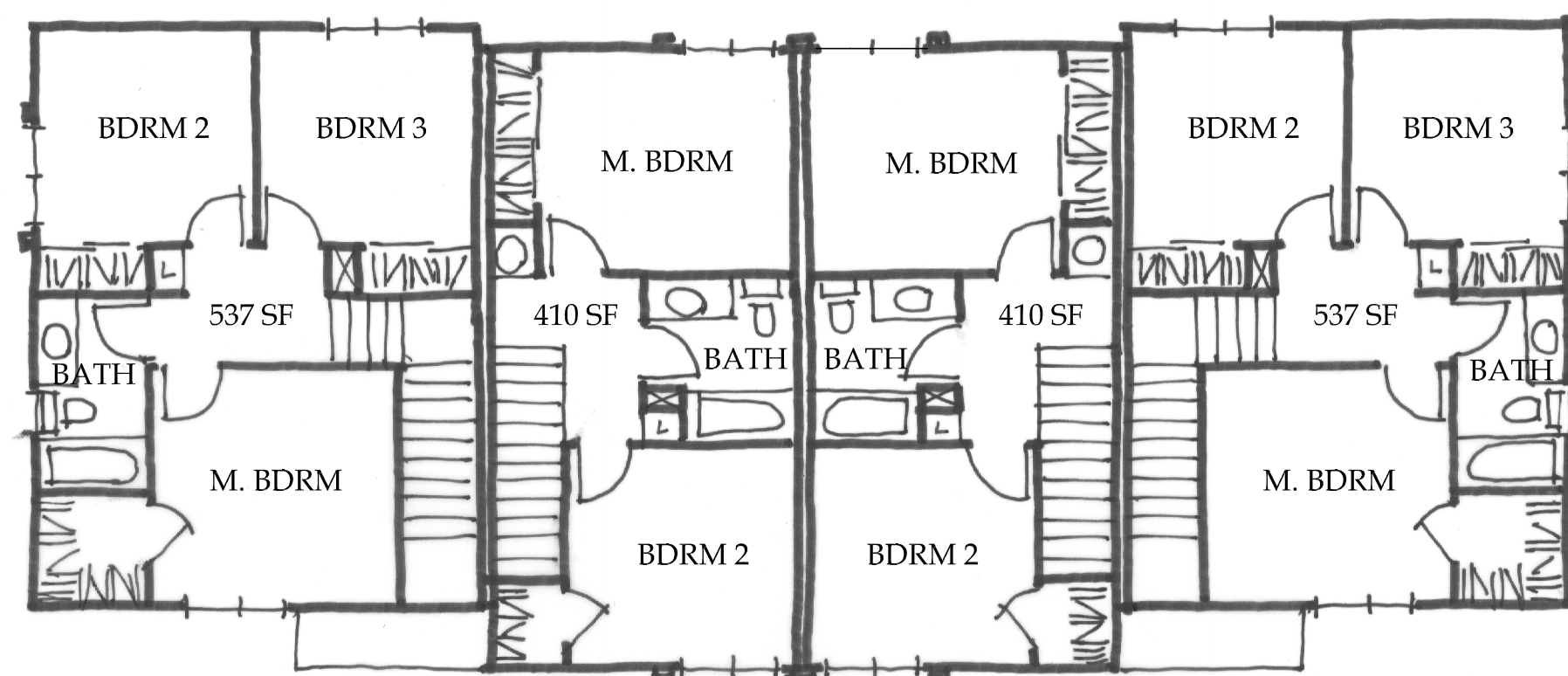
C-1
 SHEET 1 OF 4 SHEETS



FRONT ELEVATION - BUILDING TYPE 'A'

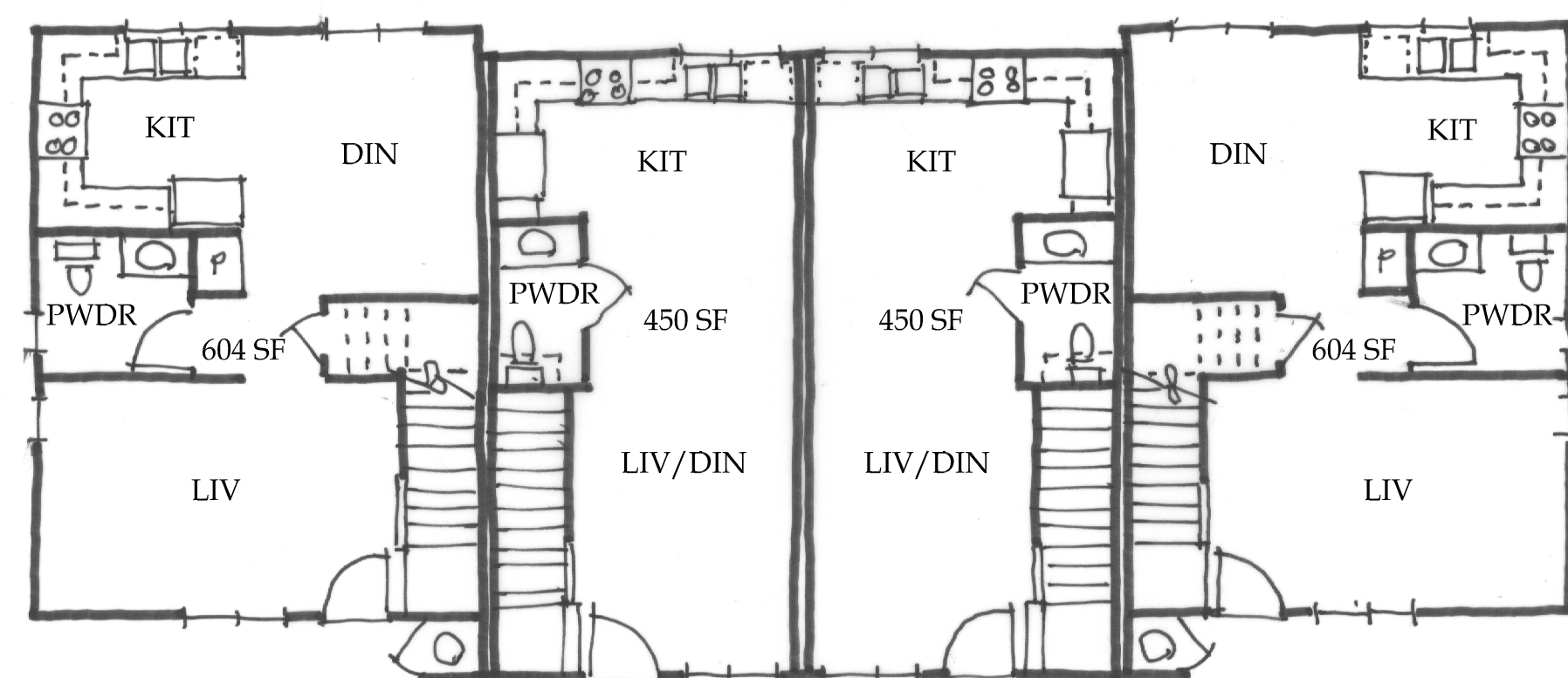


FRONT ELEVATION - BUILDING TYPE 'B'



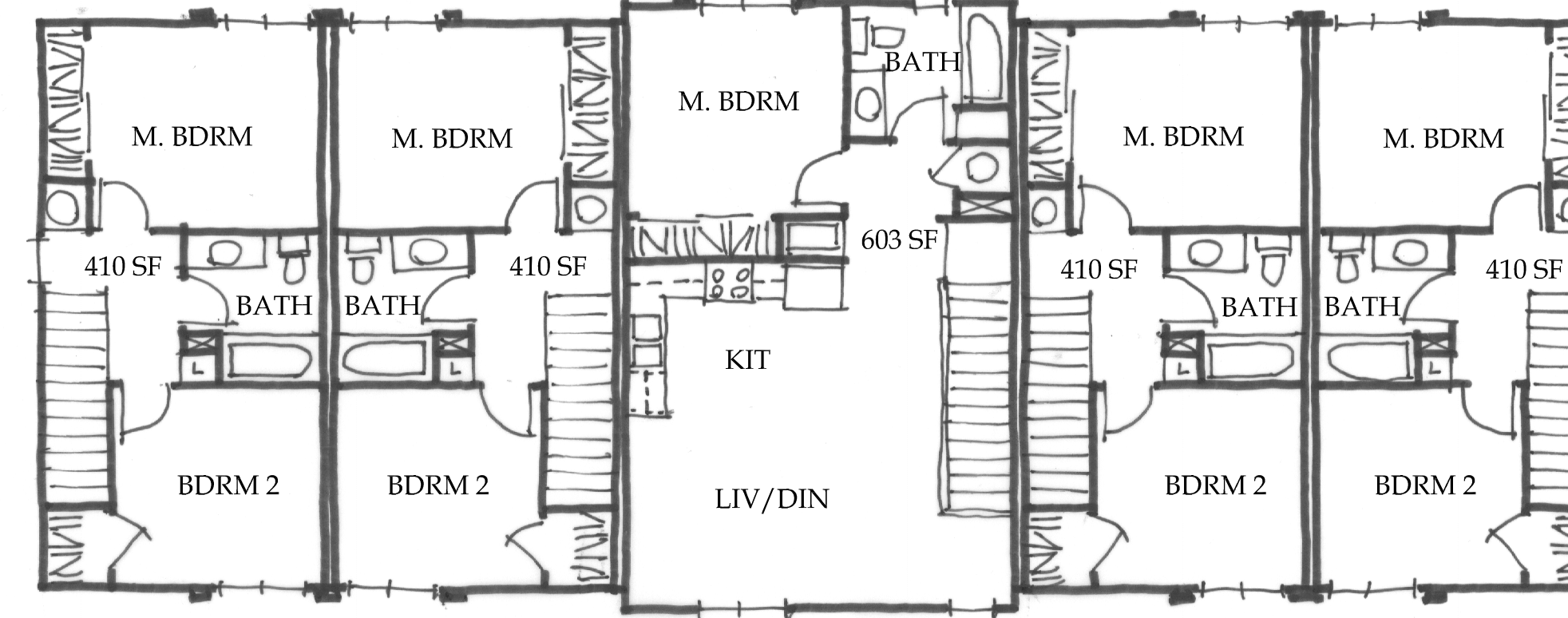
2nd FLOOR PLAN

3-BDRM TOWNHOME 2-BDRM TOWNHOME 2-BDRM TOWNHOME 3-BDRM TOWNHOME



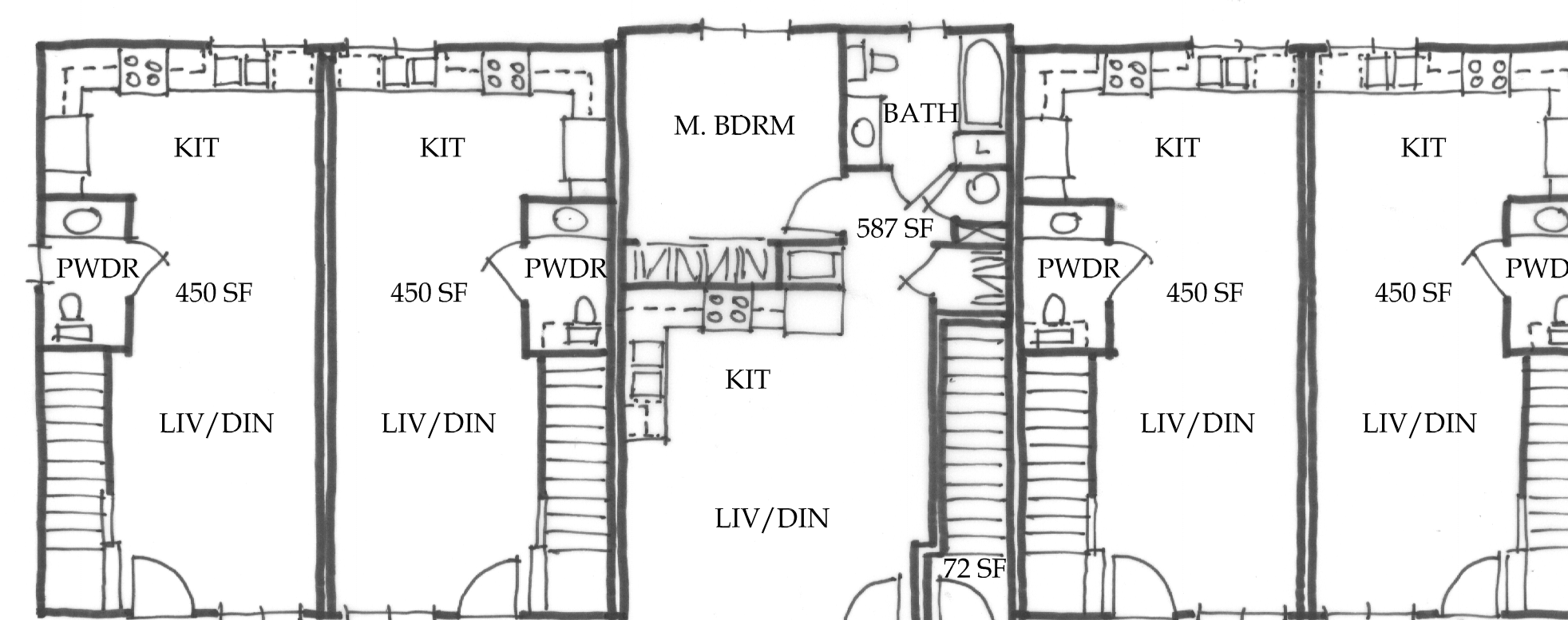
1st FLOOR PLAN

BUILDING TYPE 'A' FLOOR PLANS



2nd FLOOR PLAN

2-BDRM TOWNHOME 2-BDRM TOWNHOME 1-BDRM FLAT (ACCESSIBLE) 2-BDRM TOWNHOME 2-BDRM TOWNHOME



1st FLOOR PLAN

BUILDING TYPE 'B' FLOOR PLANS



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www.realarchitectsinc.com

SHEET TITLE: BUILDING TYPE 'A' & 'B' PLANS & FRONT ELEVATIONS

CLIENT: PEOPLE'S SELF HELP HOUSING
ADDRESS: 3533 EMPLEO STREET
SAN LUIS OBISPO, CA

PLOT DATE: 8.8.13

PURPOSE: DESIGN REVIEW

PROJECT NO.: R13115

PROJECT TITLE:

CAMBRIA PINES

PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT

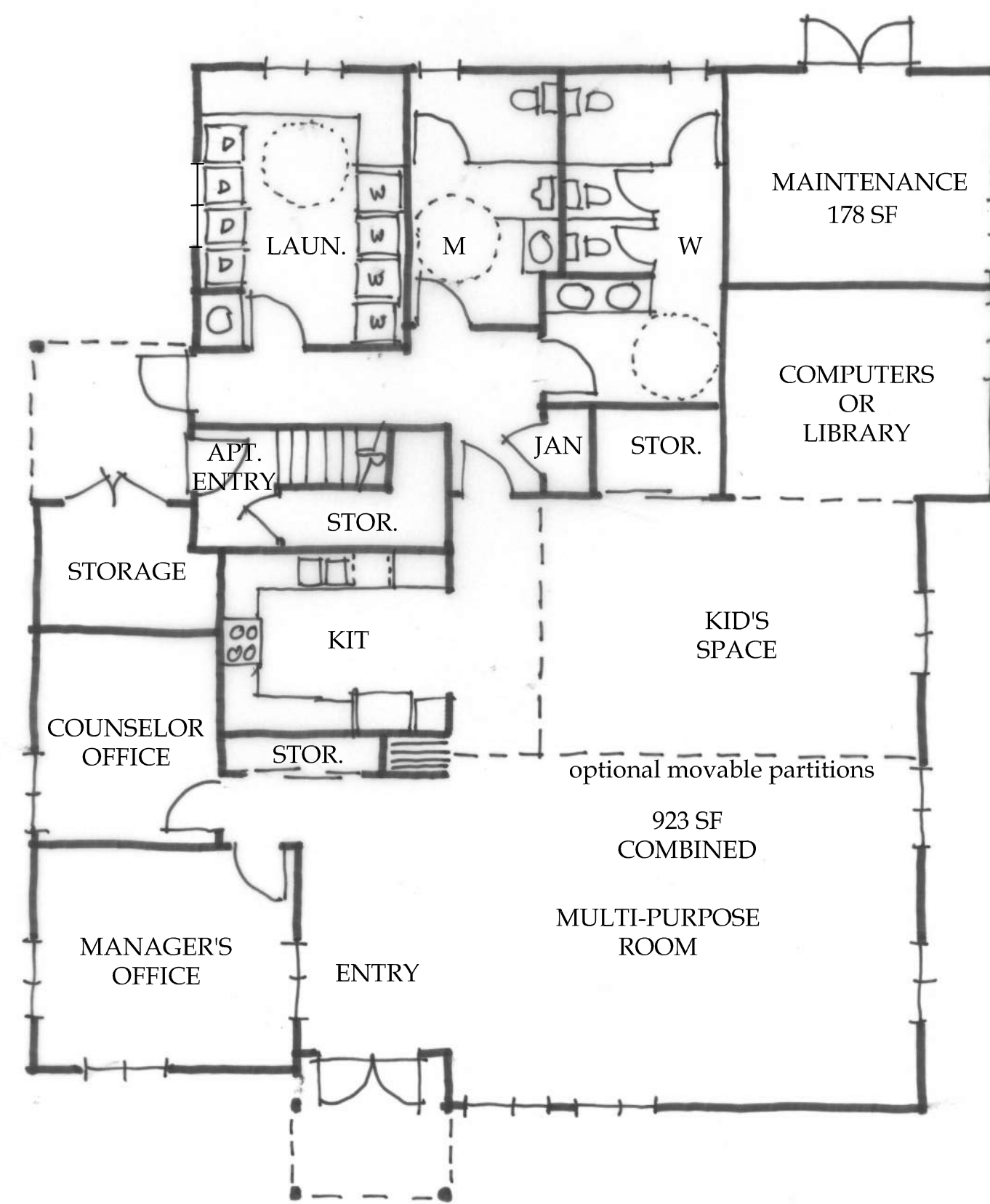
SCHOOLHOUSE ROAD, CAMBRIA CALIFORNIA

SHEET _____ OF _____ SHEETS

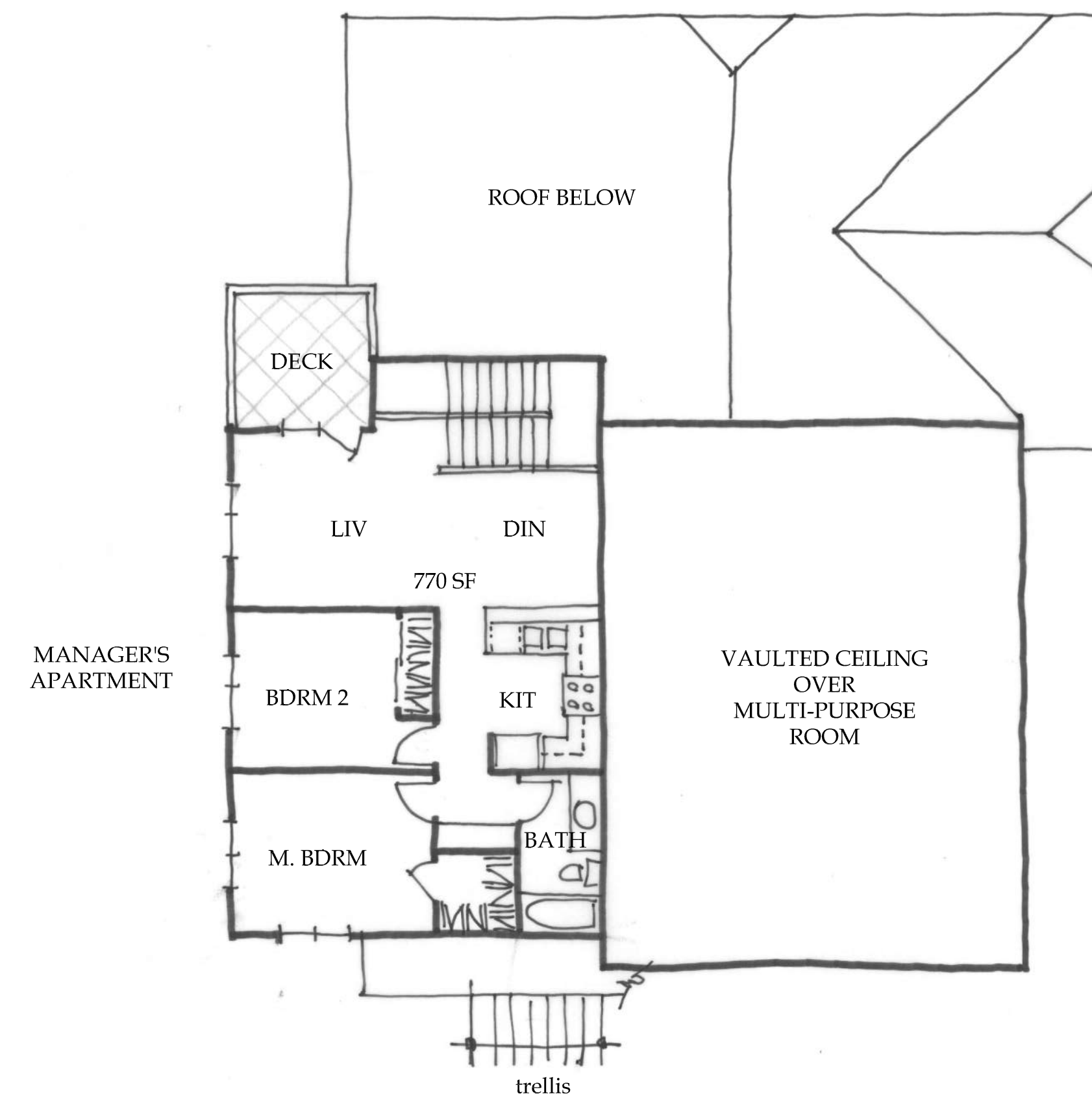
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STREET ELEVATION - COMMON BUILDING



1st FLOOR PLAN
2,880 SF



2nd FLOOR PLAN

COMMON BUILDING FLOOR PLANS



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www.realarchitectsinc.com

SHEET TITLE: COMMUNITY BUILDING PLANS
& STREET ELEVATION

CLIENT: PEOPLE'S SELF HELP HOUSING
ADDRESS: 3533 EMPLEO STREET
SAN LUIS OBISPO, CA

PLOT DATE: 8.8.13

PURPOSE: DESIGN REVIEW

PROJECT NO.: R13115

PROJECT TITLE:

CAMBRIA PINES
PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT
SCHOOLHOUSE ROAD, CAMBRIA CALIFORNIA

SHEET _____ OF _____ SHEETS

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CONCEPTUAL HARDSCAPE - LANDSCAPE DESIGN

CAMBRIA PINES

33 UNITS ~~~ 61 PARKING SPACES
 SCHOOLHOUSE ROAD ~ CAMBRIA, CALIFORNIA
 PEOPLE'S SELF-HELP HOUSING APARTMENT PROJECT

1ST SUBMITTAL

1st Release Date: September 16, 2013

Peoples Self-Help Housing
 3533 Embarcadero Street
 San Jose, CA 95128
 95401

Robert Andrew Fowler
 LANDSCAPE ARCHITECT
 3533 Embarcadero Street
 San Jose, CA 95128
 95401

SITE FEATURES KEY

- 1 Typical Pedestrian Walkway
- Colored-Textured Concrete Paving
- ADA Accessible
- 2 Typical Driveway Paving
- Asphaltic Concrete Paving
Optional Upgrade:
- A.C. Paving w/ Tan Chip-Seal
- Colored-Textured Concrete Paving
- Belgard Concrete Pavers or Similar
- 3 Optional Accent Driveway Paving
@ Pedestrian Crossings, Typical
Enhanced Paving Choices:
- Colored-Textured Concrete Paving w/ Score Pattern as Shown
- Belgard Concrete or Similar Pavers
- 4 Children's Play Area
- Play Structure w/ Synthetic Grass Safety Surface
- 5 Community Center Patio
- w/ BBQ/Seat
- w/ Seat Wall
- 6 Private Patio w/ Privacy Wall / Fence
- See Architect's Plans for Detail
- 7 Drought Tolerant Ornamental Understory Plantings, Typ.
- See Future Detailed Planting Plan by Landscape Architect
- 8 Native Trees and Understory Plantings, Typical
- See Future Detailed Planting Plan by Landscape Architect
- 9 Proposed Bioswale / Stormwater Management
- Coordinate w/ Civil Engineer for Required Final Locations
- 10 Earth-Toned Site Retaining Walls, Typ.
- See Civil Engineer's Drawings for Wall Heights
Material Choices:
- Refrig. Wall w/ Tan Split-Faced CMU, or 'Keystone' Mortarless System
- 11 Boulder/Cobble Gravity Retaining Walls
@ Terraced Bioswale Drainways, Typical
- See Civil Engineer's Drawings for Wall Heights
Material Choices:
- Gravity Refrig. Wall w/ Local Sandstone Cobbles & Accent Boulders
- 12 Low Stone Garden Walls, Typ.
- Approximately 18" to 36" Height
- Alternate Decorative CMU / Stucco Wall
- 13 Trash Enclosure
- See Architect's Plans for Detail
- 14 Seat Wall
- 18" - 24" Height, Stucco w/ Stone Cap
- 15 Community Garden Terrace
- w/ Decorative Paving
- w/ Seat Wall
- 16 Project Entry Garden Trellis
- 17 Project Entry Monument Sign

GRAPHIC SCALE
 (IN FEET)
 0 8 16 32

1" = 16' - 0"



Existing Tree to be Removed, Typ.
 See Civil / Architect's Drawings

PRELIMINARY PLANT PALETTE

THE FOLLOWING PLANT CHOICES REPRESENT THE SUGGESTED PLANT PALETTE TO BE CONSIDERED BY THE LANDSCAPE ARCHITECT AS APPROPRIATE TO THE SITE AND PROJECT TOWARDS DEVELOPMENT OF A FINAL PLANTING PLAN. NOT ALL PLANTS SHOWN WILL BE UTILIZED.

TREE PLANTINGS PALETTE

* ALL TREES SHALL BE SPECIFIED AT MINIMUM SIZES OF 2 1/2" BOX

- * LARGE NATIVE CANOPY TREE - EVERGREEN
 - *Quercus agrifolia* (Coast Live Oak)
 - * UPRIGHT NATIVE SKYLINE TREE
 - *Pinus radiata* (Monterey Pine)
- * MEDIUM CANOPY TREE - MULTI-TRUNK FORM
 - *Arbutus Marina* (Madrone Cultivar)
- ALTERNATE CHOICES:
 - *Metrosideros tomentosa* (New Zealand Xmas Tree)
 - *Olea europaea Swan Hill* (Fruitless Olive Tree)
- * SMALL FLOWERING PATIO GARDEN TREES
 - *Cercis c. Forest Pansy* (Purpleleaf Redbud)
 - *Acer palmatum 'Sango Kaku'* (Japanese Maple)
 - *Feijoa sellowiana* (Pineapple Guava)
- * UPRIGHT NATIVE GROVE TREE
 - *Alnus rhombifolia* (White Alder)
 - *Umbellularia californica* (California Bay Tree)
- * LARGE NATIVE CANOPY TREE - DECIDUOUS
 - *Platanus racemosa* (California Sycamore)

BIOSWALE PLANTINGS

* NATIVE SEEDED GROUNDCOVER PLANTINGS

* BIVALVE BOTTOM PLANTINGS

* SPECIES LIST

UNDERSTORY CALIFORNIA NATIVE PLANT PALETTE

- *Arctostaphylos 'Emerald Carpet'* (Prostrate California Manzanita)
- *Arctostaphylos edmundii 'Carmel Star'* (Little Star Manzanita)
- *Arctostaphylos 'Howard McMillan'* (California Manzanita)
- *Artemisia californica* (California Sage)
- *Carpenteria californica 'Elizabeth'* (Bush Anemone)
- *Ceanothus thyrsiflorus 'Skylark'* (Calif. Wild Lilac)
- *Ceanothus g. h. 'Carmel Creeper'* (Prostrate Calif. Wild Lilac)
- *Ceanothus 'Yankee Point'* (Calif. Wild Lilac)
- *Freemontodendron 'California Glory'* (Flannel Bush)
- *Heteromeles arbutifolia* (Toyon)
- *Myrica californica* (Coast Wax Myrtle)
- *Rhamnus californica* (Pacific Wax Myrtle)

UNDERSTORY ORNAMENTAL PLANT PALETTE

* FINAL CONSTRUCTION BID PLANTING PLAN WILL DEPICT UNDERSTORY IN GREATER DETAIL WITH A PLAN LIST DEPICTING FINAL SIZES AND QUANTITIES

* SCREEN HEDGE - TALL HEIGHT (5 Gallon - Typical)

* MEDIUM/LARGE SIZED SHRUBS - (5 Gallon - Minimum Container Size, Typical)

* VINE AND ESPALIER PLANTINGS - (5 Gallon - Minimum Container Size, Typical)

* GROUNDCOVERS - (1 Gallon/Flat)

* NON-BIOTIC GROUNDCOVERS

HIGH FIRE AREA / DEFENSIBLE SPACE GUIDELINES

UPON COMPLETION AND APPROVAL OF THE PRELIMINARY LANDSCAPE PLAN, A FINAL PLANTING PLAN CONSTRUCTION DOCUMENT WILL BE PREPARED THAT INCORPORATES THE LATEST FEASIBLE DESIGN GUIDELINES TO HELP PROVIDE A REDUCED LEVEL OF RISK FROM WILDFIRE AND FIRES. WE WILL INCORPORATE GUIDELINES AS AN EFFORT TO MEET THE DEFENSIBLE SPACE GUIDELINE REQUIRED IN AN EFFORT TO PROVIDE A REDUCED LEVEL OF RISK FROM WILDFIRE AND FIRES. A VEGETATION MODIFICATION ZONE WITHIN 100 FEET OF ANY STRUCTURE WILL BE IMPLEMENTED WHERE EXISTING NATIVE PLANTINGS WILL BE REMOVED AND/OR MODIFIED AND PARTIALLY OR TOTALLY REPLACED WITH DROUGHT RESISTANT, FIRE RESISTANT PLANTINGS. SHRUBS, TREES, AND GRASSES WILL BE REPLACED WITH AN OVERHEAD SPRAY SYSTEM OR A SPRAY DRIP COMBO. MAINTAIN ALL DEAD MATERIAL MORE THAN 6 FEET IN HEIGHT AND 2 FOOT IN WIDTH AND ANNUALLY REMOVE ANY DEAD MATERIAL.

ZONE #1 (0 TO 30 FEET FROM STRUCTURE)
 ZONE #1 DESIGN WILL INCORPORATE A COMBINATION OF HARDSCAPE, NON-FLAMMABLE, NON-BIOTIC MATERIALS WITH SOME ORNAMENTAL FIRE RESISTANT ARCHITECTURE. ALL COMPLIMENT PLANTINGS WITH A WIDE SWATH OF LAWN OR LOW GROUND COVER WILL BE PROPOSED. ALL PLANTINGS IN THIS ZONE WILL BE IRRIGATED AND MORE THAN 12 FEET WITH AN OVERHEAD SPRAY SYSTEM OR A SPRAY DRIP COMBO. MAINTAIN ALL DEAD MATERIAL MORE THAN 6 FEET IN HEIGHT AND 2 FOOT IN WIDTH AND ANNUALLY REMOVE ANY DEAD MATERIAL.

ZONE #2 (30 TO 50 FEET FROM STRUCTURE)
 ZONE #2 DESIGN WILL MAINTAIN A REASONABLY OPEN CHARACTER. LOW/MEDIUM GROWING SHRUBS OR CLUSTERS OF SHRUBS NOT MORE THAN 10 FEET IN DIAMETER CAN BE PLANTED WITH A SPACING OF AT LEAST 18 FEET BETWEEN CLUSTERS. DO NOT PLANT SHRUBS UNDERNEATH THE CANOPY OF TREES. TREES SHOULD BE SPACED AT LEAST 6 FEET APART TO PREVENT CROWNS FROM TOUCHING ONCE FULLY GROWN. ALL PLANTINGS IN THIS ZONE WILL BE IRRIGATED WITH AN OVERHEAD SPRAY/DRIP SYSTEM COMBO.

ZONE #3 (50 TO 70 FEET FROM STRUCTURE)
 ZONE #3 DESIGN SHOULD INCORPORATE NATIVE AND MEDITERRANEAN PLANTINGS THAT REQUIRE IRRIGATION AND SHOULD NOT BE HIGHER THAN 5 - 7 FT. LOW/MEDIUM GROWING SHRUBS OR CLUSTERS OF SHRUBS NOT MORE THAN 10 FEET IN DIAMETER CAN BE PLANTED WITH A SPACING OF AT LEAST 18 FT. BETWEEN CLUSTERS. DO NOT PLANT SHRUBS UNDERNEATH THE CANOPY OF TREES. TREES SHOULD BE SPACED AT LEAST 30 FEET APART TO PREVENT CROWNS FROM TOUCHING ONCE FULLY GROWN. MOST OR ALL PLANTINGS IN THIS ZONE WILL BE IRRIGATED WITH AN OVERHEAD SPRAY/DRIP SYSTEM COMBO.

ZONE #4 (70 TO 100 FEET FROM STRUCTURE)
 ZONE #4 DESIGN SHOULD INCORPORATE NATIVE PLANTINGS THAT DO NOT REQUIRE IRRIGATION ONCE ESTABLISHED. THERE IS NO LIMIT TO THE HEIGHT OF SHRUBS OR CLUSTERS OF SHRUBS NOT MORE THAN 10 FT. IN DIAMETER CAN BE PLANTED WITH A SPACING OF AT LEAST 18 FT. BETWEEN CLUSTERS OF TREES. TREES OR TIGHT TREE GROUPINGS SHOULD BE SPACED AT LEAST 30 FT. APART FROM OTHER TREES TO PREVENT CROWNS FROM TOUCHING ONCE FULLY GROWN.

PROJECT NOTES

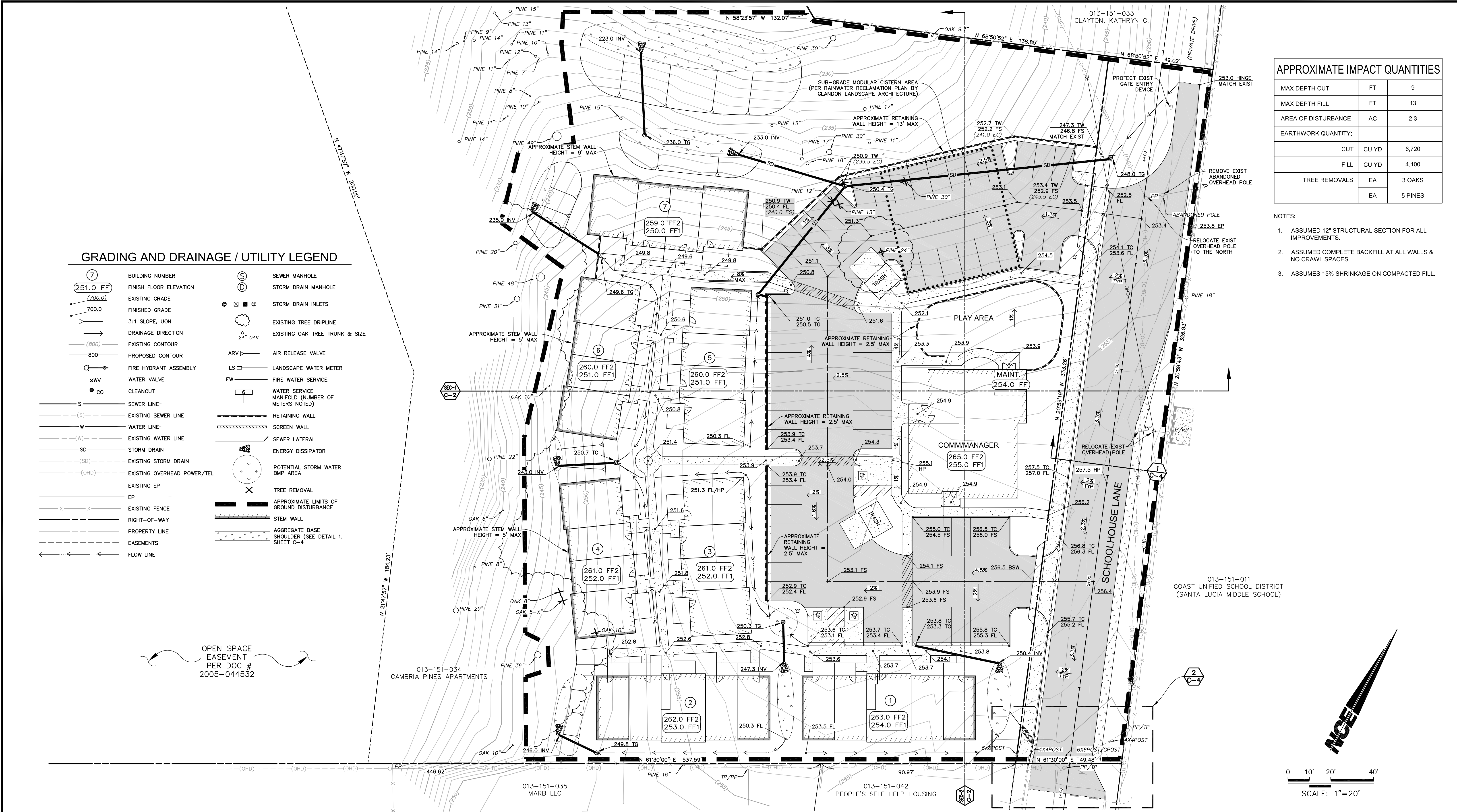
PLANTING - IRRIGATION - LIGHTING - SITE UTILITIES

UPON COMPLETION AND APPROVAL OF THE PRELIMINARY LANDSCAPE PLAN, A FINAL PLANTING PLAN CONSTRUCTION DOCUMENT WILL BE PREPARED INDICATING PROPOSED PLANT QUANTITIES & SIZES. THE FINAL PLANTING DESIGN, AS ELUCIDATED IN THIS PLAN, TO INCORPORATE DROUGHT TOLERANT, WATER WISE & NATIVE PLANTINGS AS DETERMINED BY PROJECT LANDSCAPE ARCHITECT.

IRRIGATION
 UPON COMPLETION AND APPROVAL OF THE PRELIMINARY LANDSCAPE/PLANTING PLAN A FINAL IRRIGATION PLAN CONSTRUCTION DOCUMENT TO SUPPLEMENT THE PLANTING PLAN AND HELP ENSURE THE ESTABLISHMENT OF THE PLANTINGS WILL BE PREPARED. THE IRRIGATION SYSTEM WILL BE INSTALLED AS A STATE-OF-THE-ART AUTOMATED IRRIGATION SYSTEM INCORPORATING A COMBINATION OF LOW FLOW, LOW ANGLE SPRAY HEADS AND A DRIP IRRIGATION SYSTEM WHEREVER APPROPRIATE. THE VALVING OF THE SYSTEM WILL SEPARATE PLANTINGS WITH DIFFERENT WATER REQUIREMENTS SUCH AS LAWN FROM SHRUB BEDS, NORTH & EAST FROM SOUTH & WEST EXPOSURES, SLOPES FROM FLAT AREAS AND NATIVE PLANTINGS FROM NON-NATIVE PLANTINGS, AS WELL AS PROPOSE THE USE OF A WEATHER-BASED SMART CONTROLLER WITH RAIN SENSORS & AUTOMATIC SHUT-OFF MECHANISMS IN ORDER TO CONSERVE WATER AS MUCH AS POSSIBLE.

OUTDOOR LIGHTING
 DURING PREPARATION OF A FINAL SITE LIGHTING PLAN, THE PROJECT LANDSCAPE ARCHITECT WILL COORDINATE WITH THE ELECTRICAL ENGINEER'S (IF APPLICABLE) & THE ARCHITECT'S DRAWINGS IN AN EFFORT TO COORDINATE THE PROPOSED LOCATIONS OF ARCHITECTURAL WALL SCONES WITH LIGHT STANDARDS & BOLLARDS, AS WELL AS ACCENT BUILDING & LANDSCAPE ACCENT FEATURES LIGHTING TO CREATE A SAFE & ENJOYABLE NIGHTTIME ENVIRONMENT AS WELL AS CONFORM TO THE LOCAL ORDINANCES AND GUIDELINES AND SHALL BE "DARK SKY" COMPLIANT AND NOT IMPOSE ON ADJACENT PROPERTIES AND USES.

SITE UTILITIES
 DURING PREPARATION OF THE FINAL LANDSCAPE-PLANTING & IRRIGATION PLANS, THE PROJECT LANDSCAPE ARCHITECT WILL COORDINATE WITH THE CIVIL ENGINEER'S DRAWINGS IN EFFORT TO COORDINATE THE PROPOSED LOCATIONS OF TREE & KEY SHRUBS AS MUCH AS POSSIBLE WITH THE VARIOUS SITE UTILITIES SUCH AS LIGHT STANDARDS & BOLLARDS, ELECTRICAL TRANSFORMERS, GAS & ELECTRICAL PANELS, VARIOUS SITE UTILITY BOXES AND FIRE SPRINKLER BACKFLOW PREVENTER & POST INDICATOR VALVES IN AN EFFORT TO BALANCE FUNCTION & ACCESS WITH PROPER VISUAL SCREENING.



APPROXIMATE IMPACT QUANTITIES

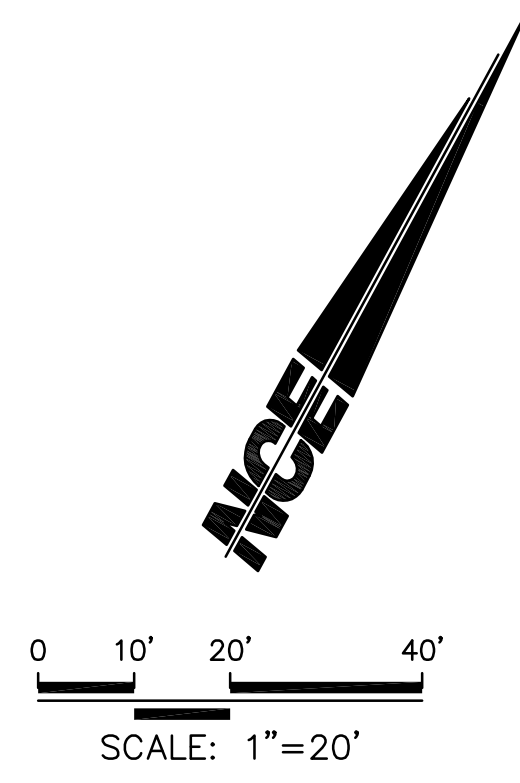
MAX DEPTH CUT	FT	9
MAX DEPTH FILL	FT	13
AREA OF DISTURBANCE	AC	2.3
EARTHWORK QUANTITY:		
CUT	CU YD	6,720
FILL	CU YD	4,100
TREE REMOVALS		
EA		3 OAKS
EA		5 PINES

- NOTES:
1. ASSUMED 12" STRUCTURAL SECTION FOR ALL IMPROVEMENTS.
 2. ASSUMED COMPLETE BACKFILL AT ALL WALLS & NO CRAWL SPACES.
 3. ASSUMES 15% SHRINKAGE ON COMPACTED FILL.

GRADING AND DRAINAGE / UTILITY LEGEND

7	BUILDING NUMBER	S	SEWER MANHOLE
(251.0 FF)	FINISH FLOOR ELEVATION	D	STORM DRAIN MANHOLE
(700.0)	EXISTING GRADE	□	STORM DRAIN INLETS
700.0	FINISHED GRADE	○	EXISTING TREE DRIPLINE
3:1	SLOPE, UON	○	EXISTING OAK TREE TRUNK & SIZE
→	DRAINAGE DIRECTION	ARV	AIR RELEASE VALVE
(800)	EXISTING CONTOUR	LS	LANDSCAPE WATER METER
800	PROPOSED CONTOUR	FW	FIRE WATER SERVICE
○	FIRE HYDRANT ASSEMBLY	CO	CLEANOUT
○	WATER VALVE	6	WATER SERVICE MANIFOLD (NUMBER OF METERS NOTED)
○	SEWER LINE	—	RETAINING WALL
(S)	EXISTING SEWER LINE	—	SCREEN WALL
W	WATER LINE	—	SEWER LATERAL
(W)	EXISTING WATER LINE	—	ENERGY DISSIPATOR
SD	STORM DRAIN	○	POTENTIAL STORM WATER BMP AREA
(SD)	EXISTING STORM DRAIN	X	TREE REMOVAL
(OHD)	EXISTING OVERHEAD POWER/TEL	—	APPROXIMATE LIMITS OF GROUND DISTURBANCE
EXISTING EP		—	STEM WALL
EP		—	AGGREGATE BASE SHOULDER (SEE DETAIL 1, SHEET C-4)
X	EXISTING FENCE		
—	RIGHT-OF-WAY		
—	PROPERTY LINE		
—	EASEMENTS		
←	FLOW LINE		

OPEN SPACE EASEMENT PER DOC # 2005-044532



SHEET TITLE: PRELIMINARY GRADING & DRAINAGE

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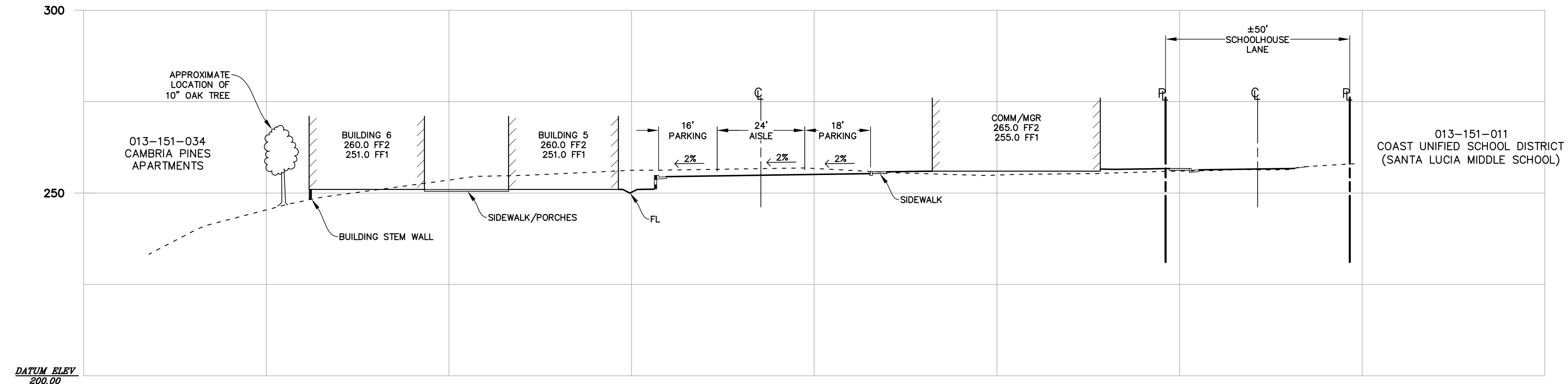
CLIENT: PEOPLE'S SELF HELP HOUSING
 ADDRESS: 3533 EMPLEO STREET
 SAN LUIS OBISPO, CA
 PLOT DATE: 1.29.2014
 PURPOSE: DESIGN REVIEW
 PROJECT NO.: 05116

CAMBRIA PINES

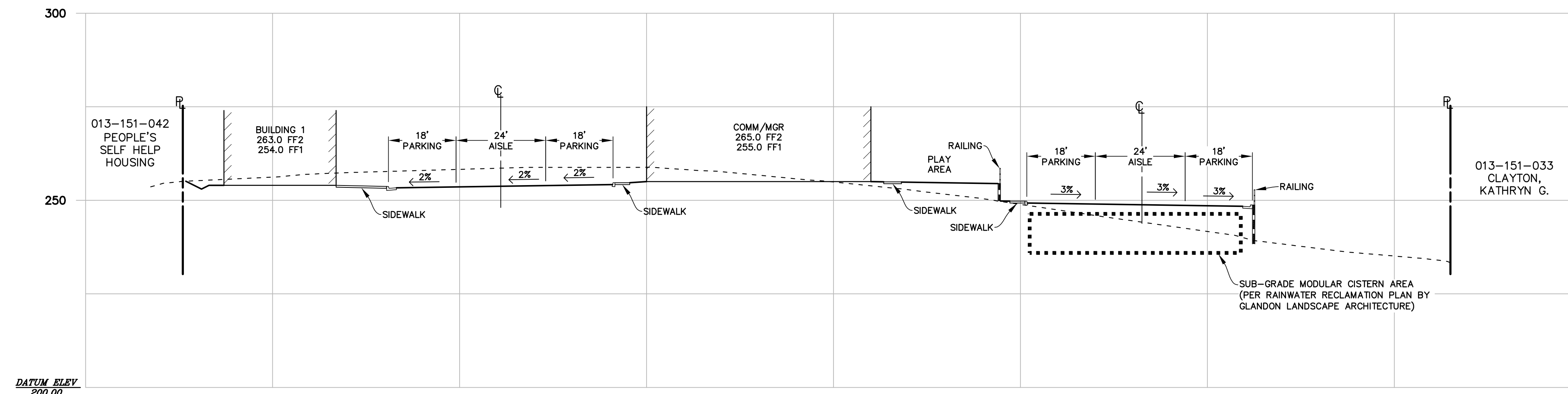
PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT

SCHOOLHOUSE LANE, CAMBRIA CALIFORNIA

C-1
 SHEET 1 OF 4 SHEETS



SEC-1 SITE CROSS SECTION
 VERTICAL: 1" = 20'
 HORIZONTAL: 1" = 20'



SEC-2 SITE CROSS SECTION
 VERTICAL: 1" = 20'
 HORIZONTAL: 1" = 20'

SHEET TITLE: SITE CROSS SECTIONS

NCE NORTH COAST ENGINEERING INC.
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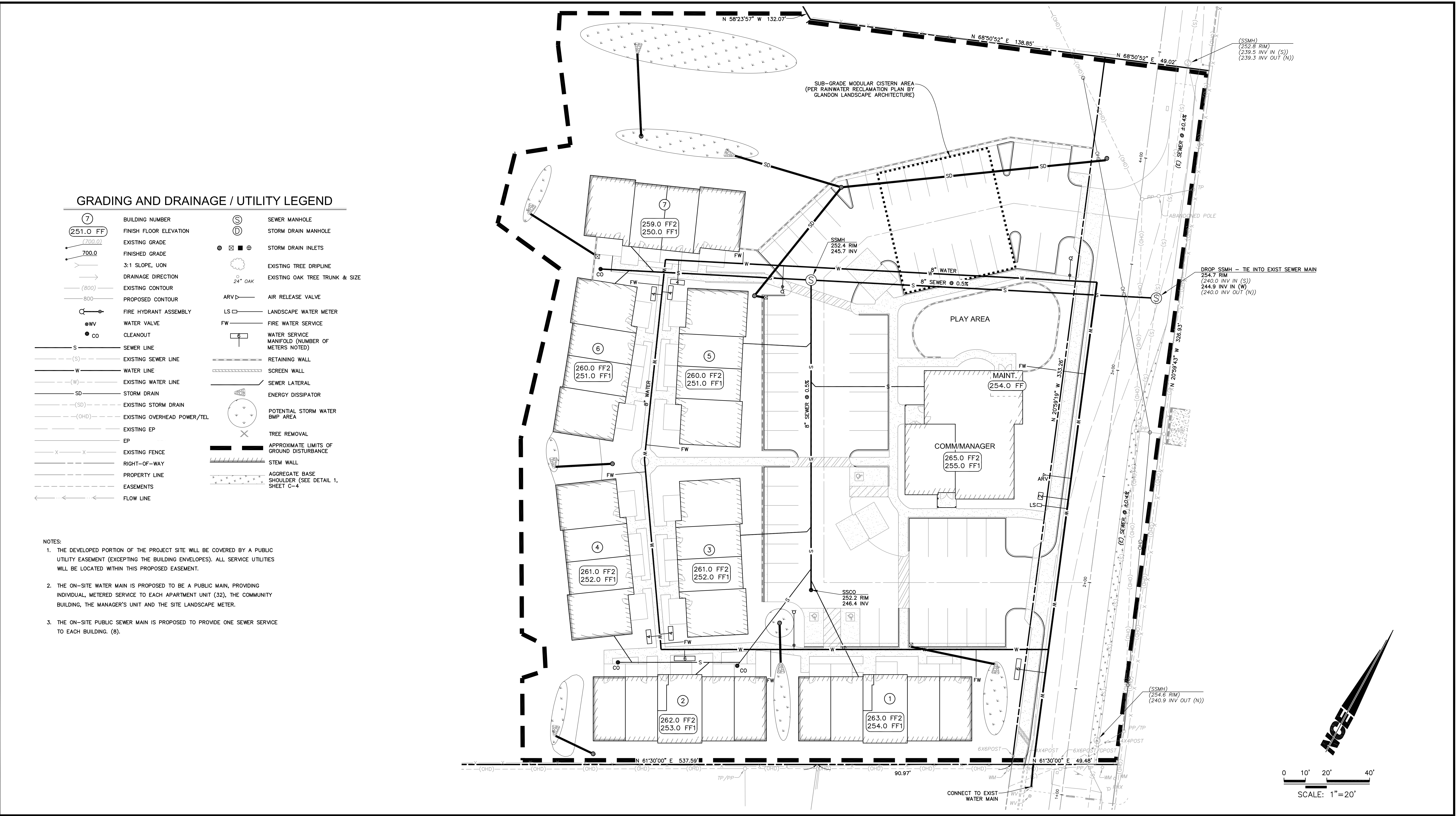
CAMBRIA PINES

PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT

SCHOOLHOUSE LANE, CAMBRIA CALIFORNIA

C-2

SHEET 2 OF 4 SHEETS



GRADING AND DRAINAGE / UTILITY LEGEND

⑦	BUILDING NUMBER	⊙	SEWER MANHOLE
251.0 FF	FINISH FLOOR ELEVATION	⊙	STORM DRAIN MANHOLE
(700.0)	EXISTING GRADE	⊙ ⊠ ⊡ ⊢	STORM DRAIN INLETS
700.0	FINISHED GRADE	⊙	EXISTING TREE DRIPLINE
3:1	SLOPE, UON	⊙ 24" OAK	EXISTING OAK TREE TRUNK & SIZE
→	DRAINAGE DIRECTION	ARV	AIR RELEASE VALVE
(800)	EXISTING CONTOUR	LS	LANDSCAPE WATER METER
800	PROPOSED CONTOUR	FW	FIRE WATER SERVICE
⊙	FIRE HYDRANT ASSEMBLY	⊙	WATER SERVICE MANIFOLD (NUMBER OF METERS NOTED)
⊙ WV	WATER VALVE	—	RETAINING WALL
⊙ CO	CLEANOUT	—	SCREEN WALL
S	SEWER LINE	—	SEWER LATERAL
(S)	EXISTING SEWER LINE	—	ENERGY DISSIPATOR
W	WATER LINE	⊙	POTENTIAL STORM WATER BMP AREA
(W)	EXISTING WATER LINE	⊙	TREE REMOVAL
SD	STORM DRAIN	—	APPROXIMATE LIMITS OF GROUND DISTURBANCE
(SD)	EXISTING STORM DRAIN	—	STEM WALL
(OHD)	EXISTING OVERHEAD POWER/TEL	—	AGGREGATE BASE SHOULDER (SEE DETAIL 1, SHEET C-4)
EP	EXISTING EP	—	
X	EXISTING FENCE	—	
—	RIGHT-OF-WAY	—	
—	PROPERTY LINE	—	
—	EASEMENTS	—	
—	FLOW LINE	—	

- NOTES:**
1. THE DEVELOPED PORTION OF THE PROJECT SITE WILL BE COVERED BY A PUBLIC UTILITY EASEMENT (EXCEPTING THE BUILDING ENVELOPES). ALL SERVICE UTILITIES WILL BE LOCATED WITHIN THIS PROPOSED EASEMENT.
 2. THE ON-SITE WATER MAIN IS PROPOSED TO BE A PUBLIC MAIN, PROVIDING INDIVIDUAL, METERED SERVICE TO EACH APARTMENT UNIT (32), THE COMMUNITY BUILDING, THE MANAGER'S UNIT AND THE SITE LANDSCAPE METER.
 3. THE ON-SITE PUBLIC SEWER MAIN IS PROPOSED TO PROVIDE ONE SEWER SERVICE TO EACH BUILDING. (8).

SHEET TITLE: PRELIMINARY UNDERGROUND DESIGN

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 ADDRESS: 3533 EMPLEO STREET
 SAN LUIS OBISPO, CA
 PLOT DATE: 1.29.2014
 PURPOSE: DESIGN REVIEW
 PROJECT NO.: 05116

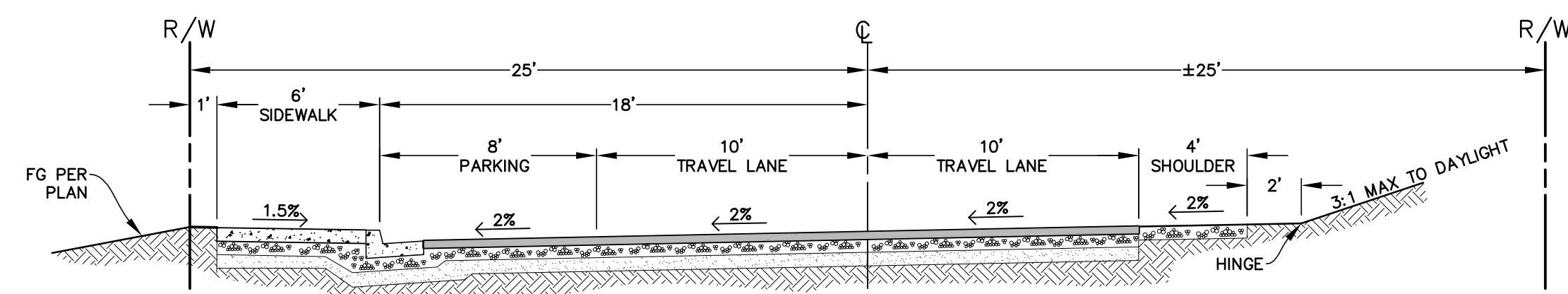
CAMBRIA PINES

PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT

SCHOOLHOUSE LANE, CAMBRIA CALIFORNIA

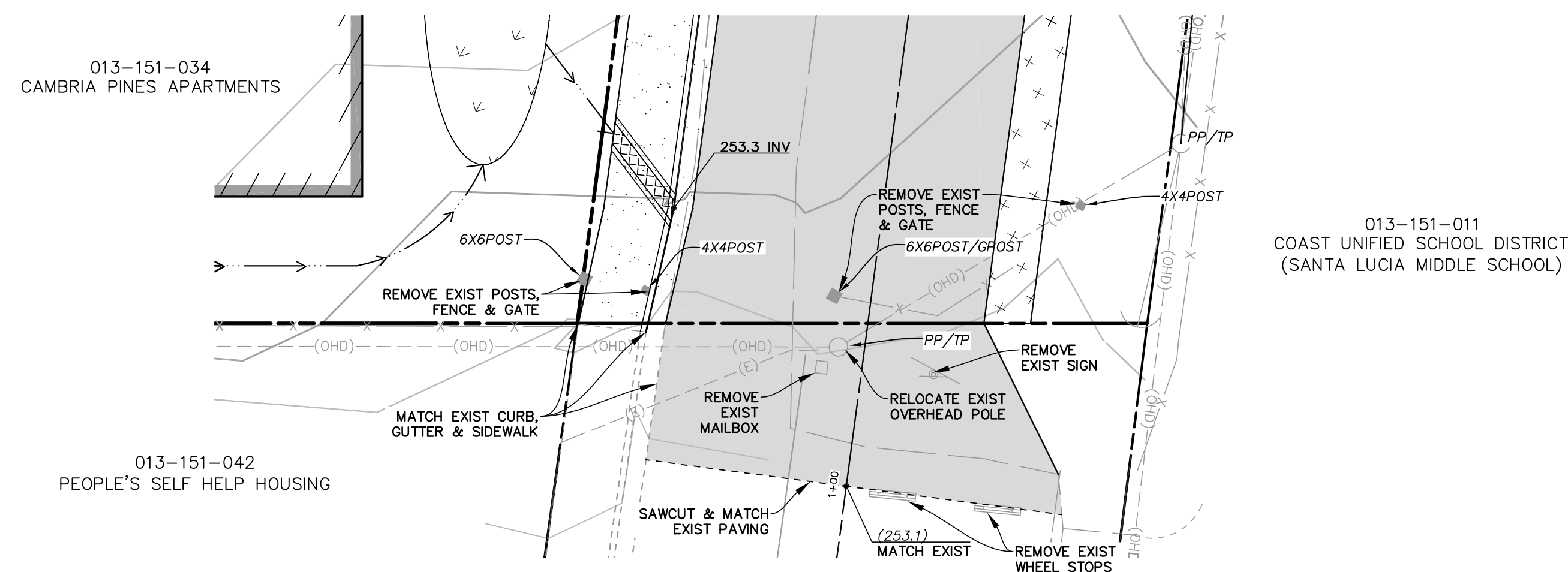
C-3
 SHEET 3 OF 4 SHEETS

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- NOTES: 1. THIS CROSS-SECTION DETAIL IS ADAPTED FROM COUNTY STANDARD DWG NO A-2b
 2. THE SOILS ENGINEER SHALL PERFORM R-VALUE TESTS AT LOCATIONS APPROVED BY THE COUNTY AFTER ROUGH GRADING OF THE SITE. THE FINAL PAVEMENT DESIGN WILL BE BASED UPON THESE TESTS & WILL BE APPROVED BY THE COUNTY.

1 SCHOOLHOUSE LANE TYPICAL SECTION
 SCALE: 1"=5'



2 GRADING DETAIL
 SCALE: 1"=10'

SHEET TITLE: DETAILS

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CAMBRIA PINES

PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT

SCHOOLHOUSE LANE, CAMBRIA CALIFORNIA

C-4

SHEET 4 OF 4 SHEETS